

CLEVELAND PUBLIC LIBRARY

Finance Committee

June 15, 2021

**RESOLUTION APPROVING GUARANTEED MAXIMUM PRICE AMENDMENTS WITH
GILBANE CONSTRUCTION COMPANY FOR THE JEFFERSON AND WEST PARK
BRANCHES AND CENTRAL DISTRIBUTION FACILITY**

WHEREAS, On February 20, 2020, the Board of Trustees of the Cleveland Public Library authorized the Library to enter into a construction manager at risk master agreement with Gilbane Building Company (“Gilbane”) for the Phase 1A projects of the Library’s Facilities Master Plan and authorized Gilbane to commence preconstruction services in the amount in an amount not-to-exceed \$242,611. The Library and Gilbane executed the master agreement on September 11, 2020 (“Agreement”); and

WHEREAS, Gilbane has completed procurement of subcontractor construction bids for the work the Jefferson and West Park branches and the Central Distribution Facility, and as contemplated by the Agreement, Gilbane has prepared Guaranteed Maximum Price Proposals, which set forth a maximum construction budget for each of these three projects; and

WHEREAS, The Guaranteed Maximum Price (“GMP”) for each project is set forth in Exhibit “A” to this Resolution and includes the early E-Rate technology packages for each location as authorized by this Board on March 18, 2021 as well as the early demolition and abatement package for the West Park branch and the early demolition and abatement and steel packages for the Central Distribution Facility that this Board authorized on May 20, 2021; and

WHEREAS, The GMP does not include the costs of professional design services, permitting, and other purchases that the Library will make directly and outside of the GMP, including architecture and design services, permits, environmental assessment services; and

WHEREAS, The Library desires to establish an Owner's Contingency Fund as set forth in Exhibit "A" to cover additional costs outside of the GMP that arise during the course of construction; now therefore be it

RESOLVED, That the Board of Library Trustees authorizes the Executive Director, CEO or his designees to accept the Guaranteed Maximum Price proposals and enter into and execute an amendments to the agreement between the Cleveland Public Library and Gilbane Building Company approving the subcontract packages and establishing the Guaranteed Maximum Price for each project as set forth in Exhibit "A," which shall be charged to the Construction Tax Exempt fund account 402xxx05-55300 (Construction/Improvements), where xxx = branch/department; be it further

RESOLVED, That the Executive Director, CEO or his designees, is authorized to establish Owner's Contingency Funds for each project in the amounts set forth in Exhibit "A" to this Resolution and to make expenditures and enter into contracts in excess of \$25,000 to pay the costs resulting from changes and additions to the Project which may be made in the future by the Library, and which are not included in the GMP. The Library shall report monthly to the Board on expenditures from the Owner's Contingency Funds; be it further

RESOLVED, That this Board hereby ratifies the Early Construction Work Authorization Agreements entered into by the Library on May 18, 2021 for the Jefferson branch and on May 21, 2021 for the West Park branch and Central Distribution Facility for E-Rate technology packages as authorized by this Board on March 18, 2021 in the amounts of \$80,478 (Jefferson), \$57,624 (West Park), and \$85,939 (Central Distribution Facility), which amounts shall be charged to the Construction Tax Exempt fund account 402xxx05-55300 (Construction/Improvements), where xxx = branch/department.

EXHIBIT "A"

Branch / Project	Guaranteed Maximum Price	Owner's Construction Contingency
Jefferson Branch	\$1,767,563	\$70,314
West Park Branch	\$4,014,826	\$175,025
Central Distribution Facility	\$5,003,163	\$217,313



Guaranteed Maximum Price Proposal

Jefferson Branch
850 Jefferson Avenue
Cleveland Public Library
Cleveland, Ohio 44113

June 14, 2021

950 Main Ave, Suite 1410, Cleveland, Ohio 44113





6/14/2021

Felton Thomas, Jr.
Cleveland Public Library
850 Jefferson Avenue
Cleveland, Ohio 44113

Re: Jefferson Branch: Guaranteed Maximum Price Proposal

Dear Mr. Thomas,

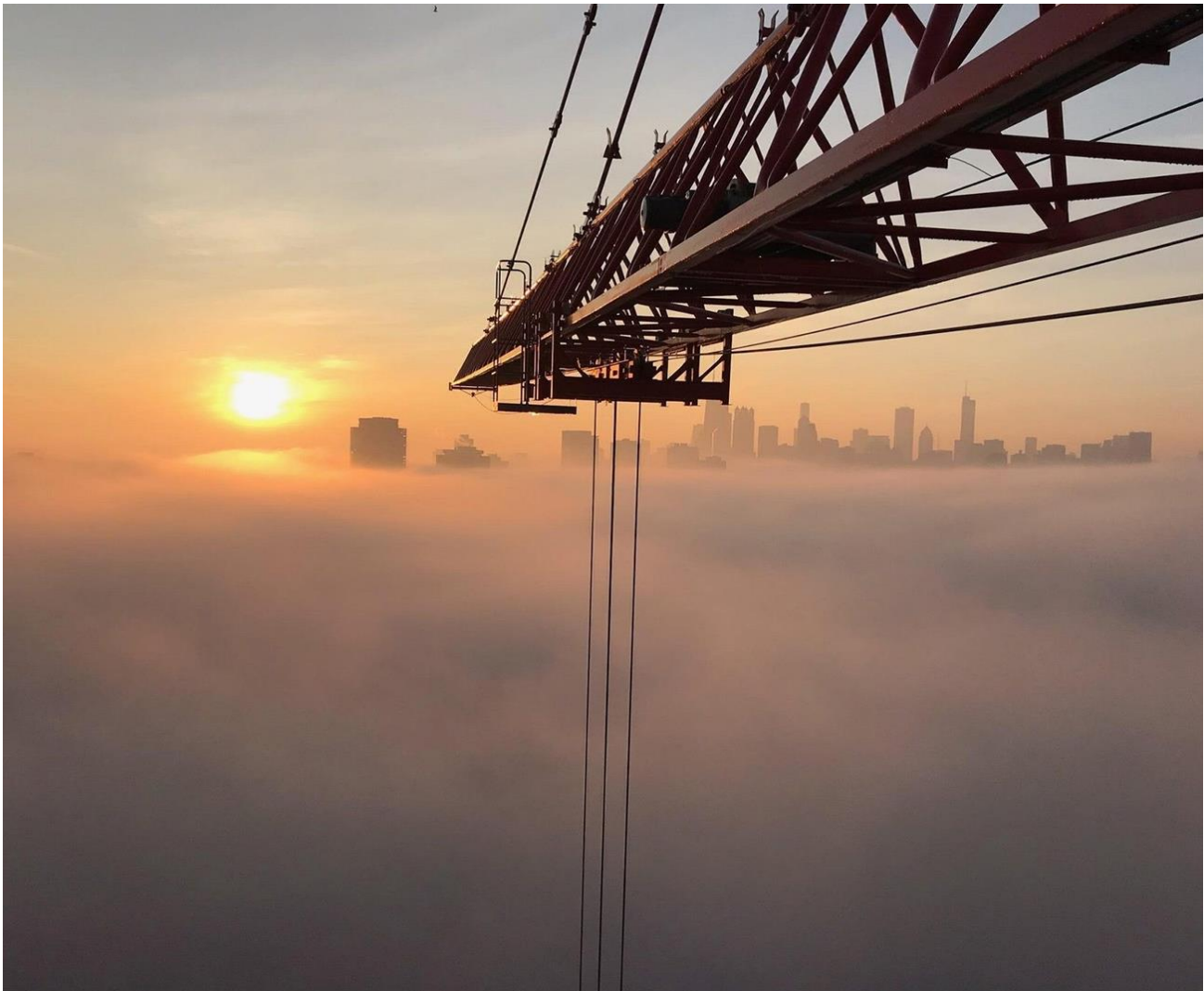
In accordance with the Agreement, please find attached the Guaranteed Maximum Price Amendment for the Central Distribution Facility. Thank you for the opportunity to collaborate with Cleveland Public Library and Williams Architects in the development of the project. We look forward to building on this relationship as we construct your project. If you have any questions, please do not hesitate to contact us at any time.

Sincerely,

Ed Valentine
Sr. Project Executive
Gilbane Building Company

TABLE OF CONTENTS

TAB 01	Exhibit A: GMP Amendment	TAB 08	Alternates
TAB 02	GMP Cost Summary and Breakdown	TAB 09	Unit Cost
TAB 03	Economic Inclusion Breakdown	TAB 10	Project Schedule
TAB 04	Basis Documents	TAB 11	Site Logistics
TAB 05	Clarifications and Assumptions	TAB 12	Site Specific Safety Plan
TAB 06	Fixed Rate Schedule	TAB 13	Market Trends
TAB 07	Allowances		





Cleveland Public Library

Jefferson Branch

June 14, 2021

GMP SUBMISSION

TAB 01 Exhibit A: GMP Amendment



CONSTRUCTION PHASE WORK AUTHORIZATION AGREEMENT

effective as of the _____ day of _____ in the year of 202_.

IN SUPPLEMENT TO THE **MASTER AGREEMENT BETWEEN OWNER AND CONSTRUCTION MANAGER AT-RISK DATED _____ (“Master Agreement”).**

BETWEEN the Owner:

Cleveland Public Library
325 Superior Avenue
Cleveland, Ohio 44114

and the Construction Manager:

Gilbane Building Company
950 Main Avenue, Suite 1410
Cleveland, Ohio 44113

For the following Cleveland Public Library Branch Project (“Project”):

The Owner and the Construction Manager agree as follows:

ARTICLE 1 THE SCOPE OF THIS AGREEMENT

§ 1.1 This Work Authorization Agreement together with the Master Agreement Between Owner and Construction Manager at-Risk and related documents incorporated by reference in Article 5 herein, hereby together constitute a separate, enforceable Agreement between the Owner and Construction Manager for this Project.

ARTICLE 2 THE SCOPE OF CONSTRUCTION MANAGER’S SERVICES

§ 2.1 **PROJECT DESCRIPTION.** The Project is generally described as follows:

[INSERT PROJECT DESCRIPTION]

§ 2.2 The Construction Manager’s Work and Services consist of those described in the Master Agreement, the Work Authorization Agreement for Preconstruction Services as supplemented or amended pursuant to this Work Authorization Agreement incorporating by reference the terms and conditions of the Master Agreement, and the following Work and

Services identified in this Work Authorization Agreement as part of Construction Manager's Work and Services for the Project.

ARTICLE 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

§ 3.1 Construction Manager's Work and Services shall be performed as expeditiously as is consistent with professional skill and care and the orderly progress of the Project. The Construction Manager shall attach to this Work Authorization Agreement, for the Owner's approval, Construction Manager's Construction Phase Schedule for the performance of the Construction Manager's Work and Services which may be adjusted by the Owner as the Project proceeds in accordance with the terms and conditions of the Master Agreement Between Owner and Construction Manager at-Risk. This schedule shall include allowances for periods of time required for the Owner's review and for approval of submissions by authorities having jurisdiction over the Project. The schedule shall include anticipated dates for the commencement of construction and for Substantial Completion of the Work. Time limits established by this schedule approved by the Owner shall not, except for reasonable cause as set forth in the Master Agreement Between Owner and Construction Manager at-Risk, be exceeded by the Construction Manager. The following considerations and Milestone Dates shall be incorporated into the schedule for the performance of the Construction Manager's Work and Services pursuant to this Work Authorization Agreement for the Construction Phase of the Project:

Construction Phase Commencement Date: _____
Interim Milestone A: [insert description] _____
Interim Milestone B: [insert description] _____
Substantial Completion Date: _____
Final Completion Date: _____

§ 3.2 With respect to the obligations of both the Owner and the Construction Manager, time is of the essence of this Work Authorization Agreement.

§ 3.3 The Owner and Construction Manager agree that if and to the extent that the Completion of any portion of the Work is delayed beyond the relevant Milestone Dates (each, an "Interim Milestone") or the Substantial Completion of the Work as a whole is delayed beyond the Required Date of Substantial Completion due to the failure of the Construction Manager to perform its obligations under the Contract Documents, the Owner would suffer damages that would be difficult to determine. Consequently, the Owner and Construction Manager hereby agree that if Construction Manager fails to complete the Work on or before the relevant Milestone Dates, or the date of Substantial Completion, as liquidated damages, and not as a penalty, the Construction Manager shall be liable for liquidated damages in the following diem amounts:

§ 3.3.1 The sum of _____ Dollars (\$ _____) per day for each day that the portion of the Work required to be delivered pursuant to any Interim Milestone is delayed beyond the Required Date of the Interim Milestone;

§ 3.3.2 The sum of _____ Dollars (\$ _____) per day for each day up to and including _____ (_____) days that the Work required to be delivered on or before Substantial Completion is delayed beyond the Required Date of Substantial Completion; and

§ 3.3.3 The sum of _____ Dollars (\$ _____) per day for each day after the _____ (_____) day that the Work required to be delivered on or before Substantial Completion is delayed beyond the Required Date of Substantial Completion.

ARTICLE 4 GUARANTEED MAXIMUM PRICE

§ 4.1 The Construction Manager's Guaranteed Maximum Price is set forth in the Guaranteed Maximum Price Amendment dated _____, 202_ which is attached hereto and incorporated herein as Exhibit "A." The Guaranteed Maximum Price Amendment is summarized as follows:

§ 4.1.1 The Construction Manager's Preconstruction Stage Compensation: \$ _____

§ 4.1.2 The Construction Manager's Contingency: \$ _____
 § 4.1.4 The Construction Manager's Construction Phase General Conditions Costs: \$ _____
 § 4.1.4.1 The Construction Manager's Construction Stage Personnel: \$ _____
 § 4.1.5 The Construction Manager's Fee: \$ _____
 § 4.1.6 The Owner's Allowance Amount for Work Orders: \$ _____
 § 4.1.7 The Cost of the Work \$ _____
 § 4.1.8 The Cost of the Bond \$ _____
 § 4.2 The Total Guaranteed Maximum Price: \$ _____

§ 4.3 Construction Manager's mark-up for approved Change Orders pursuant to the terms of the Master Agreement.
 § 4.3.1 For Work self-performed by Construction Manager's own forces a _____ percent (_____ %) mark up for the Cost of the Work.
 § 4.3.2 For Work performed by Construction Manager's Subcontractors at whatever tier a _____ percent (_____ %) mark up for the Cost of the Work.
 § 4.4 Construction Manager's adjustment to its Fee for approved Change Orders pursuant to the terms of the Master Agreement.
 § 4.4.1 _____ percent (_____ %) of the Cost of the Work.

ARTICLE 5 ENUMERATION OF WORK AUTHORIZATION AGREEMENT DOCUMENTS

§ 5.1 The Work Authorization Agreement Documents, except for Modifications issued after execution of this Agreement, are enumerated as follows:

- § 5.1.1 The Master Agreement Between Owner and Construction Manager at-Risk, dated _____, 2020.
- § 5.1.2 The Work Authorization Agreement for Preconstruction Services between Owner and Construction Manager at-Risk dated _____, 2020;
- § 5.1.3 This executed Work Authorization Agreement for the Construction Phase for the Project;
- § 5.1.4 The Guaranteed Maximum Price Amendment, attached hereto and incorporated herein as Exhibit "A."
- § 5.1.4 The following Modifications to the Master Agreement Between Owner and Construction Manager at-Risk, issued prior to the execution of this Work Authorization Agreement:

Modification	Date
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§ 5.1.5 Other Documents, if any, forming part of the Work Authorization Agreement Documents are as follows:

This **Work Authorization Agreement** is entered into as of the day and year first written above.

<p>OWNER: CLEVELAND PUBLIC LIBRARY</p> <p>_____</p> <p><i>(Signature)</i></p> <p>_____</p> <p>By: Director, Chief Executive Officer</p>	<p>CONSTRUCTION MANAGER: Gilbane Building Company</p> <p>_____</p> <p><i>(Signature)</i></p> <p>_____</p> <p>Title:</p>
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Cleveland Public Library

Jefferson Branch

June 14, 2021

GMP SUBMISSION

TAB 02 Cost Summary and Breakdown



GUARANTEED MAXIMUM PRICE (GMP) BREAKDOWN

		SBE/MBE/WBE		
Bid Package Trade	SUBCONTRACTOR	% Participation	Certification	Price
01A	General Trades	JWT & Associates, LLC	100 SBE, MBE & FBE	\$ 689,294
01B	Temporary Partitions/Safety/GCs - Unbought Scope			\$ 15,151
01C	Surveying - Allowance			\$ 6,500
02A	Selective Demolition & Abatement	M Rivera Construction Co.	80 SBE, MBE & FBE	\$ 49,400
10A	Signage - Allowance			\$ 5,000
22A	HVAC / Plumbing / Fire Protection	Diversified Piping & Mechanical, Inc.	16 SBE, MBE & FBE	\$ 241,300
26A	Electrical	Legacy Electric, LLC	100 SBE & FBE	\$ 107,900
27A	Technology / Data	Einheit Electric	100 SBE & MBE	\$ 82,532
31A	Site: Earthwork/Utilities/Landscape	Platform Cement, Inc.	17 SBE, MBE & FBE	\$ 144,600
Subcontractor Bid Subtotal				\$ 1,341,677
Subcontractor Risk Program (P&P Bonds or CDI):		1.20%		\$ 16,100
Owner Allowances (See TAB 07)				\$ 48,500
Subcontractor Bid Subtotal with Owner Allowances				\$ 1,406,277
General Conditions (CM Staffing and Reimbursables):				\$ 221,792
Coronavirus Impact Contingency:				\$ 25,000
Construction Contingency:		2.75%		\$ 38,673
Accepted Alternates (reference alternates tab):				\$ 12,351
Subtotal: Cost of Work				\$ 1,704,093
General Liability Insurance:		1.00%		\$ 17,676
Builder's Risk Insurance: By CPL		0.00%		\$ -
Payment and Performance Bonds:		0.63%		\$ 11,136
CM Fee:		2.00%		\$ 34,658
Total Guaranteed Maximum Price				\$ 1,767,563



Cleveland Public Library

Jefferson Branch

June 14, 2021

GMP SUBMISSION

TAB 03 Economic Inclusion Breakdown



ECONOMIC INCLUSION BREAKDOWN

BID PACKAGE NO. & DESCRIPTION	SUBCONTRACTOR	MBE %	FBE %	SBE %	GMP VALUE	% Participation	Diversity Value
01A	General Trades	JWT & Associates, LLC	100%	20%	100%	\$ 689,294	100% \$ 689,294
02A	Selective Demolition & Abatement	M Rivera Construction Co.	80%	80%	80%	\$ 49,400	80% \$ 39,520
22A	HVAC / Plumbing / Fire Protection	Diversified Piping & Mechanical, Inc.	16%	2%	10%	\$ 241,300	28% \$ 67,564
26A	Electrical	Legacy Electric, LLC	0%	100%	100%	\$ 107,900	100% \$ 107,900
27A	Technology / Data	Einheit Electric	0%	20%	80%	\$ 82,532	100% \$ 82,532
31A	Site: Earthwork/Utilities/Landscape	Platform Cement, Inc.	14%	10%	17%	\$ 144,600	41% \$ 59,286
		Subtotals	35%	51%	65%	\$ 1,341,677	80% \$ 1,072,747

CPL Economic Inclusion Enterprise Goals

20%

9%

15%



Cleveland Public Library

Jefferson Branch

June 14, 2021

GMP SUBMISSION

TAB 04 Basis Documents

BASIS DOCUMENTS

SPECIFICATIONS

		Revision Number	Issuance Date	Document Date
000100	TABLE OF CONTENTS	0	4/2/2021	4/2/2021
000115	LIST OF DRAWING SHEETS	0	4/2/2021	4/2/2021
002600	PROCUREMENT SUBSTITUTION PROCEDURES	0	4/2/2021	4/2/2021
003119	EXISTING CONDITION INFORMATION	0	4/2/2021	4/2/2021
003126	EXISTING HAZARDOUS MATERIAL INFORMATION	0	4/2/2021	4/2/2021
003132	GEOTECHNICAL DATA	0	4/2/2021	4/2/2021
011000	SUMMARY	0	4/2/2021	4/2/2021
012100	ALLOWANCES	0	4/2/2021	4/2/2021
012300	ALTERNATES	0	4/2/2021	4/2/2021
012500	PAYMENT PROCEDURES	0	4/2/2021	4/2/2021
013100	PROJECT MANAGEMENT AND COORDINATION	0	4/2/2021	4/2/2021
013200	CONSTRUCTION PROGRESS DOCUMENTATION	0	4/2/2021	4/2/2021
013300	SUBMITTAL PROCEDURES	0	4/2/2021	4/2/2021
013310	DISTRIBUTION OF ARCHITECTS ELECTRONIC FILES	0	4/2/2021	4/2/2021
013516	ALTERATION PROJECT PROCEDURES	0	4/2/2021	4/2/2021
014000	QUALITY REQUIREMENTS	0	4/2/2021	4/2/2021
014200	REFERENCES	0	4/2/2021	4/2/2021
015000	TEMPORARY FACILITIES AND CONTROLS	0	4/2/2021	4/2/2021
016000	PRODUCT REQUIREMENTS	0	4/2/2021	4/2/2021
017300	EXECUTION	1	4/2/2021	4/26/2021
017700	CLOSEOUT PROCEDURES	0	4/2/2021	4/2/2021
017823	OPERATION AND MAINTENANCE DATA	0	4/2/2021	4/2/2021
017839	PROJECT RECORD DOCUMENTS	0	4/2/2021	4/2/2021
017900	DEMONSTRATION AND TRAINING	0	4/2/2021	4/2/2021
024119	SELECTIVE DEMOLITION	1	4/2/2021	4/26/2021
033000	CAST IN PLACE CONCRETE	1	4/2/2021	4/26/2021
035416	HYDRAULIC CEMENT UNDERLAYMENT	1	4/2/2021	4/26/2021
040120.64	BRICK MASONRY REPOINTING	0	4/2/2021	4/2/2021
042000	UNIT MASONRY	1	4/2/2021	4/26/2021
042200	REINFORCED UNIT MASONRY	1	4/2/2021	4/26/2021
051200	STRUCTURAL STEEL FRAMING	0	4/2/2021	4/2/2021
053100	STEEL DECKING	0	4/2/2021	4/2/2021
054000	COLD-FORMED METAL FRAMING	0	4/2/2021	4/2/2021
055000	METAL FABRICATIONS	1	4/2/2021	4/26/2021
055213	PIPE AND TUBE RAILINGS	0	4/2/2021	4/2/2021
061053	MISCELLANEOUS ROUGH CARPENTRY	0	4/2/2021	4/2/2021
061600	SHEATHING	0	4/2/2021	4/2/2021
062023	INTERIOR FINISH CARPENTRY	0	4/2/2021	4/2/2021
064116	PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS	0	4/2/2021	4/2/2021
071353	ELASTOMERIC SHEET WATERPROOFING	0	4/2/2021	4/2/2021
072100	THERMAL INSULATION	1	4/2/2021	4/26/2021
072500	WEATHER BARRIERS	0	4/2/2021	4/2/2021
076000	VAPOR RETARDERS	0	4/2/2021	4/2/2021
072729	AIR-BARRIER COATINGS	1	4/2/2021	4/26/2021
074215	STAINLESS STEEL WALL TILES	1	4/2/2021	4/26/2021
074233	PHENOLIC WALL PANELS	1	4/2/2021	4/26/2021
074646	FIBER-CEMENT SIDING	0	4/2/2021	4/2/2021
075419	POLYVINYL-CHLORIDE (PVC) ROOFING	1	4/2/2021	4/26/2021
076200	SHEET METAL FLASHING AND TRIM	0	4/2/2021	4/2/2021
077100	ROOF SPECIALTIES	0	4/2/2021	4/2/2021
078413	PENETRATION FIRESTOPPING	0	4/2/2021	4/2/2021
079200	JOINT SEALANTS	0	4/2/2021	4/2/2021
080671	DOOR HARDWARE SCHEDULE	0	4/26/2021	4/26/2021
081113	HOLLOW METAL DOORS AND FRAMES	0	4/2/2021	4/2/2021

BASIS DOCUMENTS

081416	FLUSH WOOD DOORS	0	4/2/2021	4/2/2021
083113	ACCESS DOORS AND FRAMES	0	4/2/2021	4/2/2021
083220	BOTTOM ROLLER SLIDING GLASS DOORS	0	4/2/2021	4/2/2021
084113	ALUMINUM-FRAMED ENTRANCES AND STOREFRONTS	0	4/2/2021	4/2/2021
087100	DOOR HARDWARE	1	4/2/2021	4/26/2021
088000	GLAZING	0	4/2/2021	4/2/2021
088700	ARCHITECTURAL WINDOW FILMS	0	4/2/2021	4/2/2021
092216	NON-STRUCTURAL METAL FRAMING	0	4/2/2021	4/2/2021
092900	GYPSUM BOARD	0	4/2/2021	4/2/2021
093013	CERAMIC TILING	0	4/2/2021	4/2/2021
095113	ACOUSTICAL PANEL CEILINGS	0	4/2/2021	4/2/2021
096513	RESILIENT BASE AND ACCESSORIES	0	4/2/2021	4/2/2021
096543	LINOLEUM FLOORING	0	4/2/2021	4/2/2021
096813	TILE CARPETING	0	4/2/2021	4/2/2021
099100	PAINTING	0	4/26/2021	4/26/2021
099113	EXTERIOR PAINTING - SECTION DELETED PER ADDENDUM NO. 1		not included	
099123	INTERIOR PAINTING - SECTION DELETED PER ADDENDUM NO. 1		not included	
099300	STAINING AND TRANSPARENT FINISHING	0	4/2/2021	4/2/2021
101100	VISUAL DISPLAY UNITS	0	4/2/2021	4/2/2021
102600	WALL AND DOOR PROTECTION	0	4/2/2021	4/2/2021
102800	TOILET AND LAUNDRY ACCESSORIES	0	4/2/2021	4/2/2021
104413	FIRE EXTINGUISHERS AND CABINETS	1	4/2/2021	4/26/2021
105113	METAL LOCKERS	0	4/30/2021	4/30/2021
107316	PRE-MANUFACTURED CANOPIES	0	4/2/2021	4/2/2021
122413	ROLLER WINDOW SHADES	0	4/2/2021	4/2/2021
123661.16	SOLID SURFACING COUNTERTOPS	0	4/2/2021	4/2/2021
220100	PLUMBING GENERAL REQUIREMENTS	0	4/2/2021	4/2/2021
220300	PLUMBING BASIC MATERIALS AND METHODS	0	4/2/2021	4/2/2021
220305	PLUMBING PIPING SPECIALTIES AND SUPPORTS	0	4/2/2021	4/2/2021
220310	PLUMBING PIPE, FITTINGS AND EQUIPMENT INSTALLATION	0	4/2/2021	4/2/2021
220315	PLUMBING VALVES	0	4/2/2021	4/2/2021
220548	PLUMBING VIBRATION ISOLATION	0	4/2/2021	4/2/2021
220700	PLUMBING INSULATION	0	4/2/2021	4/2/2021
224000	PLUMBING	0	4/2/2021	4/2/2021
230100	HVAC GENERAL PROVISIONS	0	4/2/2021	4/2/2021
230300	HVAC BASIC MATERIALS AND METHODS	0	4/2/2021	4/2/2021
230529	HVAC HANGARS AND SUPPORTS	0	4/2/2021	4/2/2021
230548	VIBRATION AND SEISMIC CONTROLS FOR HVAC PIPING AND EQUIPMENT	0	4/2/2021	4/2/2021
230553	IDENTIFICATION FOR HVAC PIPING AND EQUIPMENT	0	4/2/2021	4/2/2021
230593	TESTING, ADJUSTING, AND BALANCING	0	4/2/2021	4/2/2021
230700	HVAC INSULATION	0	4/2/2021	4/2/2021
232300	REFRIGERANT PIPING	0	4/2/2021	4/2/2021
233000	AIR DISTRIBUTION	0	4/2/2021	4/2/2021
233113	METAL DUCTS	0	4/2/2021	4/2/2021
233300	AIR DUCT ACCESSORIES	0	4/2/2021	4/2/2021
234100	PARTICULATE AIR FILTERS	0	4/2/2021	4/2/2021
235000	CENTRAL HEATING EQUIPMENT	0	4/2/2021	4/2/2021
236213	CONDENSER UNITS	0	4/2/2021	4/2/2021
237400	PACKAGED OUTDOOR HVAC EQUIPMENT	0	4/2/2021	4/2/2021
260000	ELECTRICAL GENERAL REQUIREMENTS	0	4/2/2021	4/2/2021
260500	BASIC MATERIALS AND METHODS	0	4/2/2021	4/2/2021
260526	GROUNDING AND BONDING	0	4/2/2021	4/2/2021
260923	LIGHTING CONTROL DEVICES	0	4/2/2021	4/2/2021
260924	LOW-VOLTAGE LIGHTING CONTROL SYSTEM	0	4/2/2021	4/2/2021
262416	PANELBOARDS	0	4/2/2021	4/2/2021
262419	MOTOR CONTROLLERS	0	4/2/2021	4/2/2021
262726	WIRING DEVICES	0	4/2/2021	4/2/2021

BASIS DOCUMENTS

262816	ENCLOSED SWITCHES	0	4/2/2021	4/2/2021
265100	INTERIOR LIGHTING	0	4/2/2021	4/2/2021
283111	FIRE ALARM SYSTEM	0	4/2/2021	4/2/2021
311000	SITE CLEARING	0	4/2/2021	4/2/2021
312000	EARTH MOVING	1	4/2/2021	4/26/2021
312200	GRADING	0	4/2/2021	4/2/2021
312333	TRENCHING AND BACKFILL	0	4/2/2021	4/2/2021
321313	CONCRETE PAVING	0	4/2/2021	4/2/2021
321723	PAVEMENT MARKINGS	0	4/2/2021	4/2/2021
329115	SOIL PREPARATION	0	4/2/2021	4/2/2021
329200	TURF AND GRASSES	0	4/2/2021	4/2/2021
329300	PLANTS	0	4/2/2021	4/2/2021
334000	STORM UTILITY DRAINAGE PIPING	0	4/2/2021	4/2/2021
334100	SUBDRAINAGE PIPING	0	4/2/2021	4/2/2021

DRAWINGS

		Revision Number	Issuance Date	Document Date
G1.1	TITLE SHEET	0	4/2/2021	4/2/2021
G1.2	CODE DATA, WALL TYPES, AND NOTES	0	4/2/2021	4/2/2021
G1.3	ACCESSIBILITY	0	4/2/2021	4/2/2021
1 OF 1	EXISTING CONDITIONS SURVEY	0	4/2/2021	4/2/2021
C0.0	NOTES AND LEGENDS	0	4/2/2021	4/2/2021
C1.0	DEMOLITION PLAN	1	4/2/2021	4/30/2021
C2.0	SITE LAYOUT PLAN	0	4/2/2021	4/2/2021
C3.0	UTILITY PLAN	1	4/2/2021	4/30/2021
C4.0	GRADING PLAN	0	4/2/2021	4/2/2021
C5.0	SWPP PLAN	0	4/2/2021	4/2/2021
C6.0	PAVEMENT DETAILS	0	4/2/2021	4/2/2021
C7.0	DETAILS	0	4/2/2021	4/2/2021
C8.0	SWPP PLAN DETAILS	0	4/2/2021	4/2/2021
C9.0	SWPP PLAN DETAILS	0	4/2/2021	4/2/2021
C10.0	SWPP PLAN DETAILS	0	4/2/2021	4/2/2021
L1.0	LANDSCAPE PLAN	1	4/2/2021	4/30/2021
S0.1	GENERAL NOTES	0	4/2/2021	4/2/2021
S0.2	GENERAL NOTES AND SPECIAL INSPECTIONS	0	4/2/2021	4/2/2021
S0.3	SPECIAL INSPECTIONS	0	4/2/2021	4/2/2021
S1.1	FOUNDATION AND FRAMING PLANS	0	4/2/2021	4/2/2021
S2.1	SECTIONS	0	4/2/2021	4/2/2021
S3.1	TYPICAL DETAILS	0	4/2/2021	4/2/2021
S3.2	TYPICAL DETAILS	0	4/2/2021	4/2/2021
AD1.1	BASEMENT DEMOLITION PLAN	0	4/2/2021	4/2/2021
AD1.2	FIRST FLOOR DEMOLITION PLAN	1	4/2/2021	4/30/2021
AD2.2	FIRST FLOOR DEMOLITION REFLECTED CEILING PLAN	0	4/2/2021	4/2/2021
A1.1	BASEMENT PLAN	1	4/2/2021	4/26/2021
A1.2	FIRST FLOOR PLAN	2	4/2/2021	4/30/2021
A2.1	BASEMENT REFLECTED CEILING PLAN	0	4/2/2021	4/2/2021
A2.2	FIRST FLOOR REFLECTED CEILING PLAN	0	4/2/2021	4/2/2021
A3.1	ROOF PLAN AND DETAILS	0	4/2/2021	4/2/2021
A4.1	EXTERIOR ELEVATIONS	0	4/2/2021	4/2/2021
A4.2	EXTERIOR ELEVATIONS ALTERNATE A-7	1	4/2/2021	4/26/2021
A5.1	SECTIONS AND WALL SECTIONS	0	4/2/2021	4/2/2021
A6.1	DETAILS	1	4/2/2021	4/26/2021
A6.2	DETAILS	0	4/2/2021	4/2/2021
A7.1	ENLARGED PLAN AND SECTIONS	0	4/2/2021	4/2/2021
A8.1	INTERIOR ELEVATIONS	0	4/2/2021	4/2/2021
A8.2	INTERIOR ELEVATIONS AND CASEWORK	0	4/2/2021	4/2/2021

BASIS DOCUMENTS

A8.3	MILLWORK ALTERNATE A-8	0	4/2/2021	4/2/2021
A9.1	DOOR SCHEDULE AND DETAILS	1	4/2/2021	4/26/2021
A9.2	DOOR DETAILS	0	4/2/2021	4/2/2021
ID0.1	INTERIO GENERAL NOTES	1	4/2/2021	4/30/2021
ID1.2	FIRST FLOOR FLOOR FINISH PLAN	1	4/2/2021	4/30/2021
ID2.2	FIRST FLOOR WALL FINISH PLAN	0	4/2/2021	4/2/2021
ID3.2	FIRST FLOOR FLOOR PATTERNING	1	4/2/2021	4/30/2021
M0.1	HVAC LEGENDS	0	4/2/2021	4/2/2021
M0.2	HVAC GENERAL NOTES	0	4/2/2021	4/2/2021
M0.3	HVAC SCHEDULES	1	4/2/2021	4/30/2021
M1.1	BASEMENT HVAC PLAN	0	4/2/2021	4/2/2021
M1.2	FIRST FLOOR HVAC PLAN	0	4/2/2021	4/2/2021
PD1.1	FIRST FLOOR PLUMBING DEMOLITION PLAN	0	4/2/2021	4/2/2021
P0.1	ELECTRICAL LEGEND AND GENREAL NOTES	0	4/2/2021	4/2/2021
P1.1	BASEMENT PLUMBING PLAN	0	4/2/2021	4/2/2021
P1.2	FIRST PLAN PLUMBING PLAN	0	4/2/2021	4/2/2021
E0.1	ELECTRICAL LEGEND AND GENREAL NOTES	0	4/2/2021	4/2/2021
E0.2	LIGHTING FIXTURES SCHEDULE	0	4/2/2021	4/2/2021
E1.1	BASEMENT LIGHTING PLAN	0	4/2/2021	4/2/2021
E1.2	FIRST FLOOR LIGHTING PLAN	0	4/2/2021	4/2/2021
E2.1	BASEMENT ELECTRICAL PLAN	0	4/2/2021	4/2/2021
E2.2	FIRST FLOOR ELECTRICAL PLAN	0	4/2/2021	4/2/2021
E4.1	SCHEMATIC WIRING DIAGRAMS	0	4/2/2021	4/2/2021
E5.1	ELECTRICAL DIAGRAMS AND DETAILS	0	4/2/2021	4/2/2021

OTHER DOCUMENTS

Revision Number Issuance Date Document Date

Document Description

Pre-Bid RFI Log dated 05/19/2021

Addendum #1 dated 04/26/2021

Addendum #2 dated 04/30/2021

Master Schedule w/Data Date 06/01/2021



Cleveland Public Library

Jefferson Branch

June 14, 2021

GMP SUBMISSION

TAB 05 Clarifications and Assumptions

CLARIFICATIONS AND ASSUMPTIONS

GENERAL	
1	GMP is based on receiving executed GMP or a pre-GMP change order on or before June 21, 2021.
2	Gilbane Phase 1A staffing is contingent upon the approval of all five (5) GMPs (Woodland Library Branch, Central Distribution Facility, Hough Library Branch, Jefferson Library Branch, and West Park Library Branch).
3	The Coronavirus Impact Contingency is a lump sum value of \$25,000. All cost that exceeds \$25,000 will be an Owner change order. The contingency has been established in accordance with the contract agreement.
4	The costs for the general building permit and trade specific permits, usage and tap fees are excluded from the GMP (by Owner as they are unknown at this time from the City of Cleveland
5	GMP assumes that all work will be completed during normal working hours of 7:00 AM - 4:00 PM. All premium time/overtime has not been included
6	Construction hours are assumed to be 1st shift other than occasional off-hours work to accommodate tie-ins or shut downs / connections of major systems.
7	All pricing is based upon open, competitive bidding by prequalified subcontractors. No single sourcing of materials or equipment shall be required.
8	No accommodations for LEED have been incorporated into this Jefferson Library GMP.
9	GMP assumes that the fixed rates included in Fixed Rates Section shall be applicable to General Conditions and Site Services items included in the project costs. The fixed rates are valid until substantial completion date.
10	The GMP is based upon receiving all document deliverables from the Owner and Architect per the Project Schedule and timeframes indicated in the GMP Basis Documents for Submittals, Requests for Information, Change Order pricing and other deliverables that may have schedule implications. Critical items requiring compressed review timeframes will be identified on the submittal register and discussed during the weekly project team meetings.
11	The GMP is based upon temporary use of some of the building permanent systems such as: heating and cooling equipment and systems, building controls systems, electrical systems, plumbing fixtures and systems, etc. Warranties for the equipment/systems as described above shall commence on the date of Substantial Completion or Owner occupancy, whichever occurs first.
12	Gilbane reserves the right to optimize the sequence of construction at any time. This may include re-arranging construction activities, adjustment of activity durations, and any other changes which will not affect the final delivery dates.
13	It is assumed the GMP Basis Documents issued by the Design Team, were prepared in a manner that put forth reasonable and professional care to comply with all applicable laws, codes (including the latest City, State, or Federal Approved Building Codes), and regulations of various governmental entities having jurisdiction over this project. City, State or other Authorities having Jurisdiction (AHJ) contemplated or pending Code revisions, not indicated in the GMP Basis Documents are excluded from this GMP.
14	GMP approved June 17, 2021 is based on the documents in TAB 04.
15	All extended Subcontractor and manufacturer warranties shall be "pass-through" warranties from the appropriate party; extended warranties by Gilbane are not included in the GMP.
16	The Guaranteed Maximum Price (GMP) is not guaranteed by bid package or estimate line item. The GMP is guaranteed by the total amount. It is assumed that the DESIGN TEAM will work as a Collaborative Team within the allocated budgets for the completion of design. This is not intended to be a "line-item" GMP. All items except Owner allowances will reconcile to the CM Contingency.
17	Acceptance of the GMP constitutes acceptance of the Gilbane recommended lowest responsible bidders listed contained within the GMP. The GMP is based on the listed trade contractors' acceptance and execution of a contract to perform the work. Rejection of a bid of a trade contractor listed within the GMP by the Owner will require an adjustment to the GMP value to accommodate the next responsible bidder.

CLARIFICATIONS AND ASSUMPTIONS

18	This GMP does not currently incorporate all alternates shown in the Alternate section. Approved alternates will be added or deducted to the GMP as noted in the financial summary	
19	In lieu of paper, electronic document control will be utilized on the project for the processing and turnover of all project documents including but not limited to: submittals, requests for information, punch list, AE field reports, time and material slips, drawings, specification, Operating Manuals etc. Project management Software systems include Smartapp, BIM 360 Field, Bluebeam, CMIC and Textura.	
20	No retainage shall be held on Gilbane fee, general conditions, or insurance.	
21	If an owner audit is required it shall be performed and completed within 8 weeks of the Certificate of Occupancy.	
22	Excludes Hazardous waste and/or hazardous soil excavation and disposal. In all cases, it is understood that the Owner shall be deemed as the generator of the hazardous materials. Contractor shall neither take title to or be deemed the generator of the hazardous material or substance at any time during the abatement, removal, transportation or disposal. The Owner or his designated representative will sign all Hazardous Materials disposal manifests for the project.	
23	Excludes costs/fees for environmental permits.	
24	Excludes all cost and schedule impacts resulting from Federal Government proclamations or imposed tariffs enacted after GMP approval.	
25	The GMP is based on the Site Logistics Drawings included Site Logistics section. Any deviations will be a change to the GMP.	
26	The Temporary Certificate of Occupancy (TCO) shall be considered achievement of Substantial Completion. If the TCO cannot be obtained through no fault of the Construction Manager, Substantial Completion shall not be withheld.	
27	This GMP includes achieving enterprise goals of 9% FBE, 20% MBE and 15% SBE on a total project basis. Changes are excluded from the WBE/MBE goals.	
28	The only security provision included in the GMP is the perimeter site fence.	
29	If unit prices are stated in the Agreement or subsequently agreed upon, and if the quantities originally contemplated are so changed in a proposed Change Order or as a result of several Change Orders that application of the agreed unit prices to the quantities of Work proposed will cause substantial inequity to the Owner or the Contractor, the applicable unit prices and Contract Sum shall be equitably adjusted. Additionally, where the price of material, equipment, energy and/or labor increase during the term of the Contract through no fault of the Contractor, including but not limited to the imposition of tariffs or taxes, the Contract Sum shall be equitably adjusted by a Change Order as provided in Article 18. Such price increases shall be documented by vendor quotes, invoices, catalogs, receipts or other documents of commercial use.	
30	Owner Soft Costs and Equipment costs (not shown within the documents) are not included in the Guaranteed Maximum Price.	
31	COVID-19 QUALIFICATION (CORONAVIRUS) - As of the date of this Guaranteed Maximum Price proposal, Gilbane Building Company is unable to assess the impact of the ongoing COVID-19 pandemic and how it may affect the Construction Schedule and Project cost long-term. In light of the wide-ranging and potentially long-lasting effects posed by the COVID-19 pandemic, including, without limitation, disruption of construction supply chains, labor shortages, and governmental actions, Gilbane reserves its right to assess such impact on an ongoing basis and to seek an equitable adjustment in the Guaranteed Maximum Price and an extension of the Contract Time as such adjustments become necessary. This qualification supersedes and takes precedence over all other terms of the Contract Documents, including without limitation Article 13 & 19.	
32	Owner's vendors, contractors, and consultants will be responsible for clean up of their debris and depositing of the debris into their own on site dumpsters.	
33	Review time for Submittals will be no longer than 7 days, some critical submittals will need to be addressed within 3 days. Critical submittals will be identified weekly by the Gilbane project team.	
34	All Request for Information (RFI) will be responded to within 72 hours from submission to the Architect.	

CLARIFICATIONS AND ASSUMPTIONS

35	Unless specified, no samples or product data will be provided for named products, except for color.	
36	Benchmarks will be conducted at the first install of material for conformance to the contract requirements in accordance with the Gilbane Quality Plan.	
37	Retainage value will be based on a per subcontractor basis. Final retainage shall be released upon 100% completion of an individual Subcontractor's work including punch-list items, and all close-out documentation has been completed and submitted by the Subcontractor, and approved by the Construction Manager, Owner and Architect. Separate requisitions will be submitted by requesting subcontractors.	
38	Professional video recording of Owner Training is excluded, however video recording where required by the specifications and allowed by equipment manufactures.	
39	Professional photography or webcam for construction progress and completion is excluded.	
40	Design Team AutoCAD/ Rev-it files shall be provided to Gilbane and its subcontractors at no cost.	
41	Gilbane will coordinate with Owner's vendors and equipment supplier but do not include the management time for the installation.	
42	Owner to provide LCP diversity tracking software for utilization by Gilbane and the subcontractors.	
43	Assumes the integrity of the existing utilities are adequate for new construction, including new connections and capacities.	
44	Gilbane to utilize existing space in the Jefferson Library Branch to establish temporary office space.	
45	Deferred maintenance is excluded. The maintenance items previously identified should be incorporated in the construction documents.	
46	<p>The following will be provided by Cleveland Public Library:</p> <ol style="list-style-type: none"> 1. Building Permit 2. Land acquisition 3. Off-site improvements (Adjacent Roadway Improvements, Traffic Lights, turn lanes, public utility mains) 4. Professional service fees and reimbursables (Architect, Engineering, Consulting, Owner's Representative) 5. Geotechnical Surveys and testing 6. Material testing 7. Regulatory and permit fees 8. Owner required furniture, fixtures, and equipment – including but not limited to loose equipment, furniture, employee workstations, computers, phones, voice/data/security equipment, indoor plantings and artwork. 9. Builder's Risk Insurance 10. Offsite utility infrastructure and connection fees (power, gas, telephone, data...) 11. 3rd Party Commissioning 	
Miscellaneous		
1	Builder's Risk Insurance is by Owner. Owner shall provide Builder's Risk "All-Risk" Insurance in the amount of the Contract Sum, plus any subsequent contract modifications. Such insurance shall include the perils of fire, theft, vandalism, collapse, earthquake, flood, named and un-named windstorm, and cover portions of the Work stored off the site and in transit. If the property insurance requires deductibles, the contractor shall be responsible as the Cost of Work for costs not covered due to such deductibles, except that the Owner shall be solely responsible for any costs not covered due to deductible arising out of any loss due to flood, earthquake, named and un-named windstorm, hail, volcanic eruption or terrorism. Owner shall provide a copy of the proposed Builders Risk policy for review by Gilbane. If the policy does not adequately protect Gilbane and our Subcontractors, Gilbane reserves the right to require additional coverage or purchase a Difference in Conditions policy as a Cost of Work.	
2	All moving, relocation, and final connection to building utilities of existing Owner or user group possessions and equipment are by the Owner.	

CLARIFICATIONS AND ASSUMPTIONS

3	Excludes any blocking for Owner Furniture, Fixtures, and Equipment unless indicated in the documents.	
4	Independent 3rd party testing, inspection and Commissioning costs are provided by the Owner. Overtime/fees/charges for Owner Personnel and 3rd Party Inspectors is not included. Support is provided by the relevant subcontractor with appropriate oversight and coordination by Gilbane.	
5	Payment for the building permit is the responsibility of Owner, the CM will obtain the permit from the City of Cleveland.	
6	Temporary Utility Consumption Costs is by Owner.	
7	Excludes all utility company charges associated with connecting, relocating or removing permanent utilities.	
8	The owner's vendors and consultants must abide by the Gilbane Site Specific Safety Plan	
9	Excludes final keying. All locks to be provided with keyed alike construction cores (except millwork). Final Key cores will be installed by the Owner.	
CM Contingency		
1	GMP includes a Construction Manager's Contingency for the Construction Manager's exclusive use to cover those costs considered reimbursable as the Cost of the Work but not included in a Change Order. Refer to Article 13.1.9 of the contract.	
Allowances		
1	Owner Allowance costs are reconciled by Owner Change Order with applicable markups. No prior authorization is required for allowance expenditures. Fee will not be reduced for Allowances that are under run. The CM will provide a regular accounting of allowance balances.	
Changes in Work (Out of Scope)		
1	Due to the speed of construction and design, select Change Orders will need to be executed on estimated values in order to allow for the payment to Trades for expedited work. These Change Orders will be reconciled upon the acceptance of the final value of the Changes.	
2	CM Fee will not be returned on deduct changes.	
EXCLUSIONS		
1	Removal of existing furniture	
2	Roof replacement of the existing roof	
3	Existing structure and/or foundations supplemental work is excluded.	
4	Furniture, fixtures and equipment	
5	Glass film	
6	No standalone mockups	
7	Repair to City Streets and existing sidewalks	
LOGISTICS AND SCHEDULE		
1	Due to the volatility with the current market, the current project schedule completion date has the potential to be impacted until all contractors are under contract and material procured. Once all contractors are under contract, the project schedule will be reevaluated for impacts due to the volatile market. Contractors will hold their pricing until July 31, 2021.	
2	Refer to Tab 11 for the site utilization plan	
3	The GMP is based on the Master Plan/GMP Schedule, data date, June 01, 2021 with a run date of June 08, 2021 18:37. The schedule is included in Tab 10. The Owner has accepted the Gilbane deduct alternate. with a substantial completion date of 02/17/2022.	

CLARIFICATIONS AND ASSUMPTIONS

4	<p>The schedule is based on the following assumptions:</p> <ul style="list-style-type: none"> - Utilization of existing power, heat and water including the use of permanent fixtures once installed. - We have allowed 30 days prior to substantial completion for Owner vendor and FF&E startup and installation. - Gilbane as well as all of its subcontractors and vendors having complete unrestricted access and use of the site and applicable local and state permits in place to commence - Use of all public roads including Jefferson Avenue, Tremont Avenue, Professor Avenue, West 7th Street and West 10th Street for construction activities and access to the site. - Gilbane is allowed to work 7 days per week and 24 hours a day as needed without restrictions. It is the obligation of the Owner to provide relief from any restrictions. - It is anticipated a fully executed Building Permit will be received on July 1, 2021. 	
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TRADE SPECIFIC

Selective Demolition

1	Demolition contractor owns all salvage materials, unless specifically called for in the contract documents.	
2	Items designated for salvaged by Owner will be moved one time to an designated location.	
3	Hazardous waste remediation is limited to the scope provided in the Owner’s Hazardous Waste Material Report.	
4	Excludes treatment for hazardous or contaminated water from dewatering activities.	
5	Excludes cleaning of existing drainage, structures or utilities.	
6	Removal of one (1) layer of flooring is assumed.	
7	Removal of one (1) layer of ceiling is assumed.	
8	An Owner allowance of \$5,000 is included for additional demolition work associated with Addendum No. 2.	

Sitework / Earthwork / Earth Retention / Site Improvements

1	Allowance, alternates and scope information included on the boring location drawing in the geotechnical report prepared by PSI is excluded.	
2	All rock removal and replacement are excluded.	
3	Excludes all remediation, disposal and replacement of hazardous, unsuitable, and regulated materials.	
4	Excludes any third-party monitoring such as vibration, sound, temperature, humidity, etc.	
5	The extent of the property covered under the Stormwater Pollution and Prevention (SWPPP) is defined under the “Limit of Work” as shown on the Civil drawings. There are no costs or provisions in the GMP to address subsurface storm water pollution prevention issues or any issue that is created or observed outside the “Limit of Work”.	
6	We exclude unsuitable soils and undercuts. We exclude unforeseen obstructions such as tanks, foundations, etc.	
7	Well points or other overall site dewatering is excluded. Local dewatering is included at work areas. The geotechnical report did not indicate well points would be required. If actual site conditions require site dewatering, this can be performed for additional compensation.	
8	Exploratory digging to locate existing utilities is excluded from this GMP and is assumed to be by Owner.	
9	Topsoil screening is excluded. Topsoil will be respread and rockhounded. Any soil amendments will be surface applied only.	

Foundations

1		
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Concrete

1	Excludes Winter conditions for concrete work as it is not anticipated per the current project schedule.	
2	Curing of concrete shall be with a curing compound. Wet cure is excluded.	
3	FF/FL testing will be performed by the Owners Testing Agency.	

CLARIFICATIONS AND ASSUMPTIONS

4	Concrete honing, grinding, burnishing, and polishing are excluded. It may be purchased from the concrete contractor as a change order when final floor finishes are chosen. Shrinkage and random cracking of slabs are to be expected as an inherent part of concrete construction. Special treatment of concrete slab cracks is excluded.	
Structural Steel and Miscellaneous Metals		
1	Connection design is delegated to the contractor per the construction documents. This includes clip angles, shear tabs, bolts, and welds. Stiffeners, web doublers, and the like are excluded unless shown on the drawings.	
2	Spray on Fireproofing is excluded.	
3	One coat of shop primer is included for steel.	
4	Intumescent paint has been excluded as it is not included in the documents.	
Carpentry and Millwork		
1		
Waterproofing, Roofing, Insulation, Façade and Metal Panels		
1	Only 300 sf ft of chimney tuckpointing is included.	
2	Re-roofing of the existing roof is EXCLUDED.	
3	Use of Manufacturer's standard details supersedes the Contract Documents to maintain warranty.	
4	GMP includes prefabrication of building components. In some circumstances (such as panelized wall systems) additional engineering and verification by the engineer of record will be required. The additional engineering cost from the engineer of record (if any) is excluded. All engineering associated with prefabrication of components is included and will be done by the individual suppliers of such components.	
5	Basic roofing cleaning is included at the completion of the project. This is for the addition only.	
Glass and Glazing		
1		
Finishes		
1	Minor floor prep is included. All major floor preparation prior to flooring is excluded. A \$5,000 allowance was included for floor prep beyond minor floor prep. Anything beyond the \$5,000 allowance will be a change order.	
Accessories		
1		
Special Equipment		
1		
Casework and Residential Items		
1	Library book shelving is not included. Owner provided.	
Plumbing		
1		
HVAC		
1	Excludes duct cleaning.	
2	Temporary heat will be provided in the winter 2021-2022 thru the new heating equipment within the building. All warranties will be extended so they start at Substantial Completion.	

CLARIFICATIONS AND ASSUMPTIONS

3	All commissioning activities are to be performed by the Owner and their 3rd party Commissioning Agent. Excluded from the GMP are any and all travel expenses and/or remobilizations required for the Commissioning Agent. The Substantial Completion Date is based on the Commissioning Agent's ability to perform their work in accordance with the Project Schedule.	
Electrical		
1	All primary cabling, pad-mounted transformers and MV switches are provided by the Utility Company and paid for by the Owner.	
2	Excludes lightning protection or grounding unless specified and designed.	
3	Lighting Controls systems are designed and coordinated by the Designer of Record. Any additional cost associated with cross system device integration will be reconciled through Contract Change Order.	
4	Excludes electrical load bank testing.	
Low Voltage		
1	End devices are being furnished by the Cleveland Public Library and installed by contractor	
2	Scanning of existing floor slabs prior to cutting the floor is excluded.	
3	Excludes any additional structural steel support required for A/V, Tel/Data or Security penetrations through concrete slabs.	
4	Integration of Owner supplied systems (security, AV, Tel/data) to the fire alarm is excluded.	



Cleveland Public Library

Jefferson Branch

June 14, 2021

GMP SUBMISSION

TAB 06 Fixed Rate Schedule



FIXED RATE SHEET

Contract Approved Labor Billing Rates Updated 8/1/2020

Position	Name	Billing Rate
Senior Project Executive	Ed Valentine	\$172.85
Project Manager	Marcellus Byrd	\$123.00
Superintendent	Varies	\$85.00
Chief Estimator - MEPPF	Alice Dean	\$128.00
Scheduler	Jason Ohlson	\$77.00
Safety Manager	Bill Crossley	\$92.00

Site Services Labor at the following fixed rates* **:

Carpenter, Foreman	Regular Time \$, Premium Time \$, Double Time \$ 117.63/\$152.43/\$199.13
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* Trade Rates include small tools with a market replacement value up to \$500, rates do not include consumables.

** Gilbane Building Company hereby discloses to the Owner the use of G.O. Services, a related-entity, for the performance of Trade Labor and



Cleveland Public Library

Jefferson Branch

June 14, 2021

GMP SUBMISSION

TAB 07 Allowances



OWNER ALLOWANCES

No.	Description			Value
Owner Allowance				
1	Book Lockers			By Owner
2	New Exterior Monument Sign			\$ 15,000
3	New Dedication Plaque & Installation			\$ 500
4	Miscellaneous Information & Wayfinding Signage			\$ 3,000
5	Interior Branding and Graphics for Library			\$ 15,000
6	BP01A Additional Repointing of Exterior Brick			\$ 5,000
7	After completion of design, construct a children's feature			Accepted as an Alternate
8	Temporary Partition Infill After Demolition			\$ 5,000
9	Addendum No. 2 - Additional Demolition			\$ 5,000
			Total	\$ 48,500
Owner Allowance Included in Bid Packages				
1	BP01C Surveying			\$ 6,500
2	BP02A Unforeseen Abatement			\$ 15,000
3	BP10A Building Signage (Life Safety)			\$ 5,000
4	BP27A Miscellaneous Technology System Work			\$ 5,000
			Total	\$ 31,500



Cleveland Public Library

Jefferson Branch

June 14, 2021

GMP SUBMISSION

TAB 08 Alternates

ALTERNATES

No.	Description	Add / Deduct	Value	Accepted / Pending / Rejected	Last Date of Acceptance	Date of Acceptance
1	BP26A - A-1: REPLACE EXISTING 1x4 FIXTURES IN EAST BAY OF LIBRARY (AT LOW CEILING) WITH LIGHT FIXTURE TYPE "C" (ABL-LITHONIA: 2BLT4-60L ADP EZ1 LP835) AS INDICATED ON DRAWINGS. EXISTING CEILINGS TO REMAIN. REFER TO SECTION 265100 "INTERIOR LIGHTING".	Add	\$5,500		06/30/21	
2	BP26A - A-2: PROVIDE NEW LED WALL MOUNTED FIXTURES, TYPE "J" (MARK ARCHITECTURAL LIGHTING: S2LWID 4FT 1 N 35 EZB SCT 120 WHT) IN MAIN SPACE OF LIBRARY AS INDICATED ON DRAWINGS. REFER TO SECTION 265100 "INTERIOR LIGHTING".	Add	\$25,000	Accepted	06/30/21	06/14/21
3	BP01A - A-3: INSTALL 3'-0 x 10'-0" CANOPY ABOVE EXTERIOR DOOR 115. REFER TO DETAILS 14, 16, AND 20 ON SHEET A6.2 FOR ASSEMBLY AND MOUNTING INFORMATION. REFER TO SECTION 107316 "PRE-MANUFACTURED CANOPIES".	Add	\$19,200		06/30/21	
4	BP01A - A-4: PROVIDE COOLVU DUAL REFLECTIVE 05 WINDOW FILM TO APPROXIMATELY 450 SF OF EXISTING SKYLIGHTS. REFER TO SECTION 088700 "ARCHITECTURAL WINDOW FILMS".	Add	\$8,680		06/30/21	
5	BP01A - A-5: PROVIDE WALL PROTECTION (WP-1) IN GROUP STUDY ROOMS (ROOMS 103 AND 105), OFFICE (ROOM 104), AND UNDER READING COUNTER IN LIBRARY (ROOM 102) PER ID SHEETS. WP-1: KOROGARD, KOROSEAL, STYLE: TBD, COLOR: TBD, INSTALL: UP TO 42" AFF. COLOR: TO BE SELECTED FROM MANUFACTURER'S STANDARD COLORS. COORDINATE INSTALLATION HEIGHT WITH HEIGHT OF FURNITURE TO BE SUPPLIED IN THESE AREAS. REFER SECTION 097200 "WALL COVERINGS"	Add	\$3,500		06/30/21	
6	BP01A - A-6: PROVIDE FIBER CEMENT PANELS MOUNTED WITH Z CLIPS ON EXTERIOR OF OFFICE (ROOM 104) AND STUDY ROOMS (ROOMS 103 AND 105). REFER TO WALL TYPE A3 ON DRAWINGS SHEET G1.2. PROVIDE FIBER CEMENT PANELS MOUNTED WITH Z CLIPS OVER NEW 5/8" TYPE 'X' GYP. BOARD AND 1-3/8" METAL STUDS AT (4) COLUMNS IN LIBRARY (ROOM 102). REFER TO WALL TYPE B2 ON DRAWINGS SHEET G1.2. REFER TO FLOOR PLAN, INTERIOR ELEVATIONS, ID SHEETS AND 'E' DRAWINGS. NEW ELECTRICAL CONDUITS AND RECEPTACLE BOXES TO BE CONCEALED WITHIN WALL TYPE. EXISTING ELECTRIC RECEPTACLES, THERMOSTATS AND OTHER DEVICES TO REMAIN TO BE RECONFIGURED/EXTENDED TO NEW FACE OF COLUMNS. ALL CONDUIT IS TO BE CONCEALED. REFER TO SECTION 074646 "FIBER-CEMENT SIDING".	Add	\$4,230		06/30/21	
7	BP01A - A-7: PROVIDE STAINLESS STEEL WALL TILES BY MILLINNUEM TILES IN LIEU OF SOLID PHENOLIC PANELS COLOR -1 AT EXTERIOR AS INDICATED ON SHEET A4.1. CANOPY SOFFIT AND (2) VERTICAL WALLS ADJACENT TO NEW ENTRY (DOOR 117A) TO BE SOLID PHENOLIC PANELS COLOR-2 AS INDICATED ON SHEET A4.2. REFER TO SECTION 74215 "STAINLESS STEEL WALL TILES".	Add	\$31,000		06/30/21	
8	BP01A - A-8: PROVIDE CUSTUM-BUILT CHILD BENCH AND SHELVING FEATURE IN CHILDREN'S AREA. REFER TO SHEET A8.3.	Add	\$27,697	Accepted	06/30/21	06/14/21
9	BP26A - A-9: PROVIDE LUMP SUM TO REALLOCATE EXISTING ELECTRIC/TELE DUCT BANK AT THE NEW BIO-RETENTION CELL AND RETAINING. ASSUME 100LF OF 4" PVC DUCT BANK AND 4" PVC TELECOM FOR BIDDING PURPOSES. REFER TO NOTE 4 ON DRAWING C3.0.	Add	\$5,600		06/30/21	
10	BP22A - A8 SS Linear Grilles	Add	\$33,650		06/30/21	
11	BP26A - E1.2 Type Fixtures in Multi-Purpose 106 Room	Add	\$4,200		06/30/21	
12	BP26A - Upcharge to provide an MBE supplier	Add	\$4,200		06/30/21	
13	The Gilbane Building Company GMP Staffing is based on the Master Plan/GMP schedule. Gilbane offers a proposed deductive alternate to CM Services and revised adjusted schedule that may be implemented. Refer to Schedule Section TAB 10.	Deduct	(\$40,346)	Accepted	06/30/21	06/14/21
14	Convert CM General Conditions and Staff on all Projects to Lump Sum (\$1,000 per job)	Deduct	(\$1,000)	Rejected	06/30/21	06/14/21
			Total Accepted	\$12,351		
	Alternate values as presented do not include Gilbane Mark-ups					



Cleveland Public Library

Jefferson Branch

June 14, 2021

GMP SUBMISSION

TAB 09 Unit Cost



UNIT PRICES

No.	Description	Quantity	Unit	Unit Price	Last Date of Acceptance
1	No applicable unit cost				
2					



Cleveland Public Library

Jefferson Branch

June 14, 2021

GMP SUBMISSION

TAB 10 Project Schedule



PROJECT SCHEDULE

Masterplan /GMP Schedule with a data date June 1, 2021			
	Project released in May 2021 Board		
	Technology		
	GMP Approval Date	6/17/2021	
	Construction Start	7/6/2021	(Gilbane Alternate)
	Substantial Completion Date (Certificate of Occupancy)	2/17/2022	(Gilbane Alternate)
	In accordance with the contract agreement Article 19.1.7, the Owner and Gilbane agree that time is of the essence in the completion of the work. Should the CM be liable for liquidated damages in accordance with the contract agreement they may be implemented after:	4/6/2022	

The Cleveland Public Library Phase 1 A projects Construction Management at Risk Services

6/11/2021

Request for proposal and Schematic Design	2020	2021	2022	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;">CM Services (Staffing and Gen. Conditions)</div> \$ 181,558
	F M A M J J A S O N D J Preconstruction 10 mo	F M A M J J A S O N D J Construction 9 mo Construction Start 1/27/2021 Construction Completion 10/31/21	F M A M J J A S O N D	
Library Branch	F M A M J J A S O N D J F M A M J J A S O N D J F M A M J J A S O N D			
Jefferson				

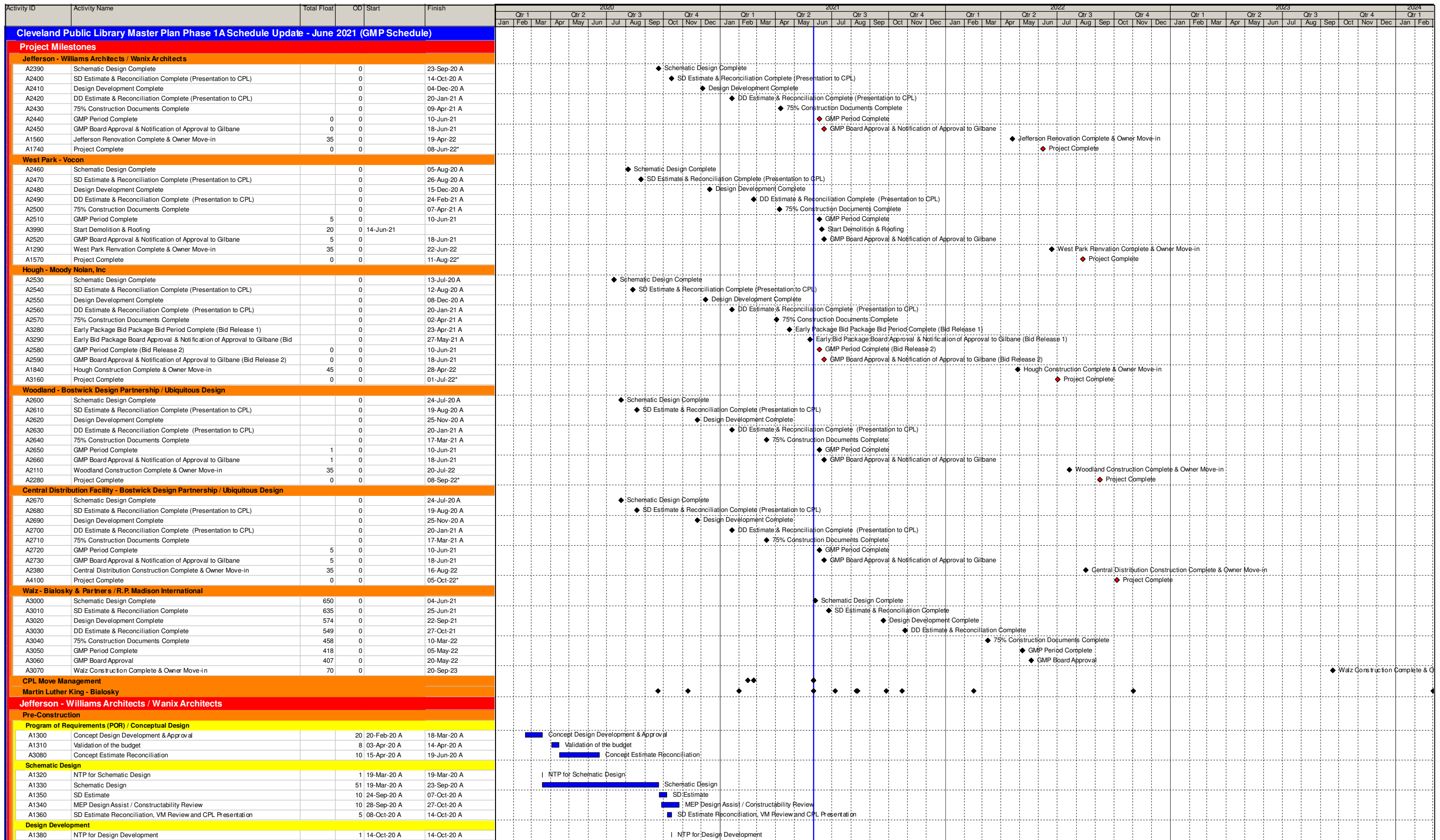
Request for proposal and Schematic Design Schedule

GMP Schedule 2021	2020	2021	2022	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;">CM Services (Staffing and Gen. Conditions)</div> \$ 221,792
	F M A M J J A S O N D J Preconstruction 14 mo	F M A M J J A S O N D J Construction 11 mo Construction Start 7/6/2021 Construction Completion 4/5/2022	F M A M J J A S O N D	
GMP Schedule June 2021	F M A M J J A S O N D J F M A M J J A S O N D J F M A M J J A S O N D			
Jefferson				

GMP Schedule June 2021

Gilbane Proposed Deductive Alternate based on the Bid Schedule	2020	2021	2022	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;">CM Services (Staffing and Gen. Conditions)</div> Credit for Accel. Schedule
	F M A M J J A S O N D J Preconstruction 15 mo	F M A M J J A S O N D J Construction 8 mo x Staffing Start Construction Start 7/6/2021 Construction Completion 2/17/2022	F M A M J J A S O N D	
Bid Package Schedule	F M A M J J A S O N D J F M A M J J A S O N D J F M A M J J A S O N D			
Jefferson				\$ (40,346) CPL Budget 2/25/21 (DD Final) \$ 181,446 \$ 181,446

Gilbane Proposed Deductive Alternate based on the Bid Schedule

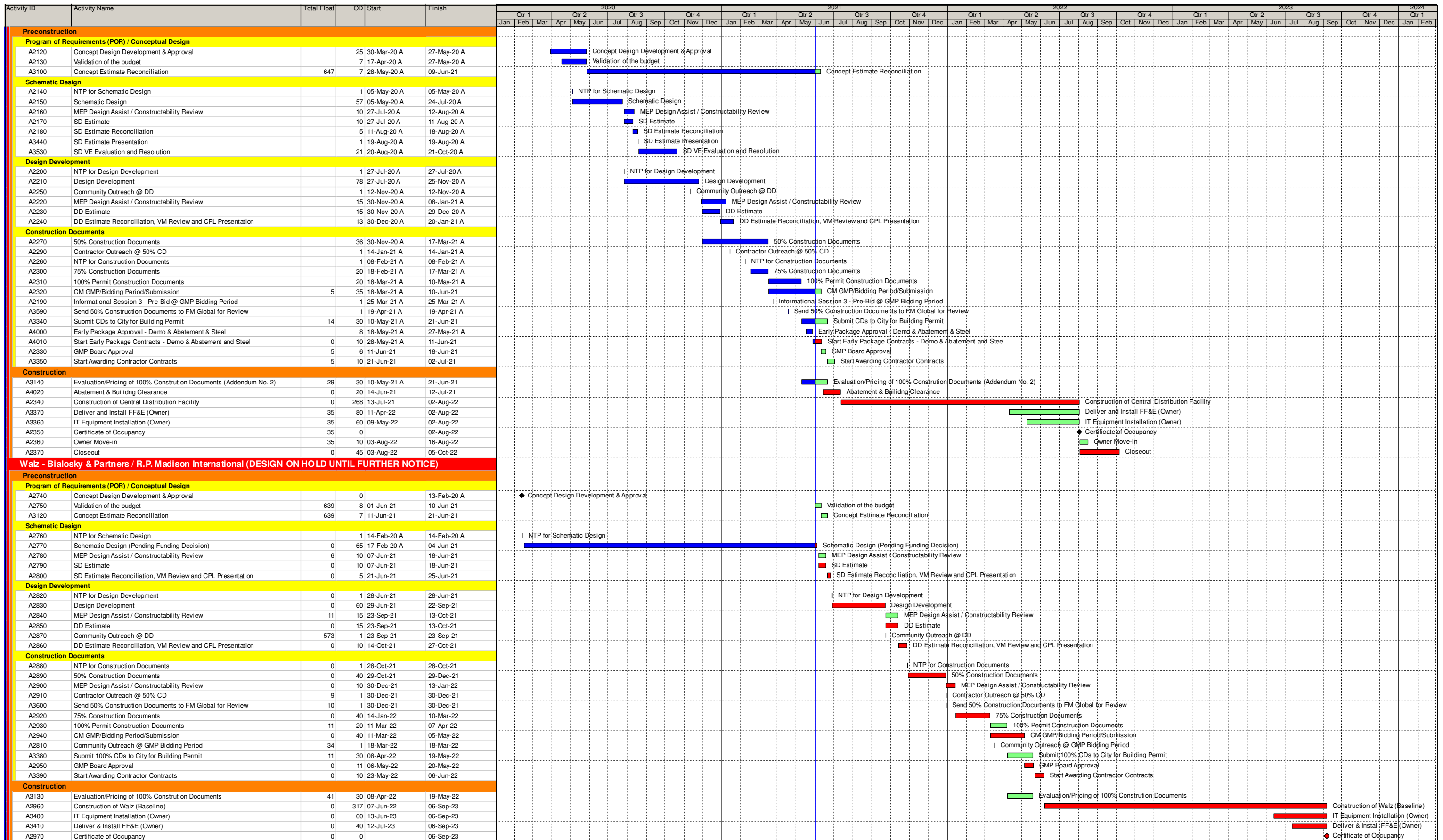


Start Date: 01-Jan-20
 Finish Date: 01-Mar-24
 Data Date: 01-Jun-21
 Run Date: 08-Jun-21 18:37

Remaining Level of Effort
 Actual Level of Effort
 Actual Work
 Remaining Work
 Critical Remaining Work
 Summary Milestones
 Critical Milestones
 Milestone

Cleveland Public Library Master Plan Phase 1A Schedule Update - June 2021 (GMP Schedule)





Start Date: 01-Jan-20
 Finish Date: 01-Mar-24
 Data Date: 01-Jun-21
 Run Date: 08-Jun-21 18:37

- Remaining Level of Effort
- Actual Level of Effort
- Actual Work
- Remaining Work
- ◆ Critical Remaining Work
- ◆ Summary Milestones
- ◆ Critical Milestones
- ◆ Milestone

Cleveland Public Library Master Plan Phase 1A Schedule Update - June 2021 (GMP Schedule)





Cleveland Public Library

Jefferson Branch

June 14, 2021

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TAB 11 Site Logistics



Cleveland Public Library

Jefferson Branch

June 14, 2021

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TAB 12 Site Specific Safety Plan (Cover Page Only)

Safety plan can be provided upon request



PROJECT SAFETY PLAN

J08839.000 - Cleveland Public Library

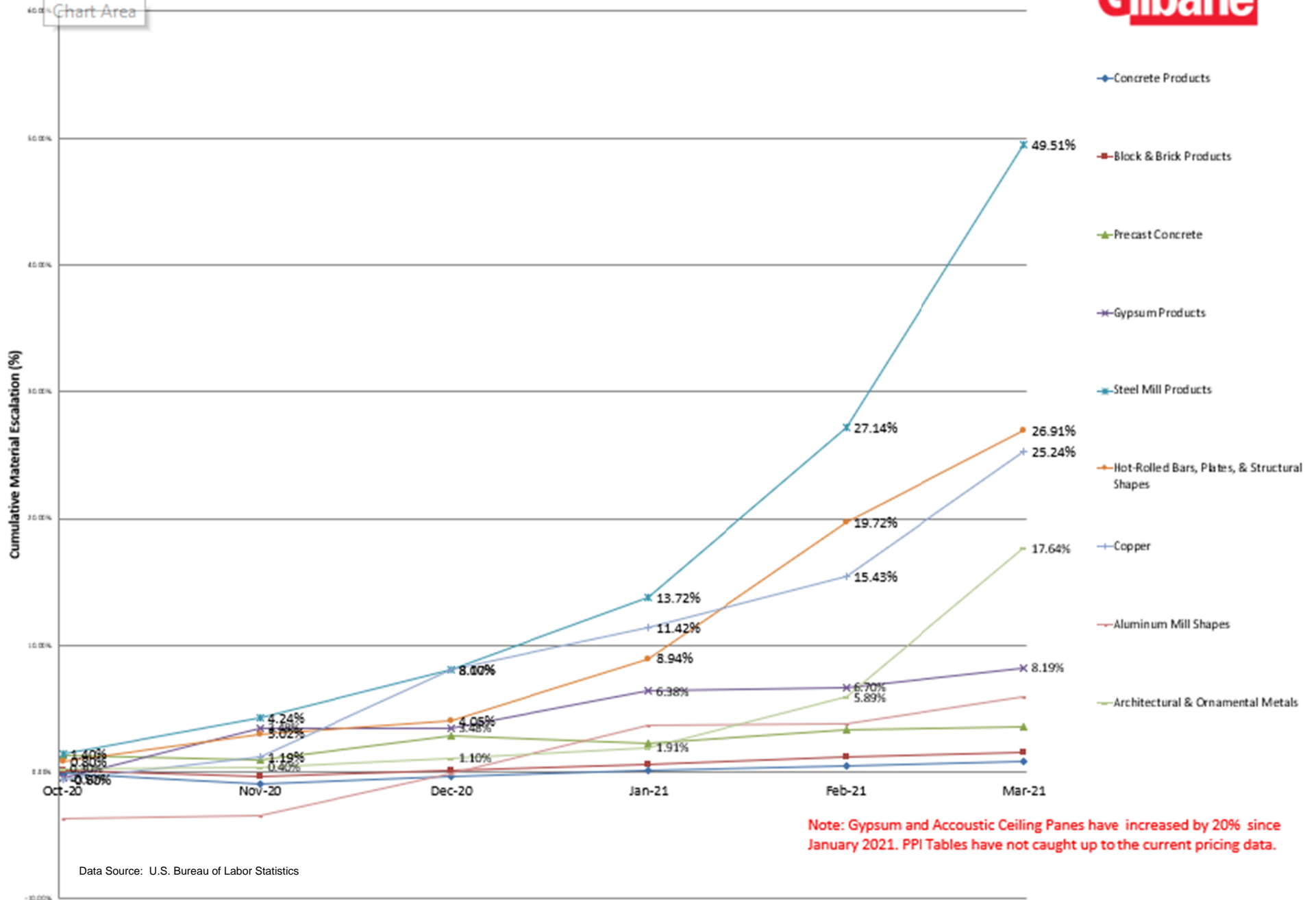
Cleveland, OH

02/16/2021

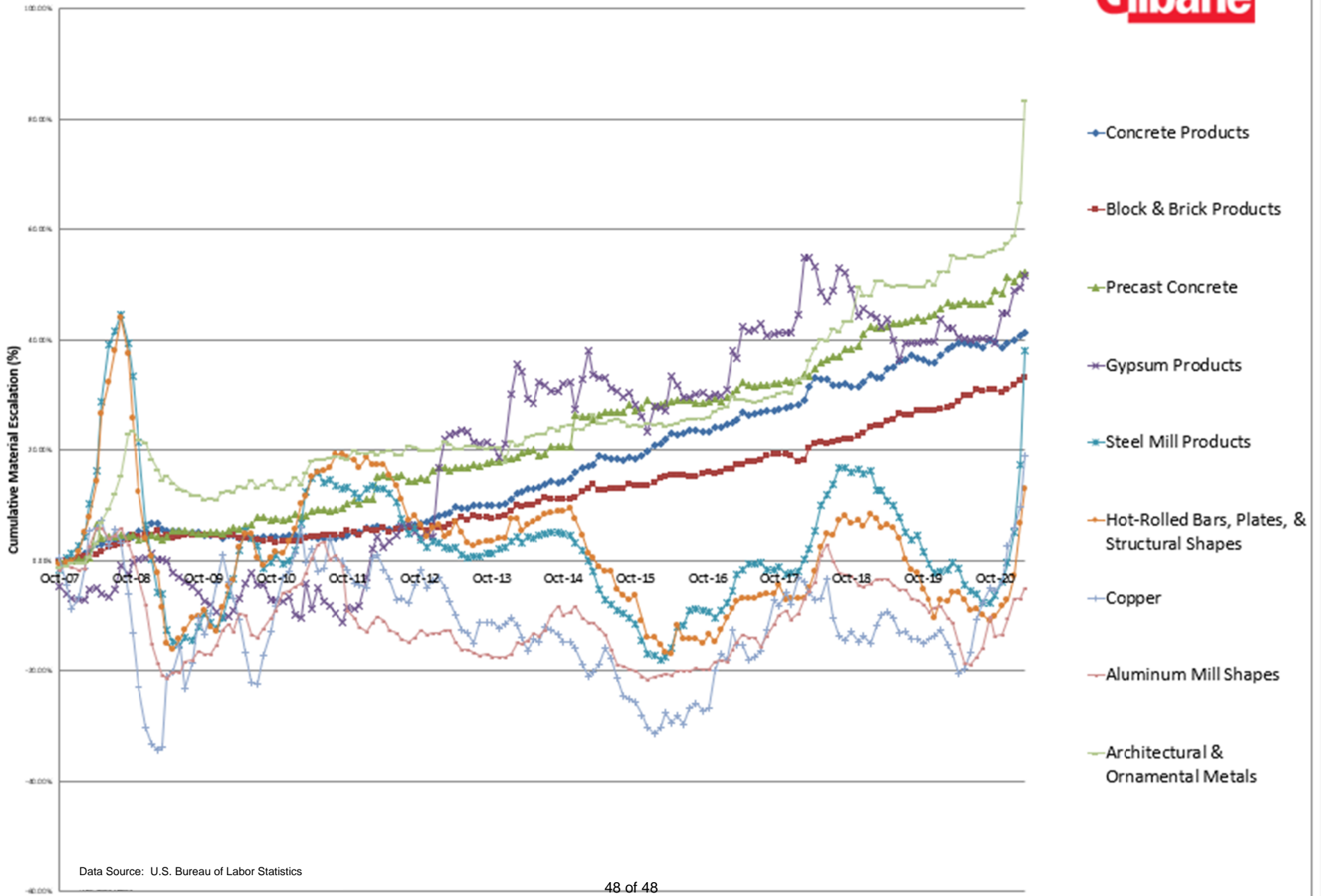
The safety rules and regulations contained herein are **NOT** all inclusive. All United States Department of Labor, Occupational Safety and Health Administration (OSHA) and other legal standards not specifically referenced in these rules, regulations, and policies shall apply when appropriate. In cases of conflict, the most stringent rule shall apply.

TAB 13 Market Trends

Materials Market Data (Recent Six Months)



Materials Market Data (Monthly 2007 through March 2021)



Data Source: U.S. Bureau of Labor Statistics



Guaranteed Maximum Price Proposal

**West Park Branch
Cleveland Public Library
3805 W 157th Street
Cleveland, Ohio 44111**

June 14, 2021

950 Main Ave, Suite 1410, Cleveland, Ohio 44113





6/14/2021

Felton Thomas, Jr.
Cleveland Public Library
3805 W 157th Street
Cleveland, Ohio 44111

Re: West Park Branch: Guaranteed Maximum Price

Dear Mr. Thomas,

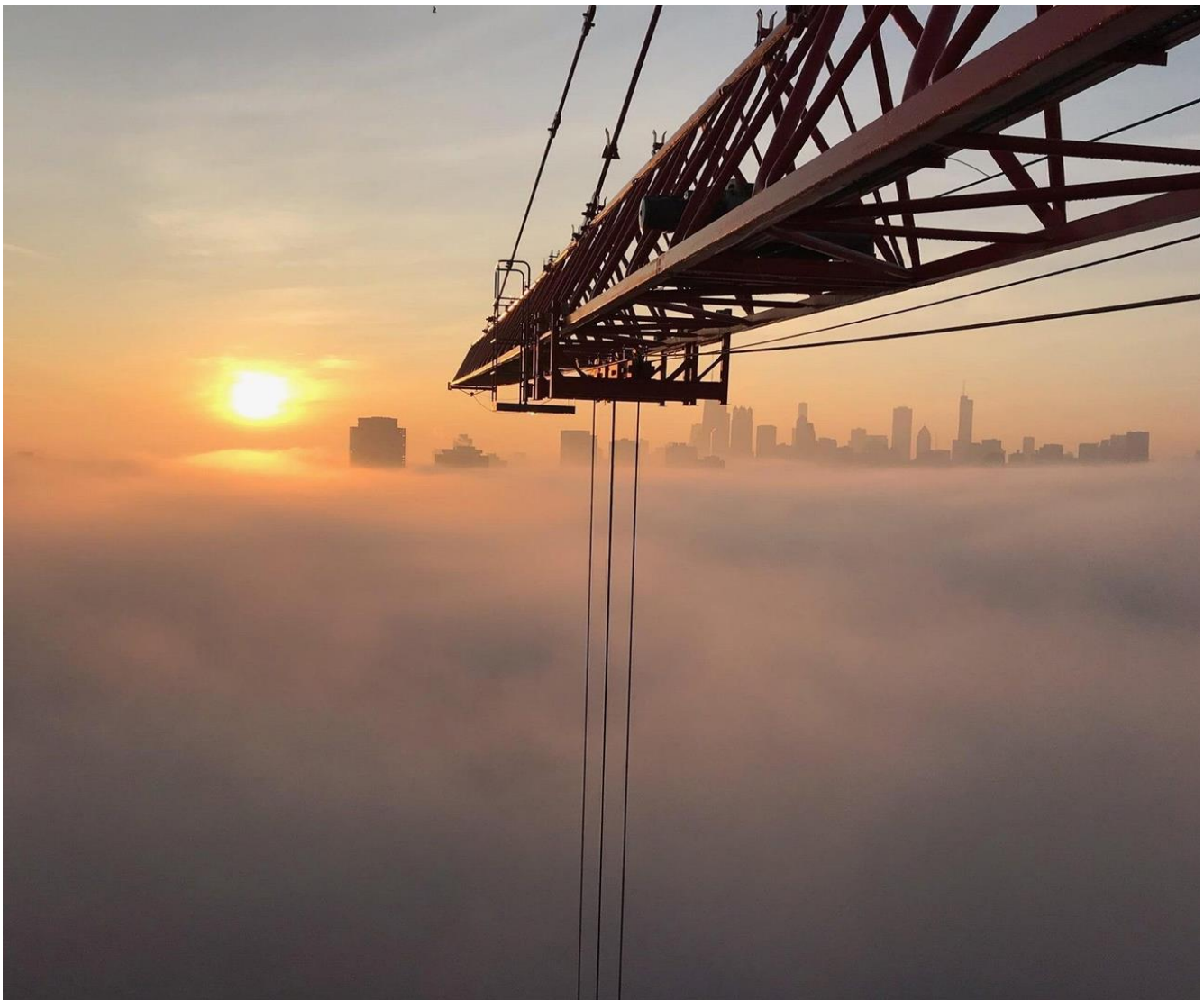
In accordance with the Agreement, please find attached the Guaranteed Maximum Price Amendment for the West Park Branch. Thank you for the opportunity to collaborate with the Cleveland Public Library and Vocon Partners in the development of the project. We look forward to building on this relationship as we construct your project. If you have any questions, please do not hesitate to contact us at any time.

Sincerely,

Ed Valentine
Sr. Project Executive
Gilbane Building Company

TABLE OF CONTENTS

TAB 01	Exhibit A: GMP Amendment	TAB 08	Alternates
TAB 02	GMP Cost Summary and Breakdown	TAB 09	Unit Cost
TAB 03	Economic Inclusion Breakdown	TAB 10	Project Schedule
TAB 04	Basis Documents	TAB 11	Site Logistics
TAB 05	Clarifications and Assumptions	TAB 12	Site Specific Safety Plan
TAB 06	Fixed Rate Schedule	TAB 13	Market Trends
TAB 07	Allowances		





Cleveland Public Library

West Park Branch

June 14, 2021

GMP SUBMISSION

TAB 01 Exhibit A: GMP Amendment



CONSTRUCTION PHASE WORK AUTHORIZATION AGREEMENT

effective as of the _____ day of _____ in the year of 202_.

IN SUPPLEMENT TO THE MASTER AGREEMENT BETWEEN OWNER AND CONSTRUCTION MANAGER AT-RISK DATED _____ (“Master Agreement”).

BETWEEN the Owner:

Cleveland Public Library
325 Superior Avenue
Cleveland, Ohio 44114

and the Construction Manager:

Gilbane Building Company
950 Main Avenue, Suite 1410
Cleveland, Ohio 44113

For the following Cleveland Public Library Branch Project (“Project”):

The Owner and the Construction Manager agree as follows:

ARTICLE 1 THE SCOPE OF THIS AGREEMENT

§ 1.1 This Work Authorization Agreement together with the Master Agreement Between Owner and Construction Manager at-Risk and related documents incorporated by reference in Article 5 herein, hereby together constitute a separate, enforceable Agreement between the Owner and Construction Manager for this Project.

ARTICLE 2 THE SCOPE OF CONSTRUCTION MANAGER’S SERVICES

§ 2.1 PROJECT DESCRIPTION. The Project is generally described as follows:

[INSERT PROJECT DESCRIPTION]

§ 2.2 The Construction Manager’s Work and Services consist of those described in the Master Agreement, the Work Authorization Agreement for Preconstruction Services as supplemented or amended pursuant to this Work Authorization Agreement incorporating by reference the terms and conditions of the Master Agreement, and the following Work and

Services identified in this Work Authorization Agreement as part of Construction Manager's Work and Services for the Project.

ARTICLE 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

§ 3.1 Construction Manager's Work and Services shall be performed as expeditiously as is consistent with professional skill and care and the orderly progress of the Project. The Construction Manager shall attach to this Work Authorization Agreement, for the Owner's approval, Construction Manager's Construction Phase Schedule for the performance of the Construction Manager's Work and Services which may be adjusted by the Owner as the Project proceeds in accordance with the terms and conditions of the Master Agreement Between Owner and Construction Manager at-Risk. This schedule shall include allowances for periods of time required for the Owner's review and for approval of submissions by authorities having jurisdiction over the Project. The schedule shall include anticipated dates for the commencement of construction and for Substantial Completion of the Work. Time limits established by this schedule approved by the Owner shall not, except for reasonable cause as set forth in the Master Agreement Between Owner and Construction Manager at-Risk, be exceeded by the Construction Manager. The following considerations and Milestone Dates shall be incorporated into the schedule for the performance of the Construction Manager's Work and Services pursuant to this Work Authorization Agreement for the Construction Phase of the Project:

Construction Phase Commencement Date: _____
Interim Milestone A: [insert description] _____
Interim Milestone B: [insert description] _____
Substantial Completion Date: _____
Final Completion Date: _____

§ 3.2 With respect to the obligations of both the Owner and the Construction Manager, time is of the essence of this Work Authorization Agreement.

§ 3.3 The Owner and Construction Manager agree that if and to the extent that the Completion of any portion of the Work is delayed beyond the relevant Milestone Dates (each, an "Interim Milestone") or the Substantial Completion of the Work as a whole is delayed beyond the Required Date of Substantial Completion due to the failure of the Construction Manager to perform its obligations under the Contract Documents, the Owner would suffer damages that would be difficult to determine. Consequently, the Owner and Construction Manager hereby agree that if Construction Manager fails to complete the Work on or before the relevant Milestone Dates, or the date of Substantial Completion, as liquidated damages, and not as a penalty, the Construction Manager shall be liable for liquidated damages in the following diem amounts:

§ 3.3.1 The sum of _____ Dollars (\$ _____) per day for each day that the portion of the Work required to be delivered pursuant to any Interim Milestone is delayed beyond the Required Date of the Interim Milestone;

§ 3.3.2 The sum of _____ Dollars (\$ _____) per day for each day up to and including _____ (_____) days that the Work required to be delivered on or before Substantial Completion is delayed beyond the Required Date of Substantial Completion; and

§ 3.3.3 The sum of _____ Dollars (\$ _____) per day for each day after the _____ (_____) day that the Work required to be delivered on or before Substantial Completion is delayed beyond the Required Date of Substantial Completion.

ARTICLE 4 GUARANTEED MAXIMUM PRICE

§ 4.1 The Construction Manager's Guaranteed Maximum Price is set forth in the Guaranteed Maximum Price Amendment dated _____, 202_ which is attached hereto and incorporated herein as Exhibit "A." The Guaranteed Maximum Price Amendment is summarized as follows:

§ 4.1.1 The Construction Manager's Preconstruction Stage Compensation: \$ _____

§ 4.1.2 The Construction Manager's Contingency: \$ _____
 § 4.1.4 The Construction Manager's Construction Phase General Conditions Costs: \$ _____
 § 4.1.4.1 The Construction Manager's Construction Stage Personnel: \$ _____
 § 4.1.5 The Construction Manager's Fee: \$ _____
 § 4.1.6 The Owner's Allowance Amount for Work Orders: \$ _____
 § 4.1.7 The Cost of the Work \$ _____
 § 4.1.8 The Cost of the Bond \$ _____
 § 4.2 The Total Guaranteed Maximum Price: \$ _____

§ 4.3 Construction Manager's mark-up for approved Change Orders pursuant to the terms of the Master Agreement.
 § 4.3.1 For Work self-performed by Construction Manager's own forces a _____ percent (_____ %) mark up for the Cost of the Work.
 § 4.3.2 For Work performed by Construction Manager's Subcontractors at whatever tier a _____ percent (_____ %) mark up for the Cost of the Work.

§ 4.4 Construction Manager's adjustment to its Fee for approved Change Orders pursuant to the terms of the Master Agreement.
 § 4.4.1 _____ percent (_____ %) of the Cost of the Work.

ARTICLE 5 ENUMERATION OF WORK AUTHORIZATION AGREEMENT DOCUMENTS

§ 5.1 The Work Authorization Agreement Documents, except for Modifications issued after execution of this Agreement, are enumerated as follows:

§ 5.1.1 The Master Agreement Between Owner and Construction Manager at-Risk, dated _____, 2020.

§ 5.1.2 The Work Authorization Agreement for Preconstruction Services between Owner and Construction Manager at-Risk dated _____, 2020;

§ 5.1.3 This executed Work Authorization Agreement for the Construction Phase for the Project;

§ 5.1.4 The Guaranteed Maximum Price Amendment, attached hereto and incorporated herein as Exhibit "A."

§ 5.1.4 The following Modifications to the Master Agreement Between Owner and Construction Manager at-Risk, issued prior to the execution of this Work Authorization Agreement:

Modification	Date
---------------------	-------------

§ 5.1.5 Other Documents, if any, forming part of the Work Authorization Agreement Documents are as follows:

This **Work Authorization Agreement** is entered into as of the day and year first written above.

OWNER:
CLEVELAND PUBLIC LIBRARY

CONSTRUCTION MANAGER:
Gilbane Building Company

(Signature)

(Signature)

By: Director, Chief Executive Officer

Title:



Cleveland Public Library

West Park Branch

June 14, 2021

GMP SUBMISSION

TAB 02 Cost Summary and Breakdown



GUARANTEED MAXIMUM PRICE (GMP) BREAKDOWN

		SBE/MBE/WBE			
BID PACKAGE NO. & DESCRIPTION	SUBCONTRACTOR	% Participation	Certification	GMP VALUE	
01A	General Trades / C&S / Fit-Out	JWT & Associates	100	MBE & FBE	\$ 1,142,528
	Temporary Partitions/Safety/(Dumpsters)	Unbought Scope - TBD			\$ 35,884
01B	Final Cleaning	incl. in BP01A			\$ -
01C	Surveying - Allowance				\$ 5,000
02A	Selective Demolition & Abatement	Petty Group	100	MBE & SBE	\$ 188,000
05A	Structural & Misc. Steel	incl. in BP01A			\$ -
07A	Roofing	Industrial First, Inc.	30	MBE, FBE & SBE	\$ 700,000
	Signage - Allowance Signage (Graphics & Exterior Sign)				\$ 29,124
14A	Elevator	Schindler Elevator Corporation	0		\$ 67,700
22A	Mechanical (HVAC / Plumb / FP)	Automatic Mechanical Corporation	100	MBE, FBE & SBE	\$ 637,625
26A	Electrical	Legacy Electric, LLC	100	FBE & SBE	\$ 325,000
27A	Tel / Data	Technology Install Partners	100	FBE	\$ 43,400
31A	Site Work - All Components	R.J. Platten Contracting Company	100	MBE, FBE & SBE	\$ 244,216
Subcontractor Bid Subtotal					\$ 3,418,477
Subcontractor Risk Program (P&P Bonds or CDI):					1.20%
Owner Allowances					\$ 41,022
Subcontractor Bid Subtotal					\$ 3,500,499
General Conditions (CM Staffing and Reimbursables):					\$ 251,925
Coronavirus Impact Contingency:					\$ 25,000
Construction Contingency:					2.75%
Accepted Alternates (reference alternates tab):					\$ (4,600)
Subtotal: Cost of Work					\$ 3,869,088
General Liability Insurance:					1.00%
Builder's Risk Insurance: (By CPL)					0.00%
Payment and Performance Bonds:					0.63%
CM Fee:					2.00%
Total Guaranteed Maximum Price					\$ 4,014,826



Cleveland Public Library

West Park Branch

June 14, 2021

GMP SUBMISSION

TAB 03 Economic Inclusion Breakdown



Cleveland Public Library

West Park Branch

June 14, 2021

GMP SUBMISSION

TAB 04 Basis Documents

BASIS DOCUMENTS

SPECIFICATIONS

		Revision Number	Issuance Date	Document Date
01 10 00	SUMMARY	0	5/4/2021	4/30/2021
01 25 00	SUBSTITUTION PROCEDURES	0	5/4/2021	4/30/2021
01 30 00	ADMINISTRATIVE REQUIREMENTS	0	5/4/2021	4/30/2021
01 40 00	QUALITY REQUIREMENTS	0	5/4/2021	4/30/2021
01 50 00	TEMPORARY FACILITIES AND CONTROLS	0	5/4/2021	4/30/2021
01 60 00	PRODUCT REQUIREMENTS	0	5/4/2021	4/30/2021
01 70 00	EXECUTION AND CLOSEOUT PROCEDURES	0	5/4/2021	4/30/2021
02 25 29	ROOFING ASSESSMENT ATTACHMENT OF ROOFING EVALUATION REPORT	0	5/4/2021	4/30/2021
02 41 00	SELECTIVE DEMOLITION	0	5/4/2021	4/30/2021
03 30 00	CAST IN PLACE CONCRETE	0	5/4/2021	4/30/2021
04 01 00	MAINTENANCE AND REPAIR OF MASONRY	0	5/4/2021	4/30/2021
04 05 11	MORTAR AND MASONRY GROUT	0	5/4/2021	4/30/2021
04 20 00	UNIT MASONRY	0	5/4/2021	4/30/2021
04 43 13	STONE MASONRY VENEER	0	5/4/2021	4/30/2021
05 12 00	STRUCTURAL STEEL FRAMING	0	5/4/2021	4/30/2021
05 31 00	STEEL DECKING	0	5/4/2021	4/30/2021
05 50 00	METAL FABRICATIONS	0	5/4/2021	4/30/2021
05 51 00	METAL PAN STAIRS	0	5/4/2021	4/30/2021
05 51 33	METAL LADDERS	0	5/4/2021	4/30/2021
05 73 10	WET GLAZED GLASS RAILING SYSTEM	0	5/4/2021	4/30/2021
06 10 00	CARPENTRY	0	5/4/2021	4/30/2021
06 20 23	INTERIOR FINISH CARPENTRY	0	5/4/2021	4/30/2021
06 41 13	WOOD VENEER FACED CABINETS	0	5/4/2021	4/30/2021
06 41 16	PLASTIC-LAMINATE-FACED ARCHITECTURAL CABINETS	0	5/4/2021	4/30/2021
06 41 20	COUNTERTOPS	0	5/4/2021	4/30/2021
06 42 16	FLUSH WOOD PANELING	0	5/4/2021	4/30/2021
06 46 00	WOOD TRIM	0	5/4/2021	4/30/2021
07 14 00	FLUID APPLIED WATERPROOFING	0	5/4/2021	4/30/2021
07 21 00	THERMAL INSULATION	0	5/4/2021	4/30/2021
07 31 26	SLATE SHINGLES	0	5/4/2021	4/30/2021
07 43 13	METAL WALL PANELS	0	5/4/2021	4/30/2021
07 42 33	PHENOLIC WALL PANELS	0	5/4/2021	4/30/2021
07 53 23	EPDM ROOFING	0	5/4/2021	4/30/2021
07 62 00	SHEET METAL FLASHING AND TRIM	0	5/4/2021	4/30/2021
07 71 00	ROOFING SPECIALTIES	0	5/4/2021	4/30/2021
07 72 00	ROOFING ACCESSORIES	0	5/4/2021	4/30/2021
07 84 00	FIRESTOPPING	0	5/4/2021	4/30/2021
07 92 00	JOINT SEALANTS	0	5/4/2021	4/30/2021
08 11 13	HOLLOW METAL DOORS AND FRAMES	0	5/4/2021	4/30/2021
08 14 16	FLUSH WOOD DOORS	0	5/4/2021	4/30/2021
08 31 13	ACCESS DOORS AND FRAMES	0	5/4/2021	4/30/2021
08 42 29	AUTOMATIC ENTRANCES	0	5/4/2021	4/30/2021
08 43 13	ALUMINUM FRAMED ENTRANCES AND STOREFRONTS	0	5/4/2021	4/30/2021
08 06 71	DOOR HARDWARE SCHEDULE	0	5/4/2021	4/30/2021
08 71 00	DOOR HARDWARE	0	5/4/2021	4/30/2021
08 91 00	LOUVERS	0	5/4/2021	4/30/2021
09 22 16	NON-STRUCTURAL METAL FRAMING	0	5/4/2021	4/30/2021
09 29 00	GYPSON BOARD	0	5/4/2021	4/30/2021
09 30 00	TILING	0	5/4/2021	4/30/2021
09 51 13	ACOUSTICAL PANEL CEILINGS	0	5/4/2021	4/30/2021
09 65 13	RESILIENT BASE AND ACCESSORIES	0	5/4/2021	4/30/2021
09 65 19	RESILIENT TILE FLOORING	0	5/4/2021	4/30/2021
09 68 13	TILE CARPETING	0	5/4/2021	4/30/2021
09 77 13	STRETCHED FABRIC WALL SYSTEMS	0	5/4/2021	4/30/2021

BASIS DOCUMENTS

09 77 23	FABRIC WRAPED PANELS	0	5/4/2021	4/30/2021
09 91 23	INTERIOR PAINTING	0	5/4/2021	4/30/2021
10 28 00	TOILET AND BATH ACCESSORIES	0	5/4/2021	4/30/2021
10 44 15	FIRE EXTINGUISHER CABINETS AND FIRE EXTINGUISHERS	0	5/4/2021	4/30/2021
14 21 00	ELEVATORS	0	5/4/2021	4/30/2021
22 01 00	PLUMBING GENERAL PROVISIONS	0	5/4/2021	4/30/2021
22 02 00	PLUMBING DEMOLITION	0	5/4/2021	4/30/2021
22 03 00	PLUMBING BASIC MATERIALS AND METHODS	0	5/4/2021	4/30/2021
22 040 0	PLUMBING FIRESTOPPING	0	5/4/2021	4/30/2021
22 10 00	PLUMBING SYSTEM COMPONENTS AND DEVICES	0	5/4/2021	4/30/2021
22 13 51	SEWAGE EJECTOR - SUBMERSIBLE, SIMPLEX	0	5/4/2021	4/30/2021
22 14 01	SUMP PUMP - ELEVATOR PIT	0	5/4/2021	4/30/2021
22 33 01	DOMESTIC WATER HEATER - ELECTRIC, POINT-OF-USE INSTANTANEOUS	0	5/4/2021	4/30/2021
22 33 05	DOMESTIC WATER HEATER - ELECTRIC, STORAGE-TYPE	0	5/4/2021	4/30/2021
22 40 00	PLUMBING FIXTURES	0	5/4/2021	4/30/2021
23 01 00	HVAC GENERAL PROVISIONS	0	5/4/2021	4/30/2021
23 01 01	HVAC SUPPLEMENTAL GENERAL PROVISIONS	0	5/4/2021	4/30/2021
23 02 00	HVAC DEMOLITION	0	5/4/2021	4/30/2021
23 03 00	HVAC BASIC MATERIALS AND METHODS	0	5/4/2021	4/30/2021
23 04 00	HVAC FIRESTOPPING	0	5/4/2021	4/30/2021
23 05 05	HVAC EQUIPMENT MOTOR REQUIREMENTS	0	5/4/2021	4/30/2021
23 07 00	HVAC INSULATION	0	5/4/2021	4/30/2021
23 09 00	HVAC INSTRUMENTATION AND CONTROL	0	5/4/2021	4/30/2021
23 20 00	HVAC PIPING AND ACCESSORIES	0	5/4/2021	4/30/2021
23 21 00	HYDRONIC PUMPS	0	5/4/2021	4/30/2021
23 25 01	HEAT TRANSFER FLUID	0	5/4/2021	4/30/2021
23 30 00	AIR DISTRIBUTION	0	5/4/2021	4/30/2021
23 33 00	LIFE SAFETY DAMPERS	0	5/4/2021	4/30/2021
23 34 00	FANS	0	5/4/2021	4/30/2021
23 36 00	AIR TERMINAL UNITS	0	5/4/2021	4/30/2021
23 74 00	PACKAGED ROOFTOP AIR CONDITIONING UNITS	0	5/4/2021	4/30/2021
23 81 26	SPLIT SYSTEM AIR CONDITIONERS	0	5/4/2021	4/30/2021
23 82 01	HYDRONIC HEATING UNITS	0	5/4/2021	4/30/2021
23 82 51	AIR DOOR UNITS	0	5/4/2021	4/30/2021
26 01 00	ELECTRICAL GENERAL PROVISIONS	0	5/4/2021	4/30/2021
26 01 01	ELECTRICAL SUPPLEMENTAL GENERAL PROVISIONS	0	5/4/2021	4/30/2021
26 02 00	ELECTRICAL DEMOLITION	0	5/4/2021	4/30/2021
26 03 00	ELECTRICAL BASIC MATERIALS AND METHODS	0	5/4/2021	4/30/2021
26 03 10	LOW-VOLTAGE ELECTRICAL POWER CONDUCTORS AND CABLES	0	5/4/2021	4/30/2021
26 03 20	RACEWAY AND BOXES FOR ELECTRICAL SYSTEMS	0	5/4/2021	4/30/2021
26 03 30	UNDERGROUND DUCTS AND RACEWAYS FOR ELECTRICAL SYSTEMS	0	5/4/2021	4/30/2021
26 03 40	WIRING DEVICES	0	5/4/2021	4/30/2021
26 04 00	ELECTRICAL FIRESTOPPING	0	5/4/2021	4/30/2021
26 08 10	FUNCTIONAL TESTING OF LIGHTING CONTROLS	0	5/4/2021	4/30/2021
26 21 00	POWER DISTRIBUTION EQUIPMENT	0	5/4/2021	4/30/2021
26 21 15	GROUNDING OF ELECTRICAL SYSTEMS	0	5/4/2021	4/30/2021
26 22 35	OVERCURRENT PROTECTION DEVICES	0	5/4/2021	4/30/2021
26 22 60	SURGE PROTECTIVE DEVICES	0	5/4/2021	4/30/2021
26 25 00	POWER DISTRIBUTION SYSTEM STUDIES	0	5/4/2021	4/30/2021
26 31 40	MANUAL TRANSFER SWITCH FOR TEMPORARY GENERATOR	0	5/4/2021	4/30/2021
26 41 10	LIGHTNING PROTECTION SYSTEM (PASSIVE)	0	5/4/2021	4/30/2021
26 51 00	LED LUMINAIRES	0	5/4/2021	4/30/2021
26 52 00	LUMINAIRE CONTROL	0	5/4/2021	4/30/2021
26 52 60	LIGHTING CONTROL SYSTEM	0	5/4/2021	4/30/2021
26 71 00	LOW VOLTAGE SYSTEMS ROUGH-IN	0	5/4/2021	4/30/2021
26 81 40	ADDRESSABLE FIRE ALARM SYSTEM	0	5/4/2021	4/30/2021
28 3111	DIGITAL, ADDRESSABLE FIRE ALARM SYSTEM	0	5/4/2021	4/30/2021

BASIS DOCUMENTS

31 10 00	SITE CLEARING	0	5/4/2021	4/30/2021
31 22 00	GRADING	0	5/4/2021	4/30/2021
31 23 33	TRENCHING AND BACKFILL	0	5/4/2021	4/30/2021
32 12 16	ASPHALT PAVING	0	5/4/2021	4/30/2021
32 13 13	CONCRETE PAVING	0	5/4/2021	4/30/2021
33 30 00	SANITARY SEWERAGE UTILITIES	0	5/4/2021	4/30/2021
33 40 00	STORM WATER DRAINAGE PIPING	0	5/4/2021	4/30/2021
33 41 00	SUBDRAINAGE PIPING	0	5/4/2021	4/30/2021

DRAWINGS

		Revision Number	Issuance Date	Document Date
G100	COVER SHEET, DRAWING INDEX, CODE & INFORMATION	0	5/4/2021	4/30/2021
G200	CODE CHAPTER 34 & GENERAL NOTES	0	5/4/2021	4/30/2021
G201	ABBREVIATIONS & SYMBOLS	0	5/4/2021	4/30/2021
G202	BARRIER-FREE ACCESSIBILITY REQUIREMENTS AND TYPICAL MOUNTING HEIGHTS INFORMATION	0	5/4/2021	4/30/2021
G300	ADA & CODE SIGNAGE	0	5/4/2021	4/30/2021
DC101.00	CIVIL DEMOLITION PLAN	0	5/4/2021	4/30/2021
C000.00	CIVIL GENERAL NOTES & LEGEND	0	5/4/2021	4/30/2021
C400.00	EXISTING SITE PLAN	0	5/4/2021	4/30/2021
C401.00	SITE LAYOUT PLAN	0	5/4/2021	4/30/2021
C402.00	UTILITY PLAN	0	5/4/2021	4/30/2021
C403.00	GRADING PLAN	0	5/4/2021	4/30/2021
C404.00	SWPP PLAN	0	5/4/2021	4/30/2021
C500.00	CIVIL DETAILS	0	5/4/2021	4/30/2021
C501.00	PAVEMENT DETAILS	0	5/4/2021	4/30/2021
C502.00	WALL & STAIR DETAILS	0	5/4/2021	4/30/2021
C503.00	SWPPP DETAILS	0	5/4/2021	4/30/2021
C504.00	SWPPP DETAILS	0	5/4/2021	4/30/2021
L100	PLANTING PLAN	0	5/4/2021	4/30/2021
S001	GENERAL NOTES	0	5/4/2021	4/30/2021
S002	SPECIAL INSPECTIONS	0	5/4/2021	4/30/2021
S100	FOUNDATION PLAN	0	5/4/2021	4/30/2021
S101	MAIN LEVEL FRAMING PLAN	0	5/4/2021	4/30/2021
S102	ROOF FRAMING PLAN	0	5/4/2021	4/30/2021
S201	SECTIONS	0	5/4/2021	4/30/2021
S301	TYPICAL DETAILS	0	5/4/2021	4/30/2021
DA101	MAIN FLOOR & LOWER LEVEL DEMOLITION PLANS	0	5/4/2021	4/30/2021
DA102	ROOF DEMOLITION PLAN	0	5/4/2021	4/30/2021
DA300	EXTERIOR DEMOLITION ELEVATIONS	0	5/4/2021	4/30/2021
AS100	ARCHITECTURAL SITE PLAN & DETAILS	0	5/4/2021	4/30/2021
A000	PARTITION TYPES & UL RATINGS	0	5/4/2021	4/30/2021
A001	PARTITION TYPES & UL RATINGS	0	5/4/2021	4/30/2021
A010	DOOR & WINDOW SCHEDULES, ELEVATIONS & DETAILS	0	5/4/2021	4/30/2021
A050	FINISH SCHEDULES & DETAILS	0	5/4/2021	4/30/2021
A051	INTERIOR FINISH DETAILS	0	5/4/2021	4/30/2021
A101	LOWER LEVEL & MAIN LEVEL CONSTRUCTION PLANS	0	5/4/2021	4/30/2021
A102	ROOF LEVEL CONSTRUCTION PLAN	0	5/4/2021	4/30/2021
A201	LOWER LEVEL & MAIN LEVEL REFLECTED CEILING PLANS	0	5/4/2021	4/30/2021
A202	ENLARGED RCPS & DETAILS	0	5/4/2021	4/30/2021
A203	ENLARGED RCPS & DETAILS	0	5/4/2021	4/30/2021
A300	ENLARGED RESTROOM PLANS AND ELEVATIONS	0	5/4/2021	4/30/2021
A301	LIBRARY STAFF ROOM, BREAK ROOM, AND WELLNESS ROOM ENLARGED PLANS AND ELEVATIONS	0	5/4/2021	4/30/2021
A302	ENLARGED PLANS AND ELEVATIONS	0	5/4/2021	4/30/2021
A400	EXTERIOR ELEVATIONS & DETAILS	0	5/4/2021	4/30/2021

BASIS DOCUMENTS

A450	INTERIOR ELEVATIONS & DETAILS	0	5/4/2021	4/30/2021
A500	BUILDING SECTIONS & DETAILS	0	5/4/2021	4/30/2021
A501	EXTERIOR WALL SECTIONS & DETAILS	0	5/4/2021	4/30/2021
A502	EXTERIOR WALL SECTIONS & DETAILS	0	5/4/2021	4/30/2021
A550	EXTERIOR DETAILS	0	5/4/2021	4/30/2021
A551	ROOF DETAILS	0	5/4/2021	4/30/2021
A552	EXTERIOR DETAILS	0	5/4/2021	4/30/2021
A601	LOWER LEVEL & MAIN LEVEL DEVICE LOCATION PLANS	0	5/4/2021	4/30/2021
A701	LOWER LEVEL & MAIN LEVEL FINISH PLANS	0	5/4/2021	4/30/2021
A800	STAIR ENLARGED PLANS & SECTIONS	0	5/4/2021	4/30/2021
A801	ELEVATOR ENLARGED PLANS & SECTIONS	0	5/4/2021	4/30/2021
A960	MILLWORK DETAILS	0	5/4/2021	4/30/2021
A961	MILLWORK DETAILS	0	5/4/2021	4/30/2021
F101	LOWER LEVEL & MAIN LEVEL FURNITURE LOCATION PLAN	0	5/4/2021	4/30/2021
MD101.00	LOWER LEVEL & MAIN LEVEL HVAC DEMOLITION PLAN	0	5/4/2021	4/30/2021
MD102.00	ROOF HVAC DEMOLITION PLAN	0	5/4/2021	4/30/2021
MD201.00	LOWER LEVEL & MAIN LEVEL HVAC DEMOLITION PIPING PLAN	0	5/4/2021	4/30/2021
M000.00	HVAC SYMBOL LEGND & GENERAL NOTES	0	5/4/2021	4/30/2021
M010.00	HVAC SCHEDULES	0	5/4/2021	4/30/2021
M030.00	HVAC DETAILS	0	5/4/2021	4/30/2021
M030.01	HVAC DETAILS	0	5/4/2021	4/30/2021
M030.02	HEATING WATER SYSTEM DIAGRAM	0	5/4/2021	4/30/2021
M040.00	HVAC CONTROLS	0	5/4/2021	4/30/2021
M040.01	HVAC CONTROLS	0	5/4/2021	4/30/2021
M040.02	HVAC CONTROLS	0	5/4/2021	4/30/2021
M040.03	HVAC CONTROLS	0	5/4/2021	4/30/2021
M101.00	LOWER LEVEL & MAIN LEVEL HVAC PLAN	0	5/4/2021	4/30/2021
M102.00	ROOF HVAC PLAN	0	5/4/2021	4/30/2021
M201.00	LOWER LEVEL & MAIN LEVEL PIPING PLAN	0	5/4/2021	4/30/2021
M202.00	ROOF HVAC PIPING PLAN	0	5/4/2021	4/30/2021
PD101.00	LOWER LEVEL & MAIN LEVEL PLUMBING DEMOLITION PLAN	0	5/4/2021	4/30/2021
PD102.00	ROOF PLUMBING DEMOLITION PLAN	0	5/4/2021	4/30/2021
P000.00	PLUMBING SYMBOL LEGEND & GENERAL NOTES	0	5/4/2021	4/30/2021
P010.00	PLUMBING SCHEDULES	0	5/4/2021	4/30/2021
P030.00	PLUMBING DETAILS & DIAGRAMS	0	5/4/2021	4/30/2021
P101.00	PLUMBING SYMBOL LEGEND AND GENERAL NOTES	0	5/4/2021	4/30/2021
P102.00	ROOF PLUMBING PLAN	0	5/4/2021	4/30/2021
DE101.00	LOWER LEVEL & MAIN LEVEL DEMOLITION PLAN	0	5/4/2021	4/30/2021
DE102.00	ROOF ELECTRICAL DEMOLITION PLAN	0	5/4/2021	4/30/2021
E000.00	ELECTRICAL SYMBOL LEGEND AND GENERAL NOTES	0	5/4/2021	4/30/2021
E010.00	LUMINAIRE SCHEDULE	0	5/4/2021	4/30/2021
E020.00	MECHANICAL EQUIPMENT SCHEDULE	0	5/4/2021	4/30/2021
E030.00	ELECTRICAL DETAILS AND DIAGRAMS	0	5/4/2021	4/30/2021
E040.00	ELECTRICAL DETAILS AND DIAGRAMS	0	5/4/2021	4/30/2021
ES100.00	ELECTRICAL SITE PLAN	0	5/4/2021	4/30/2021
E101.00	ELECTRICAL SYMBOL LEGEND AND GENERAL NOTES	0	5/4/2021	4/30/2021
E101.01	MAIN LEVEL LIGHTING PLAN - ALTERNATE	0	5/4/2021	4/30/2021
E201.00	LOWER LEVEL & MAIN LEVEL POWER & FIRE ALARM PANELS	0	5/4/2021	4/30/2021
E202.00	ROOF ELECTRICAL PLAN	0	5/4/2021	4/30/2021
E501.00	LIGHTING CONTROL DETAILS	0	5/4/2021	4/30/2021
E601.00	GROUNDING DIAGRAM	0	5/4/2021	4/30/2021
E601.01	GROUNDING DIAGRAM OPTIONS	0	5/4/2021	4/30/2021
E603.00	FIRE ALARM RISER	0	5/4/2021	4/30/2021
E701.00	ONE LINE DIAGRAM	0	5/4/2021	4/30/2021
E801.00	PANEL SCHEDULES	0	5/4/2021	4/30/2021
AV-01	A/V LOCATION PLANS	0	5/4/2021	4/30/2021
AV-RCP-01	A/V LOCATION REFLECTED CEILING PLANS	0	5/4/2021	4/30/2021



BASIS DOCUMENTS

AVR-01	A/V RACK ELEVATIONS	0	5/4/2021	4/30/2021
AVD-01	FACEPLATE DETAILS	0	5/4/2021	4/30/2021

OTHER DOCUMENTS

		Revision Number	Issuance Date	Document Date
	Document Description			
	Master Schedule w/Data Date 06/01/2021			



Cleveland Public Library

West Park Branch

June 14, 2021

GMP SUBMISSION

TAB 05 Clarifications & Assumptions

CLARIFICATIONS AND ASSUMPTIONS

GENERAL	
1	GMP is based on receiving executed GMP or a pre-GMP change order on or before June 21, 2021.
2	Phase 1A staffing is contingent upon the approval of all five (5) GMPs (Woodland Library Branch, Central Distribution Facility, Hough Library Branch, Jefferson Library Branch, and West Park Library Branch).
3	The Coronavirus Impact Contingency is a lump sum value of \$25,000. All cost that exceeds \$25,000 will be an Owner change order. The contingency has been established in accordance with the contract agreement.
4	The costs for the general building permit and trade specific permits, usage and tap fees are excluded from the GMP (by Owner) as they are unknown at this time from the City of Cleveland.
5	GMP assumes that all work will be completed during normal working hours of 7:00 AM - 4:00 PM. All premium time/overtime has not been included.
6	Construction hours are assumed to be 1st shift other than occasional off-hours work to accommodate tie-ins or shut downs / connections of major systems.
7	All pricing is based upon open, competitive bidding by prequalified subcontractors. No single sourcing of materials or equipment shall be required.
8	Material testing shall be by a 3rd party selected and paid by the Owner and is not included in this GMP.
9	No accommodations for LEED have been incorporated into the West Park GMP. However, the A/E will incorporate sustainability practices in the design.
10	GMP assumes that the fixed rates included in Fixed Rates Section shall be applicable to General Conditions and Site Services items included in the project costs. The fixed rates are valid until the substantial completion date.
11	The GMP is based upon receiving all document deliverables from the Owner and Architect per the Project Schedule and timeframes indicated in the GMP Basis Documents for Submittals, Requests for Information, Change Order pricing and other deliverables that may have schedule implications. Critical items requiring compressed review timeframes will be identified on the submittal register and discussed during the weekly project team meetings.
12	The GMP is based upon temporary use of some of the building permanent systems such as: heating and cooling equipment and systems, building controls systems, electrical systems, plumbing fixtures and systems, etc. Warranties for the equipment/systems as described above shall commence on the date of Contract Completion or Owner occupancy, whichever occurs first.
13	Gilbane reserves the right to optimize the sequence of construction at any time. This may include re-arranging construction activities, adjustment of activity durations, and any other changes which will not affect the final delivery dates.
14	It is assumed the GMP Basis Documents issued by the Design Team, were prepared in a manner that put forth reasonable and professional care to comply with all applicable laws, codes (including the latest City, State, or Federal Approved Building Codes), and regulations of various governmental entities having jurisdiction over this project. City, State or other Authorities having Jurisdiction (AHJ) contemplated or pending Code revisions, not indicated in the GMP Basis Documents are excluded from this GMP.
15	The GMP approved on June 17, 2021 are based on the documents referenced in TAB 04.
16	All extended Subcontractor and manufacturer warranties shall be "pass-through" warranties from the appropriate party; extended warranties by Gilbane are not included in the GMP.
17	The Guaranteed Maximum Price (GMP) is not guaranteed by bid package or estimate line item. The GMP is guaranteed by the total amount. It is assumed that the DESIGN TEAM will work as a Collaborative Team within the allocated budgets for the completion of design. This is not intended to be a "line-item" GMP. All items except Owner allowances will reconcile to the CM Contingency.
18	Acceptance of the GMP constitutes acceptance of the Gilbane recommended lowest responsible bidders listed contained within the GMP. The GMP is based on the listed trade contractors' acceptance and execution of a contract to perform the work. Rejection of a bid of a trade contractor listed within the GMP by the Owner will require an adjustment to the GMP value to accommodate the next lowest responsible bidder.
19	This GMP does not currently include the alternates shown in the Alternate section. These alternate will be an add to the GMP.

CLARIFICATIONS AND ASSUMPTIONS

20	In lieu of paper, electronic document control will be utilized on the project for the processing and turnover of all project documents including but not limited to: submittals, requests for information, punch list, AE field reports, time and material slips, drawings, specification, Operating Manuals etc. Project management Software systems include Smartapp, BIM 360 Field, Bluebeam, CMIC and Textura.	
21	No retainage shall be held on Gilbane fee, general conditions, or insurance.	
22	If an owner audit is required it shall be performed and completed within 8 weeks of the Certificated of Occupancy.	
23	Excludes Hazardous waste and/or hazardous soil excavation and disposal. In all cases, it is understood that the Owner shall be deemed as the generator of the hazardous materials. Contractor shall neither take title to or be deemed the generator of the hazardous material or substance at any time during the abatement, removal, transportation or disposal. The Owner or his designated representative will sign all Hazardous Materials disposal manifests for the project.	
24	Excludes costs/fees for environmental permits.	
25	Excludes all cost and schedule impacts resulting from Federal Government proclamations or imposed tariffs enacted after GMP approval.	
26	The GMP is based on the Site Logistics Drawings included Site Logistics section. Any deviations will be a change to the GMP.	
27	The Temporary Certificate of Occupancy (TCO) shall be considered achievement of Substantial Completion. If the TCO cannot be obtained through no fault of the Construction Manager, Substantial Completion shall not be withheld.	
28	This GMP includes achieving enterprise goals of 9% FBE, 20% MBE and 15% SBE. Changes are excluded from the WBE/MBE goals.	
29	The only security provision included in the GMP is the perimeter site fence.	
30	If unit prices are stated in the Agreement or subsequently agreed upon, and if the quantities originally contemplated are so changed in a proposed Change Order or as a result of several Change Orders that application of the agreed unit prices to the quantities of Work proposed will cause substantial inequity to the Owner or the Contractor, the applicable unit prices and Contract Sum shall be equitably adjusted. Additionally, where the price of material, equipment, energy and/or labor increase during the term of the Contract through no fault of the Contractor, including but not limited to the imposition of tariffs or taxes, the Contract Sum shall be equitably adjusted by a Change Order as provided in Article 18. Such price increases shall be documented by vendor quotes, invoices, catalogs, receipts or other documents of commercial use. (From AIA A 201 document)	
31	Owner Soft Costs and Equipment costs(Not shown within the documents) are not included in the Guaranteed Maximum Price.	
32	COVID-19 QUALIFICATION (CORONAVIRUS) - As of the date of this Guaranteed Maximum Price proposal, Gilbane Building Company is unable to assess the impact of the ongoing COVID-19 pandemic and how it may affect the Construction Schedule and Project cost long-term. In light of the wide-ranging and potentially long-lasting effects posed by the COVID-19 pandemic, including, without limitation, disruption of construction supply chains, labor shortages, and governmental actions, Gilbane reserves its right to assess such impact on an ongoing basis and to seek an equitable adjustment in the Guaranteed Maximum Price and an extension of the Contract Time as such adjustments become necessary. This qualification supersedes and takes precedence over all other terms of the Contract Documents, including without limitation Section 13 & 19.	
33	Owner's vendors, contractors, and consultants will be responsible for clean up of their debris and depositing of the debris into their own on site dumpsters.	
34	Review time for Submittals will be no longer than 7 days, some critical submittals will need to be addressed within 3 days. Critical submittals will be identified weekly by the Gilbane project team.	
35	All Request for Information (RFI) will be responded to within 72 hours from submission to the Architect.	
36	Unless specified, no samples or product data will be provided for named products, except for color.	
37	Benchmarks will be conducted at the first install of material for conformance to the contract requirement in accordance with the Gilbane Quality Plan.	

CLARIFICATIONS AND ASSUMPTIONS

38	Retainage value will be based on a per subcontractor basis. Final retainage shall be released upon 100% completion of an individual Subcontractor's work including punch-list items, and all close-out documentation has been completed and submitted by the Subcontractor, and approved by the Construction Manager, Owner and Architect. Separate requisitions will be submitted by requesting subcontractors.	
39	The project is not a LEED project and no costs have been carried as it relates to this certification process or meeting any requirements.	
40	Professional video recording of Owner Training is excluded, however video recording where required by the specifications and allowed by equipment manufactures.	
41	Professional photography or webcam for construction progress and completion is excluded.	
42	Design Team AutoCAD/ Rev-it files shall be provided to Gilbane and its trade contractors at no cost.	
43	Gilbane will coordinate with the Owner's vendors and equipment suppliers but do not include the management time for the installation.	
44	Owner to provide LCP diversity tracking software for utilization by Gilbane and the subcontractors.	
45	Assumes the integrity of the existing utilities are adequate for new construction, including new connections and capacities.	
46	Deferred maintenance costs have been excluded. The maintenance items previously identified should be incorporated with in the construction documents.	
47	Gilbane to use existing space in the West Park Library Branch to establish temporary office space.	
48	<p>The following will be provided by Cleveland Public Library:</p> <ol style="list-style-type: none"> 1. Building Permit 2. Land acquisition 3. Off-site improvements (Adjacent Roadway Improvements, Traffic Lights, turn lanes, public utility mains) 4. Professional service fees and reimbursables (Architect, Engineering, Consulting, Owner's Representative) 5. Geotechnical Surveys and testing 6. Material testing 7. Regulatory and permit fees 8. Owner required furniture, fixtures, and equipment – including but not limited to loose equipment, furniture, employee workstations, computers, phones, voice/data/security equipment, indoor plantings and artwork 9. Builder's Risk Insurance 10. Offsite utility infrastructure and connection fees (power, gas, telephone, data...) 11. 3rd Party Commissioning 12. Owner transition Moves 	
Miscellaneous		
1	Builder's Risk Insurance is by the owner. Owner shall provide Builder's Risk "All-Risk" Insurance in the amount of the Contract Sum, plus any subsequent contract modifications. Such insurance shall include the perils of fire, theft, vandalism, collapse, earthquake, flood, named and un-named windstorm, and cover portions of the Work stored off the site and in transit. If the property insurance requires deductibles, the contractor shall be responsible as the Cost of Work for costs not covered due to such deductibles, except that the Owner shall be solely responsible for any costs not covered due to deductible arising out of any loss due to flood, earthquake, named and un-named windstorm, hail, volcanic eruption or terrorism. Owner shall provide a copy of the proposed Builders Risk policy for review by Gilbane. If the policy does not adequately protect Gilbane and our Subcontractors, Gilbane reserves the right to require additional coverage or purchase a Difference in Conditions policy as a Cost of Work.	
2	All moving, relocation, and final connection to building utilities of existing Owner or user group possessions and equipment are by the Owner.	

CLARIFICATIONS AND ASSUMPTIONS

3	Excludes any blocking for Owner Furniture, Fixtures, and Equipment unless indicated in the documents.	
4	Independent 3rd party testing, inspection and Commissioning costs are provided by the Owner. Overtime/fees/charges for Owner Personnel and 3rd Party Inspectors is not included. Support is provided by the relevant subcontractor with appropriate oversight and coordination by Gilbane.	
5	Payment for the building permit is the responsibility of the Owner, the CM will obtain the permit from the City of Cleveland.	
6	Temporary utility consumption costs is by owner.	
7	Excludes all utility company charges associated with connecting, relocating or removing permanent utilities.	
8	The owner's vendors and consultants must abide by the Gilbane site specific safety plan.	
9	Excludes costs for Temporary elevator use for Owner's vendors.	
10	Excludes final keying. All locks to be provided with keyed alike construction cores (except millwork). Final Keying to be performed by the Owner.	
CM Contingency		
1	GMP includes a Construction Manager's Contingency for the Construction Manager's exclusive use to cover those costs considered reimbursable as the Cost of the Work but not included in a Change Order. Refer to Article 13.1.9 of the contract.	
Allowances		
1	Owner Allowance costs are reconciled by Owner Change Order with applicable markups. Fee will not be reduced for Allowances that are under run. The CM will provide a regular accounting of allowance balances.	
Changes in Work (Out of Scope)		
1	Due to the speed of construction and design, select Change Orders will need to be executed on estimated values in order to allow for the payment to Trades for expedited work. These Change Orders will be reconciled upon the acceptance of the final value of the Changes.	
2	Fee will not be returned on deduct changes.	
EXCLUSIONS		
1	Removal of existing furniture	
2	Existing structure and/or foundations supplemental work is excluded.	
3	FF&E is excluded.	
4	Furniture fixtures and equipment	
5	No standalone mockups	
6	PSI Asbestos Abatement report dated, 04/27/2021 is excluded.	
7	Repair to City Streets and existing sidewalks	
LOGISTICS AND SCHEDULE		
1	Due to the volatility with the current market, the current project schedule completion date has the potential to be impacted until all contractors are under contract and material procured. Once all contractors are under contract, the project schedule will be reevaluated for impacts due to the volatile market. Contractors will hold their pricing until July 31, 2021.	
2	Refer to Tab 11 for the site utilization plan	
3	The GMP is based on the Master Plan/GMP Schedule, data date, June 1, 2021 with a run date of June 8, 2021 18:37. The schedule is included in TAB 10. The owner has accepted the Gilbane deduct alternate, with substantial completion date of 05/11/2022.	

CLARIFICATIONS AND ASSUMPTIONS

4	<p>The schedule is based on the following assumptions:</p> <ul style="list-style-type: none"> -Utilization of existing power, heat and water including the use of permanent fixtures once installed. -We have allowed 30 days prior to substantial completion for Owner vendor and FF&E startup and installation. -Gilbane as well as all of its subcontractors and vendors having complete unrestricted access and use of the site and applicable local and state permits in place to commence -Use of all public roads (Lorain road, and roads adjacent to the project site) -Gilbane is allowed to work 7 days per week and 24 hours a day as needed without restrictions. It is the obligation of the Owner to provide relief from any restrictions. -Fully executed Building Permit will be received on July 1, 2021. 	
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TRADE SPECIFIC

Selective Demolition

1	Demolition contractor owns all salvage materials, unless specifically called for in the contract documents.	
2	Items designated for salvaged by Owner will be moved one time to an designated location.	
3	Hazardous waste remediation is limited to the scope provided in the Owner’s Hazardous Waste Material Report. The report is based on PSI’s Task Order No. 1 Asbestos Pre-Renovation Survey dated August 18, 2020.	
4	PSI Asbestos Abatement report dated, 04/27/2021 is excluded.	
5	Excludes treatment for hazardous or contaminated water from dewatering activities.	
6	Excludes cleaning of existing drainage, structures or utilities.	
7	Removal of one (1) layer of flooring is assumed.	
8	Removal of one (1) layer of ceiling is assumed.	
9	Only two (2) locations assumed for creating beam pockets where new steel attached to existing structure.	
10	Wall paper removal is not included.	
11	MEP hangar system removal is not included.	

Sitework / Earthwork / Earth Retention / Site Improvements

1	All rock removal and replacement are excluded.	
2	Excludes all remediation, disposal and replacement of hazardous, unsuitable, and regulated materials.	
3	Excludes any third-party monitoring such as vibration, sound, temperature, humidity, etc.	
4	The extent of the property covered under the Stormwater Pollution and Prevention (SWPPP) is defined under the “Limit of Work” as shown on the Civil drawings. There are no costs or provisions in the GMP to address subsurface storm water pollution prevention issues or any issue that is created or observed outside the “Limit of Work”.	
5	We exclude unsuitable soils and undercuts. We exclude unforeseen obstructions such as tanks, foundations, etc.	
6	Well points or other overall site dewatering is excluded. Local dewatering is included at work areas. The geotechnical report did not indicate well points would be required. If actual site conditions require site dewatering, this can be performed for additional compensation.	
7	Exploratory digging to locate existing utilities is excluded from this GMP and is assumed to be by Owner.	
8	Topsoil screening is excluded. Topsoil will be respread and rockhounded. Any soil amendments will be surface applied only.	

Foundations

1	Excludes below grade shoring, stabilization or underpinning not specifically designed and indicated on documents.	
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Concrete & Masonry

1	Excludes Winter conditions for concrete work as it is not anticipated per the current project schedule.	
2	Curing of concrete shall be with a curing compound. Wet cure is excluded.	
3	FF/FL testing will be performed by the Owners Testing Agency.	

CLARIFICATIONS AND ASSUMPTIONS

4	Concrete honing, grinding, burnishing, and polishing are excluded. It may be purchased from the concrete contractor as a change order when final floor finishes are chosen. Shrinkage and random cracking of slabs are to be expected as an inherent part of concrete construction. Special treatment of concrete slab cracks is excluded.	
Structural Steel and Miscellaneous Metals		
1	Connection design is delegated to the contractor per the construction documents. This includes clip angles, shear tabs, bolts, and welds. Stiffeners, web doublers, and the like are excluded unless shown on the drawings.	
2	Spray on Fireproofing is excluded.	
3	One coat of shop primer is included for steel.	
4	Intumescent paint has been excluded as it is not included in the documents.	
Carpentry and Millwork		
1		
Waterproofing, Roofing, Insulation, and Metal Panels		
1	Use of Manufacturer's standard details supersedes the Contract Documents to maintain warranty.	
2	GMP includes prefabrication of building components. In some circumstances (such as panelized wall systems) additional engineering and verification by the engineer of record will be required. The additional engineering cost from the engineer of record (if any) is excluded. All engineering associated with prefabrication of components is included and will be done by the individual suppliers of such components.	
3	Basic roofing cleaning is included at the completion of the project.	
Glass and Glazing		
1		
Finishes		
1	Minor floor prep is included. All major floor preparation prior to flooring is excluded. A \$5,000 allowance was included for floor prep beyond minor floor prep. Anything beyond the \$5,000 allowance will be a change order.	
Accessories		
1		
Special Equipment		
1		
Casework and Residential Items		
1	Library book shelving is not included. Owner provided.	
Conveying		
1	Elevator will be furnished as a pre-engineered Schindler 3100 Traction Passenger Elevator.	
2	The elevator speed is 100fpm in lieu of 150fpm with slightly less acceleration than specified.	
3	Handrails will be furnished as aluminum.	
4	Cleveland regulations require secondary power and lighting disconnects to be in their own closet. A/E to confirm location with needed clearances.	
5	No consequential or liquidated damages.	
6	Refer to Schlindler Elevator's proposal with list of clarifications and assumptions.	
Fire Protection		
1	N/A	
Plumbing		
1	Sewer ejector pump is excluded	
HVAC		
1	Excludes duct cleaning.	

CLARIFICATIONS AND ASSUMPTIONS

2	Temporary heat will be provided in the winter 2021-2022 thru the new heating equipment within the building. All warranties will be extended so they start at Substantial Completion.	
3	All commissioning activities are to be performed by the Owner and their 3rd party Commissioning Agent. Excluded from the GMP are any and all travel expenses and/or remobilizations required for the Commissioning Agent. The Substantial Completion Date is based on the Commissioning Agent's ability to perform their work in accordance with the Project Schedule.	
Electrical		
1	All primary cabling, pad-mounted transformers are provided by the Utility Company and paid for by the Owner.	
2	Excludes lightning protection or grounding unless specified and designed.	
3	Lighting Controls systems are designed and coordinated by the Designer of Record. Any additional cost associated with cross system device integration will be reconciled through Contract Change Order.	
4	Excludes electrical load bank testing.	
Low Voltage		
1	Excludes any additional structural steel support required for A/V, Tel/Data or Security penetrations through concrete slabs.	
2	Integration of Owner supplied systems (security, AV, Tel/data) to the fire alarm is excluded.	
3	End devices are being furnished by the Cleveland Public Library and installed by contractor	
4	Scanning of existing floor slabs prior to cutting the floor is excluded.	



Proposal

Derick Johannsen
 216.406.6268
 Derick.johannsen@schindler.com

May 5, 2021

Customer Information

Gilbane
 950 Main Ave #1410
 Cleveland, OH 44113

Project Information

CPL West Park Branch
 3805 W157th
 Cleveland, OH 44111

Offer #: 0201956781

Schindler Elevator Corporation is pleased to submit our proposal to furnish and install the following for the CPL West Park Project:

E01:

One pre-engineered Schindler 3100 Traction Passenger Elevator, 2500 LBS Capacity @ 100 FPM serving two stops in line and 10' 8" of travel. Schindler 3100 cab with stainless steel #4 panels, aluminum base frieze reveals 42" X 84" right hand opening entrances finished in stainless steel #4. Schindler downlight stainless steel #4 ceiling, aluminum threshold, straight aluminum handrails. One set of pads and hooks, and 12 months of warranty and contract maintenance with 8-hour call backs for the sum of.....**\$67,700.**

Specification Summary:

Qty	Product	Load	Openings	Speed	Stops
1	3100 MRL	3500	2 F	100	2

Project Specific Qualifications and Clarifications

1. Proposal is based on a Schindler 3100 Machine room-less traction elevator system with standard components, features, and finishes
2. The Schindler 3100 does not require the construction of an elevator machine room and the advantages of this application over a machine room Less Hydraulic are;
 - a. Fire rated secondary access into the hoist way not required
 - b. Less power consumption/smaller generator load
 - c. Superior Ride quality
 - d. Less noise
 - e. No hydraulic fluid
 - i. Resulting in no odor from the hoist way or machine room
 - ii. Removing the requirement for an oil separator in the sump pump
 - f. Hoist way ventilation not code required
 - g. Sprinkling of the hoist way not code required
3. Code requires machine room-less elevators to have second disconnect outside of the shaft. It is assumed a small disconnect closet will be provided. Disconnects by others
4. Proposal includes standard Schindler Stainless Steel #4 fixtures
5. Proposal includes standard 3/8" flooring recess, and assumes no more than 150 lbs of flooring weight.
6. Proposal does not include tax
7. Proposal does not include bond
8. Proposal includes one set of pads and hooks for each car, no other temporary protection measures are included.
9. Proposal assumes pit ladder is by others
10. Proposal includes battery operated rescue feature
11. Proposal does not include meeting any workforce requirements/goals, such as local, female, minority, low income ect.



12. Proposal does not include meeting any business enterprise requirements/goals, such as SBE, FBE, MBE, ect.
13. Proposal is based on the current OBC 2015 and ASME 2016 code.
14. Spec 1.02H – Proposal includes 100FPM speed as at only 10' of travel 100FPM will be adequate.
15. Spec 1.03B3 – Proposal includes an acceleration of .5M/S3
16. Spec 2.04E5 – Proposal includes aluminum handrails
17. Spec 2.05A1 – Proposal includes Schindler standard flush mount car operating panel
18. General Scope Item 33 - Proposal assumes that mutually agreeable logistic will be established and material will be permanently stored onsite.
19. General Scope Item 34 – Storage not included. Elevators are ordered to be just in time deliveries. If the hoistways are not site ready to begin elevator installation, the elevators will be sent to a 3rd party warehouse where they will be stored at an additional cost of \$2,000 a month per elevator.
20. General Scope Item 69 – Proposal includes fire stopping of penetrations made by SEC only. No other firestopping or caulking included.
21. Elevator Scope Item 1 – Proposal assumes the site will be confirmed site ready inclusive of clean dry pit, dry storage, permanent lighting, permanent power, permanent disconnects, and OSHA barricades.
22. Elevator Scope Item 3 – Proposal includes temporary pads and hooks and laser tape. General dust control by others.
23. Elevator Scope Item 10 – Proposal includes furnishing of screening to be installed by others during the install of the OSHA barricades
24. Elevator Scope Item 13 - Proposal assumes that mutually agreeable logistic will be established and material will be permanently stored onsite. Dry secure storage by others. Rollable access or use of a lull by others required for unloading.
25. Elevator Scope Item 14 – Use of elevator for other trades not included. Spotting of the car, within reason, is included.
26. Elevator Scope item 20 – Proposal includes 12 months of new product service and warranty starting upon turnover.
27. Proposal assumes mutually agreeable contract terms will be agreed to between SEC and Gilbane inclusive of a 35% down payment/engineering invoice.
28. Proposal does not include acceptance of liquidated or consequential damages.
29. Proposal assumes retention will be released in accordance with the turnover and completion of individual elevators and will not be held past 60 days of first beneficial use.
30. Proposal includes Schindler Standard insurance. See Sample COI.

Other Clarifications

1. Below are the current lead times for this project, this may fluctuate by time of award.
 - a. Shop Drawings / Submittal: 2 – 3 weeks (Letter of Intent/Contract required)
 - b. Manufacturing: Approximately 12 – 14 weeks per elevator (Note: The following items are required before elevator fabrication can commence: Fully executed contract, initial payment, approved shop drawings including ALL finish selections, release waiver)
 - c. Installation: 2 - 3 weeks per elevator (Upon verification of job site readiness per our preinstallation checklist and manpower mobilization)
 - d. Adjusting: 1 – 2 weeks per elevator (Payment up to retainage is a condition precedent to elevator turnover)
2. Proposal includes 12 months of new product service and warranty starting upon turnover/final acceptance
3. Price is based on material cost and labor rates for project completion by 3/31/2022.
4. Barricades, screening, hoistbeam, and temporary platform are by others, and must be installed prior to delivery.
5. Elevator Power Data sheet detailing elevator electrical requirements provided with this proposal. *Verification of the correct power supply characteristics is by others. SEC must be notified of any deviations from the provided power data sheet prior to fabrication.*
6. Proposal includes one mobilization per bank. If additional mobilizations are required add \$3,500 per mobilization.
7. Proposal assumes adequate ingress/egress into the building with rollable access and an adequate staging area adjacent or with 50' of the elevator shaft.
8. No costs for cutting, patching, core-drilling, fire stopping of penetrations, or similar related work are included in this proposal.
9. Proposal includes one pretest at the end of installation. If a pretest cannot be performed prior to demobilization or if additional pretests are required add: \$1,500 per pretest. (Completed fire alarm and active phone line required for pretest)
10. This proposal includes one final inspection per elevator during normal working hours. If the inspection fails due to the sole responsibility of Schindler, SEC shall incur the cost for the reinspection. Should the failure be due to work by others, you will be responsible for the costs of the reinspection. All other testing requirements will be provided at the billing rates outlined below. Minimum of two weeks' notice is required to schedule and inspection.



11. We include just in time delivery. The site needs to be ready to receive our elevator per the pre-installation checklist prior to delivery and the scheduling of manpower. In the event the site is not ready, the elevator will be sent to a 3rd party storage facility where storage charges of \$2,000 per elevator per month will apply, and crews will be rescheduled for mobilization 4-8 weeks later.
12. Proposal assumes that liquidated or consequential damages are not applicable
13. The Schindler 3300NA is non-proprietary and while best serviced or maintained by Schindler, it is technically serviceable by others. Every 3300NA is turned over to the client with a personalized owner's manual (watermarked w job name/#), wiring diagrams, keys, and other miscellaneous components. These items along with any technically astute mechanic can trouble shoot, service, and test the 3300NA.
14. Any schedules and/or lead times are subject to change based upon permitted and safe access to the site; the availability of items such as personal protective equipment; labor and material for Schindler and its suppliers and subcontractors, as a result of shutdowns and interruptions caused by the response to the Covid-19 outbreak.

Unit Costs

Description	Unit Costs
Hourly Rates	\$218 per man hour, straight time, \$381 per man hour, overtime \$436 per team hour, straight time, \$762 per team hour, overtime
Operator Time	\$2,180 per day (10 straight time hours, half day minimum)
Storage	\$2,000 per month per unit (no prorate)
Remobilization	\$3,500 per occurrence
Failed Inspection by Others (not by Schindler)	\$3,500 per each failed inspection
Pretest	\$1,500 per each pretest

Schindler Elevator Corporation
18013 Cleveland Parkway
Suite 140
Cleveland, OH 44135



Schindler

Contract Requirements:

This proposal is based on furnishing our standard equipment as defined by the specification summary, in accordance with our attached standard terms and conditions. This proposal will become part of our agreement with you for this work.

We will require receipt of this fully executed proposal, including any attached amendments, final approved drawings, along with payment for pre-production and engineering costs equal to 50% of the above price prior to the release of the elevator equipment for fabrication.

You may indicate your acceptance of our proposal by signing below and returning this document to me. Upon execution this will become the final contract and will be binding to all parties.

Attached terms and conditions are fully incorporated.

Please note our proposal is valid for 45 days.

Respectfully submitted,

Derick Johannsen

ACKNOWLEDGED AND ACCEPTED BY

Gilbane

Schindler Elevator Corporation

By _____

By _____

Title _____

Title _____

Date _____

Date _____



TERMS AND CONDITIONS

This Proposal is made subject to the following conditions:

1. A mutually agreeable form of contract (fully executed before a manufacturing date can be established in our factory) which includes the following provisions.
2. Our indemnity obligation will be limited to the extent of our negligence.
3. We will not be liable in any event for direct damages, whether in contract or in tort, nor in any event for special, indirect, consequential or liquidated damages of default or delay.
4. The purchaser agrees to accept in satisfaction of insurance requirements for the project a standard Schindler Certificate of Insurance with "per occurrence" limits not to exceed \$2 million. Schindler will not name additional insureds.
5. Schindler will participate as an insured in an OCIP/CCIP (Owner's / Contractor's Insurance Program), provided it is at no cost to Schindler, and under such circumstances we will provide additional insured coverage for offsite operations and auto liability only.
6. Partial waivers of lien for payments received by Schindler will be issued on a mutually agreeable form if the Purchaser so requests in writing. Schindler shall issue a full waiver of lien on a mutually agreeable form after the receipt of all monies to which it is entitled under this Agreement if the Purchaser so requests in writing.
7. Payment of the subcontract price will be made as follows: 50% of the subcontract price due upon contract execution. Payment of this invoice is a prerequisite to scheduling the manufacture of materials. In the event the initial payment is not received within ninety (90) days of execution, Schindler reserves the right to adjust the price based upon labor and material increases. Additional 30%, less 5% retention, due upon production of material and prior to delivery of material on or off site. Payment of this invoice is a prerequisite to scheduling of on-site work. Additional 20%, less 5% retention, due upon commencement of on-site installation. Payment of not less than 95% of the subcontract price, inclusive of all change orders, is a condition precedent to scheduling of elevator inspection. All invoices, including final invoice are payable within 30 days of application. Change orders will be invoiced immediately upon execution and payable per standard 30 day terms. Notwithstanding anything to the contrary in the Agreement or the other contract documents, payment to you by Owner or any other source will not be a condition precedent to payment to us of any amounts due hereunder.
8. Work shall be performed by Schindler during regular working hours on regular working days, and overtime by Schindler will be compensated at Schindler's standard rates.
9. You will have the hoistway/wellway in a safe and proper condition and in conformance to the dimensions contained in the final approval drawings.
10. Should storage be required, Schindler will store your elevator or escalator in a bonded 3rd party storage facility for you at a cost of \$2,000 per month per equipment and will release equipment upon the site meeting the conditions of our prestart checklist. A formal change notice must be processed for all storage fees prior to delivery to the project site. You agree to pay any other increase in cost resulting from delays in construction.
11. If an inground borehole is required to accommodate the jack unit, our bid shall be based on the assumption that the hole is drilled in normal uncontaminated soil, sand or gravel, using a truck mounted drilling rig. Adequate access will be provided for this rig. Should latent or concealed conditions be encountered in the performance of the work below the surface of the ground or should concealed or unknown conditions in an existing structure be at variance with conditions indicated by the contract documents, or differ materially from those ordinarily encountered and generally recognized as inherent in work of the character provided for in this contract be encountered, we will be compensated for all additional costs for labor and material to overcome such obstacles. The additional costs shall be the difference between our estimate for the bid and our actual cost incurred and shall be billed at our standard billing rate. The time to complete the Installation shall be extended to include the additional time required to overcome these obstacles while drilling the hole.
12. Satisfactory reference as to credit must be furnished including bank and bonding company references.
13. You agree to pay, as an addition to the price stated herein, the amount of any federal excise tax, state and local sales, use or transaction tax, or increase of any tax, or similar charges based upon the sale, use, ownership or possession of materials and/or equipment imposed by any law enacted after the date of this proposal, or imposed upon you by any existing law. In the event of legislative change to the applicable tax rates, including but not limited to sales tax, use tax, excise tax, privilege tax, transaction



- tax and similar charges. Supplier reserves the right to adjust the contract price accordingly.
14. In the event the customer claims an exemption from sales and/or use tax, the customer shall provide a valid executed exemption certificate.
 15. In the event you claim an exemption which Supplier accepts in good faith and it is later determined by a taxing authority that such exemption does not apply, Schindler reserves the right to adjust the contract price to reflect the change.
 16. Customer shall pay any penalty, interest, additional tax, or other charge that may be levied or assessed as a result of the delay or failure, caused by the Customer, to pay any tax or file any return or information required by law, rule or regulation or by this Agreement to be paid or filed by Supplier.
 17. If either Party is audited by a taxing authority or other governmental entity in connection with taxes under this Taxes Section, the other Party shall reasonably cooperate with the Party being audited in order to respond to any audit inquiries in an appropriate and timely manner, so that the audit and any resulting controversy may be resolved expeditiously.
 18. In the event of governmental changes to applicable tariffs, Schindler reserves the rights to adjust the contract price accordingly to account for all additional cost impacts.
 19. If the work for the above project does not proceed for any reason, we will be paid for costs incurred plus a reasonable mark-up for overhead and profit.
 20. Any proprietary material, information, data or devices contained in the equipment or work provided hereunder, or any component or feature thereof, remains our property. This includes, but is not limited to, any tools, devices, manuals, software, modems, source/ access/ object codes, passwords. In the event Schindler's maintenance obligation is terminated, the Schindler Ahead features ("SA") (if applicable) will be deactivated and Schindler reserves the right to remove the Schindler Ahead hardware. If Schindler is no longer the maintenance provider, Customer is responsible for obtaining alternative telephone service for the elevator phones.
 21. Should latent or concealed conditions be encountered in the performance of the work below the surface of the ground or should concealed or unknown conditions in an existing structure be at variance with the conditions indicated by the Purchaser, or should unknown physical conditions below the surface of the ground or should concealed or unknown conditions in an existing structure of an unusual nature differing materially from those ordinarily encountered and generally recognized as inherent in the work of the character provided for in this contract be encountered the contract price and time shall be equitably adjusted by change order upon claim by either party made within **20** days after the first observance of the conditions.
 22. Neither party shall be responsible for any loss, damage, detention or delay caused by labor trouble or disputes, strikes, lockouts, fire, explosion, theft, lightning, wind storm, earthquake, floods, epidemics, pandemics, storms, riot, civil commotion, malicious mischief, embargoes, shortages of materials or workmen, unavailability of material from usual sources, government priorities or requests or demands of the National Defense Program, civil or military authority, war, insurrection, failure to act on the part of either party's suppliers or subcontractors, orders or instructions of any federal, state, or municipal government or any department or agency thereof, acts of God, or by any other cause beyond the reasonable control of either party. Dates for the performance or completion of the work shall be extended by such delay of time as may be reasonably necessary to compensate for the delay.
 23. Risk of loss of materials and equipment shall pass to Purchaser upon delivery of materials to the site. Title to materials and equipment shall pass to Purchaser upon payment by Purchaser to Schindler.
 24. The amount set forth in Article 2 of the section titled "Project Specific Qualifications and Clarifications" of the Agreement is based upon Schindler's work being performed during regular working hours of regular working days. Purchaser may require overtime subject to Schindler's ability to comply, and Schindler shall be compensated for such work at its standard billing rates. Changes in the scope of work must be agreed upon in writing and the schedule and contract amount adjusted accordingly.
 25. Notwithstanding anything to the contrary set forth herein, Schindler warrants that the work supplied hereunder will comply with the specifications and that there will be no defects in materials and workmanship for one year after completion of the work or acceptance thereof by beneficial use, whichever is earlier. The equipment furnished and installed under our Agreement requires maintenance service, such as periodic examinations, lubrication and adjustment by competent mechanics, specially trained to service said equipment. Our guarantee is not intended to take the place of this normal servicing of the equipment and it is not to be construed that we will provide maintenance service of this type, without charge, except as may be provided in our contract, or that we will correct, without charge, breakage, maladjustment or other issues arising out of maintenance provided by others. Schindler's sole duty under the warranty is to correct the nonconformance or defect at Schindler's expense within a reasonable time after the receipt of notice. The express warranties contained herein are in lieu of all other warranties, express or implied,



including any warranties of merchantability or fitness for a particular purpose, purchaser's remedies hereunder are exclusive.

26. If either party shall default in the performance of its obligations hereunder, the non-defaulting party may send written notice reasonably describing the default. If the defaulting party does not commence to take reasonable steps to cure the default, within **10** days of the date of such notice, the non-defaulting party may terminate upon **10** days further notice.
27. Schindler shall be responsible for maintaining job progress in accordance with a schedule of performance mutually agreed upon by Schindler and Purchaser. Any change to the schedule of work shall require Schindler's consent.
28. Change Notices must be received and fully executed prior to Schindler Elevator Company performing any additional work outside the scope of the base contract. Written or verbal notices will not be accepted as a substitute for a fully executed change notice.
29. Schindler's offer is in accordance with the applicable ANSI A17.1 code version on the date of this proposal. If there is a subsequent change to the code following the date of this proposal, re-pricing may be required. Schindler shall be entitled to compensation for any cost and/or time increase that results from the code change.



SCHINDLER BID CLARIFICATIONS PREPARATORY WORK BY OTHERS FOR ELEVATORS.

For delivery and installation dates please look at the specifications summary.

Installation work shall be performed during regular working hours of regular working days after hoistway(s) and machine/control room(s)/spaces have been properly prepared as described in the following items. All items must be performed or furnished at no cost to Schindler Elevator Corporation ("Schindler") by the Owner or General Contractor or their agents in accordance with all governing codes. The price and installation schedule of Schindler is based on these job-site conditions existing at the beginning and during the installation of the elevator equipment.

All work must be performed per the latest applicable edition of the national (ASME A17.1 or CSA B44) and/or local codes.

1.0 Job Conditions

1.1 Acceptable material unloading area within 25ft of hoistway with "rollable" access (planked or paved) or uninterrupted use of a crane or forklift and operator at no cost to Schindler. Dry and enclosed storage area of adequate size for elevator materials near hoistway. Any warranties provided by Schindler for elevator equipment are null and void if equipment is stored in a manner that does not comply with the requirements as defined above.

1.2 Power for construction adjacent to hoistways and machine/control rooms/spaces (110/220 volt, single phase, for welders and hoists) and sufficient 3-phase power to run elevator(s) at the same time. Refer to section 2.0 electrical and "Schindler Power Data" sheet. The power for construction and permanent 3-phase power must be installed and available prior to the start of elevator installation.

1.3 All work areas, including hoistway, machine/control room and pit, clear of debris. Maintain minimum temperature of 55°F (13°C). Adequate work area in front of ground floor entrance required. Proper lighting of work areas.

1.4 Freestanding and removable construction barricades (per OSHA requirements) either outside of elevator hoistway(s), open hoistway top or between elevators inside of hoistway(s) as required. Barricades located 24" (0.61m) in front of the hoistway openings (refer to the "hoistway preparation" sheet). Openings include landing accesses, open hoistway top (if slab not built) and in general any other opening which may create falling hazard into the hoistway. Barricades shall be erected, maintained, and removed by others.

- a) Protection from Falls - As required by the (OSHA) 1926.502 B) (1-3) a freestanding removable barricade at each hoistway opening at each floor. Barricades shall be 42" high, with mid-rail and kick board, and withstand 200 lbs. of vertical and horizontal pressure
- b) Protection from Falling Objects - As required by the (OSHA) OSHA 1926.502(j) hoistway protection from falling debris and other trades materials by either:
 1. 8 foot screening/mesh in front of all elevator entrances or
 2. Secured/controlled access to all elevator lobbies (lock and Key) with posted Notice "only elevator personnel beyond this protection"

1.5 A temporary work platform is required for installation of the elevator. It is to be constructed at the top floor of each traction elevator. It must comply with applicable governing codes & regulations. The platform shall be securely fastened to the building structure. Erection, maintenance, and removal are by others. (refer to Schindler layout "Hoistway Preparation")

1.6 A crane, provided and paid for by others, may be requested to place the machine, controller, and machine supports (where applicable) into the machine/control room or hoistway overhead prior to enclosing these areas. Coordinate with Schindler field supervisor

1.7 Furnish adequate on-site refuse containers for the proper disposal of elevator packaging material. If adequate containers are not furnished, disposal of packaging material shall become the responsibility of the owner.

2.0 Electrical

2.1 Provide suitable feeder and branch wiring circuits from the building service to the controller, including main line switch, for signal systems, power operated doors, elevator lighting and receptacles. Refer to "Schindler Power Data" sheets and this section.



2.2 A permanent lighting fixture shall be provided and conform to A17.1-2.2.5. It shall provide illumination of 100lx at the pit floor and the pit platform, when provided. The light bulb should be externally guarded against breakage. Light switch to be provided that is accessible to pit access door. In addition to a light in the pit a GFCI convenience outlet shall be installed in the pit (NEC (NFPA 70 Rules 620-85) or (CSA C22.1-03 Section 38-085)).

- a) Pit - A permanent lighting fixture shall be provided and conform to A17.1-2.2.5. It shall provide illumination of 100lx at the pit floor and the pit platform, when provided. The light bulb should be externally guarded against breakage. Pit light located as defined on sheet 3 of 8, no less than 32" [0.81m] below bottom landing. Light switch to be provided that is accessible to pit access door. In addition to a light in the pit a GFCI convenience outlet shall be installed in the pit (NEC (NFPA 70 Rules 620-85) or (CSA C22.1-03 Section 38-085))
- b) Machine / Control Space (if provided) - A permanent lighting fixture shall be provided for machine spaces, machine rooms, control spaces, and control rooms and conform to A17.1 2.7.9.1. It shall provide illumination of 200lx at floor level, standing surface of working platform or at the level of the standing surface when the elevator is in the blocked position. Light bulb should be externally guarded against breakage. Light switch to be provided that is accessible at the point of entry
- c) Floor Landings - A permanent lighting fixture should be provided for illumination at the landing sill conforming to A17.1 2010 2.11.10.2. It shall provide illumination of 100lx at the landing sill. Refer to "Schindler Power Data" sheets and this section.

2.3 Provide emergency power generator and automatic transfer switch(es) with feeders from ATS contacts to elevator controls. Conduit with fish tape, between control rooms/spaces where sequenced elevator operation is required due to generator capacity.

2.4 Provide emergency power transfer switch and power change pending signals as required to master control in machine/control room.

2.5 Follow Schindler Power data provided with construction layouts. Where specified include main and auxiliary disconnects (JH and JH1) in code-approved location as directed.

2.6 Where appropriate, provide a lockable 13.5" x 15.5" x 3.5" (minimum) metal cabinet with group-1 key to house required electrical schematics and maintenance history documents, wall (by others) at the top landing. The supplier, location, and mounting of the cabinet shall be coordinated with Schindler.

2.7 NFPA 72 (Fire Alarm Code) requires the fire control panel relays that provide the dry contacts to the controller not be located more than 3 feet from the inspection and test panel jamb (where provided).

3.0 Hoistway

3.1 Hoistway dimensions are always nominal without building tolerance. Clear, plumb, hoistway with variations not to exceed

- a) Only for a Schindler 3300: +1in – 0in (25mm – 0mm) up to first 100ft (30.5m); Tolerance may increase +1/32in (0.8mm) for each additional 10ft (3.05m) up to a maximum of + 2in (50mm)
- b) Only for a Schindler 5500 / Other: +/-1in (+/-25mm) for the first 262ft (80m) rise. Above 262' (80m), a tolerance +/- 1-3/4in (+/- 45mm) is specified. The tolerance of the shaft hoistway is split evenly between front/rear and left/right from the clear hoistway as defined

3.2 Hoistway enclosure to be fire rated per national code requirements (Section 2.1) and applicable building codes. Hoistway, pit, and overhead dimensions to be as specified on Schindler final layout drawings.

3.3 Where there is a single blind hoistway, an emergency door shall be installed at every third floor, but not more than 36ft (11m) from sill to sill. The clear opening must be at least 28" (700mm) wide and 80" (2030mm) high (Section 2.11)

3.4 75° bevel guards on all projections, recesses or setbacks over 4" (100mm), except on side used for loading/unloading.

3.5 Provide venting/pressurization of the hoistway per national code requirements (Section 2.1) and applicable building codes.

3.6 Dried-in hoistway(s) and machine/control room(s)/spaces.

3.7 If machine room less (MRL) elevator with rear counterweight: Hoistway top open, to allow installation of overhead beams and machine with crane.

3.8 Firefighter Service Access elevators are not permitted to have sprinklers in the hoistway or machine room per IBC. Means to prevent water from entering must be installed e.g. lobby construction. A permanent light fixture should be provided to illuminate the entire hoistway, not less than 1 foot-candle (11lx) when a fire protection device is activated per IBC. Emergency power must be provided and protected to maintain a 2-hour fire rating. The building mains and other wiring critical to phase 2 must maintain the 2-hour fire rating.

3.9 Where there is a blind hoistway, an emergency door shall be installed at every third floor, but not more than 36' (11m) from sill to sill. The



clear opening must be at least 28" (700mm) wide and 80" (2030 mm) high (Rule 2.11.1.2).

3.10 Clear, flat, vertical or horizontal surfaces for mounting rail brackets at each floor, in overhead, and intermediate levels (if required) in the same vertical plane as the clear hoistway line. This includes divider beams between elevators for multiple elevators in a common hoistway. Rail bracket supports shall not intrude into the clear hoistway line. If applicable, intermediate bracket supports between floor(s) and in the overhead area may be required. Refer to Schindler final layout drawings for maximum bracket spacing and actual support locations.

3.11 For masonry block hoistway construction, Schindler will provide rail bracket inserts for installation by others, located in accordance with the Schindler final layout drawings. Where inserts are not used, hollow masonry blocks are not acceptable for bracket fastening: a concrete belt around hoistway or other acceptable support at each floor, in overhead and intermediate levels (if required) has to be provided. Minimum slab thickness ranges from 8 1/4" (210mm) to 18 1/8" (460mm) depending on bracket characteristics.

3.12 For jurisdictions NYC that require access to the governor (MRL applications) from outside the hoistway provide a governor access door for each elevator. It shall be self-closing, self-locking and operable from inside without a key. It must be located in such a way to allow authorized elevator personnel to access the governor accordingly. Consult final layout drawings for required door sizes and locations.

4.0 Hoistway Front

4.1 Blockout/cutout through wall as required, to accommodate hall button boxes, signal fixtures, and hoistway wireway/raceway duct. Provide for any repairs such as grouting, patching, painting, or fire proofing. Coordinate blockout/cutout with Schindler field supervisor.

4.2 If machine room less (MRL) application, hoistway front wall on overhead area has to support the weight of the electrical components fixed to this wall. GC to provide structural reinforcements where necessary (e.g. drywall construction) certain configurations may require a pocket recess above the top landing door. Refer to Schindler layout "Hoistway Preparation" for details.

4.3 Installation of door frames and sills, for masonry hoistway walls at entrances, provide rough opening of 8" (203mm) on each side, and 8" (203mm) on top of clear opening, referenced from the final floor level, for drywall hoistway walls at entrances: If floor height exceeds the clear door height + 28" (+ 700mm), additional structural support at CDH + 28" (+ 700mm) to be installed for entrance strut angle attachment. Walls are to be built after doorframes and sills are set in place.

For sill support fixation: An 8" (203mm) flat vertical surface is required below each landing level to fasten the sill support.

4.4 Entrance wall at the hoisting floor should be open the clear width of the hoistway. The hoisting floor is the floor designated to bring elevator equipment into the hoistway for installation.

4.5 Grouting around entrance frames and finished floor and grout to sill line after installation of entrance.

4.6 If applicable, for vertical bi-parting freight entrances, provide channel frames and sills at all openings along with separate disconnect switch and feeder to door control panel. Channel frames to be plumb within 3.2mm (1/8") for every 2.4m (8ft).

5.0 Machine/Control Room

5.1 Machine/Control rooms shall have clear headroom of not less than 95 3/4" (2.4m). Access to the machine/control room and machinery space (Rule 2.7.3). Door(s) shall be self-closing, self-locking and operable from inside without a key. For machine room less (MRL) with control space, a means will be provided to keep the control space door(s) open when required for installation and/or service. Minimum door size 30" x 80" (0.75m x 2.03m) (Rule 2.7.3.4). Consult Schindler final layout drawings for required door sizes.

5.2 Where machine/control room(s) are remote from the hoistway, electrical duct runs will be in the overhead/ceiling area. No provisions are made for underground installation.

5.3 GFCI protected duplex receptacle and telephone outlet located in machine/control room for each elevator (National Electrical Code (NFPA 70 Rule 620-85) or (CSA C22.1-02 Section 38-085)). Dedicated means of two-way communication capable of outgoing or incoming calls for emergency phone system (Section 2.27) or Schindler Ahead features ("SA").

5.4 Lighting, ventilation, and heating of machine/control room, control space and machinery space (Section 2.7) and applicable local codes

- a) Minimum lighting to be 200 lux (20fc) measured at the floor level
- b) The ambient temperature at the Landing Door Unit (LDU) / inspection and test panel, or remote control space must be maintained between 32 and 104 Fahrenheit (0 to 40 Celsius)
- c) The ambient temperature at the machine location must be maintained between 41 and 104 Fahrenheit (5 to 40 Celsius)
- d) Heating and/or cooling may be required to maintain the required temperatures
- e) Acceptable humidity level shall be maintained at 95% or less non-condensing
- f) For machine room less (MRL) application, a cutout in rear wall of control space closet for ventilation is required. Coordinate size and location with Schindler field supervisor



g) Refer to section 2.0 electrical and "Schindler power data" sheets for heat emissions.

5.5 For machine room less (MRL) with control space applications, a 42" (1050mm) clear space must be provided in front of control space closet for service barriers. Corridor width must accommodate this requirement as well as any additional requirements imposed by ADAAG or other codes.

5.6 Reinforced concrete machine room floor slab or grating must not be placed until elevator machinery is set in position (Rule 2.1.3). Level machine room floor: differences in levels of machine room and machinery-space floors shall be avoided where practical (Rule 2.1.3.6). Where there is a difference in level in such floors exceeding 16" (0.4m), a standard railing conforming to Rule 2.10.2 shall be provided. Machine/control rooms shall have clear headroom of not less than 84" (2.13m) (Rule 2.7.4.1).

5.7 Hoisting beam(s), trap doors and other means of access to machinery space of adequate size for maintenance and equipment removal (Sections 2.7 and 2.9). Hoisting beam(s) in each shaft located and load rated per Schindler final layout drawings. Lifting points or beam(s) shall be visibly marked with the safe working load.

5.8 Adequate supports for machine beams where required, including wall pockets and patching after beams are set in place (Rules 2.9.1 to 2.9.6). Building interface and mounting of beams to be per Schindler requirements as indicated on final layout drawings.

5.9 The allowable deflections of machinery and sheave beams and their immediate supports under static load shall not exceed 1/1666 of the span (Rule 2.9.5).

5.10 When structural concrete slab mounting for machines is specified, the structural engineer (g.c.) must confirm that structural concrete slab (typically 12 inches (0.3m) thick with re-bar) is designed in accordance with ASME A17.1 safety code for elevators and escalators (Section 2.9 Machinery and Sheave Beam, Supports and Foundations). Stress requirements and deflection requirements must meet ASME A17.1 code (Rules 2.9.4 to 2.9.6). Slab blockouts, coordinated with Schindler, to be provided in the structural slab by G.C. to accommodate elevator & governor rope drops, wire raceway, target holes, and rail stacks (where applicable). Schindler will provide a template indicating where blockouts are to be located in the slab, which must be precisely followed.

5.11 In jurisdictions not enforcing the NBCC, Class "ABC" fire extinguisher shall be provided in elevator electrical machine rooms, control rooms, and control spaces outside the hoistway intended for full body entry (Section 8.6).

6.0 Pit

6.1 Dry pit reinforced to sustain vertical forces from rails and impact loads on buffers (Section 2). Elevator and counterweight buffer impact loads as calculated (Section 8.2). Refer to Schindler final layout drawings.

6.2 Adequate sealing and waterproofing of pit. Effective prevention of pit exposure to storm water or ground water.

6.3 A pit access door must be provided if the access to the pits is other than the bottom terminal floor. The pit access door provided must be in accordance with A17.1 2010 Section 2.2.4.5 and 2.2.4.6.

6.4 Where there is a difference in level between the floors of adjacent pits, a metal guard shall be installed not less than 79" (2m) above the level of the higher pit floor (Section 2.2). Where the difference in level is 24" (0.6m) or less a standard railing conforming to National Code (Section 2.10) shall be permitted (Section 2.2).

6.5 Drains & sumps in elevator pits, where provided, shall comply with the applicable plumbing code and they shall be provided with a positive means to prevent water, gases and odors from entering the hoistway. Sumps and sump pumps in pits, where provided, shall be covered. The cover shall be secured and level with the pit floor (Section 2.2) and should be located to clear elevator equipment (cannot be connected directly to storm drain or sewer).

6.6 GFCI type duplex receptacle and light fixture with guard in pit. (National Electrical Code (NFPA 70 Rules 620-85) or (CSA C22.1-02 section 38-085)) Minimum illumination level to be 100 lux (10fc) measured at the floor (Section 2.2)

6.7 Pit ladder to be provided by general contractor for each elevator in compliance with (Section 2.2). Locate per Schindler final layout drawings. If the distance between the lone elevator rail and clear hoistway (sf) is less 3.5" (90mm) then a pocket must be provided for pit ladder. All walk-in pits must follow the requirements of Rule 2.2.4.4. The minimum distance from the pit ladder top rung, cleat or stop to the top of the pit ladder or handhold shall not be less than 48" (1.2m) above first landing.

6.8 In elevators equipped with Firefighter's Emergency Operation, a drain or sump shall be provided, located in a pit floor area free from elevator equipment. The sump pump/drain shall have the capacity to remove a minimum of 50 GPM (11.36m³/hr) per elevator (Section 2.2) and has to be covered. The cover shall be secured and level with the pit floor.



7.0 Provisional Handover and Turnover Requirement

7.1 Temporary Service: Schindler shall be reimbursed for any labor and material that is not part of the permanent elevator installation and that is required to provide temporary elevator service. Schindler's temporary acceptance form shall be executed and the elevator inspected before being placed into temporary service. The costs associated with the power, operation, maintenance, and rehabilitation of the equipment and any construction permits or fees required by governing authorities shall be paid for By Others.

7.2 In addition to the above, the following work must be completed before elevator(s) are placed into automatic operation. (Prior to code required municipal authority inspection, refer to Schindler acceptance inspection standard form).

- a) Finished cab flooring and if applicable, fitting of interior cab walls and/or ceiling.
- b) Machine/control room to comply with code and to suit Schindler standard equipment. Proper machine/control room dimensions and safety clearances to be provided as indicated on Schindler final layout drawings with recesses and ducts to be covered as required. Proper stairways or steps and guardrails to be provided. Proper lockable fire rated door, self-closing and self-locking with label to be provided (Rules 2.7.3 & 2.11.14).
- c) If applicable, smoke and/or heat detectors with signals to elevator controller(s) (See NFPA 72).
- d) If applicable, emergency power generator and automatic transfer switch with capacity to run at least one elevator at a time.
- e) Seal all penetrations through 2-hour (or greater) rated walls with code approved material. Drywall liner behind all wall mounted hall fixtures. Penetration permitted by IBC 2012 Section 713.8.1 must be protected according to Section 713. Any penetration due to formed or poured concrete (e.g. block out) must be backfilled according to IBC.
- f) Cab light circuits and all receptacles installed in machine/control rooms, machinery spaces located outside the hoistway must have ground fault circuit interrupter protection (GFCI) (NEC 620 or CSA 38). All receptacles installed in the hoistway and pit and in and on the car shall be the GFCI type.
- g) If applicable, conduit and wire runs from elevator(s) to remote status panel.
- h) If applicable, conduit and wiring for fire alarm system to each elevator control in machine/control room.
- i) If applicable, conduit and wire runs for emergency/rescue communications in central alarm & control facility, fire control room, security desk, etc.
- j) If applicable, conduit and wire runs for remote alarm bell from machine/control room to remote location.
- k) Adequate lighting of building corridors so that illumination at the landing sill is minimum 100 lux (10FC) (Section 2.11).
- l) Guarding of counterweights in multi-elevator hoistways: when a counterweight is located between elevators, the counterweight runway shall be guarded on the side next to the adjacent elevator (Rule 2.3.2.3).

You agree to indemnify and save Schindler harmless against any and all liability and costs arising out of your failure to carry out any of the foregoing requirements.

Schindler Elevator Corporation
Traction Elevator Specification Summary

CPL Westpark Branch
 3805 W 157th St
 Cleveland, OH 44111

Project Information:
Opportunity ID: 0201988334-D-A
Unit(s) in Estimate: 01
Units in Bank: 01
Product Code: 460
Sales Office: 9641
Installation Office: 9641

Sales Rep Information:
 Derick Johannsen
 18013 Cleveland Parkway
 Suite 140
 Cleveland, OH 44135

Product:	Schindler 3100	Opening Size:	3 Ft. 6.00 In. X 7 Ft. 0.00 In.
Application:	3100 MRL	Cab Height:	7 Ft. 9 In.
Capacity:	2500 lbs General Purpose	Cab Type:	3300
Speed:	100 FP	Pit Depth:	5 Ft. 0 In.
Travel:	10 Ft. 8.00 In.	Overhead:	12 Ft. 8 In.
Cwt Location:	Side	Inside Cab Width:	6' 9 5/16"
Stops:	2 (2 Front / 0 Rear)	Inside Cab Depth:	4' 4 13/16"
Power Supply:	208 Volts 60 Hz 3 Phase	Hoistway Width:	8 Ft. 8.00 In.
Sprinklers In Hoistway:	N	Hoistway Depth:	6 Ft. 11.00 In.
Doors:	Two Speed Side Opening	Seismic Equipment:	N
	01 RH	NFPA Code Year	2016

Cab:
Cab Walls LH Side: 441 #4 Stainless Steel
Cab Walls RH Side: 441 #4 Stainless Steel
Cab Walls Rear: 441 #4 Stainless Steel
 Base, Frieze, Reveal: Aluminum
Front Return, Transom: 441 #4 Stainless Steel
Cab Doors: 441 #4 Stainless Steel
Canopy: Schindler
Ceiling Type: LED Down Light - Round Spots
Ceiling Finish: Stainless Steel 441
Cab Sill Type: Aluminum
 Sill Extensions
Handrail Type: Straight Rectangular
Handrail Finish: Brushed Aluminum
Handrail Location: Sides & Rear
Handrail Row Qty: 1
Platform Recess: 0.375
Protective Pads: 1 Set(s)
Protective Pads Source: Schindler
Cab Finished Floor: Vinyl Tile By Others

Features:
 Follow IBC - 2015
 Audible Gong (Std)
 Infrared Door Protection (Std)
 Phase Monitor Relay (Std)
 Independent Service/HES (Std)
 Top Exit Lock
 FER Door Operator
 T127 Rails
 Keyed Emergency Stop Switch
 Top Exit Switch
 ADA Compliant Phone
 Sliding Guide Shoes
 1 Speed Fan
 2 Hoistway Access Switches
 Firefighter's Service Phase 2
 Class B Fire Rating For Cab
 Top Exit Guard
 Smoke Detector Provisions
 Automatic Evacuation
 Pit Ladder Source: GC
 STM - With Fire Retardant

Entrances:
 Emergency Escutcheons
Doors:
 (2) 441 #4 Stainless Steel
Frames:
 (2) 441 #4 Stainless Steel
Sills:
 (2) Aluminum
Sill Mounting:
 (2) Easy Match

Cab Fixtures:
Type: Standard
Finish: Stainless steel 301
 (1) L.E.D. Car Position Indicator
 1 Main COP
 (1) Car Lantern(s)
 Certificate Frame

Hall Fixtures:
 Hall Fixtures Type:
 Jamb Mounted
 Hall Fixtures Finish:
 (2) Stainless steel 301 Push Buttons
 (1) Separate FER Switch

New Product Service:

12 Months, 8 Hours Callback

This bid is subject to change after forty-five (45) days.

Visit Our Website at www.us.schindler.com

05/20/2021
 Schindler Elevator Corporation
 Elevator Power Data

Job Name: CPL Westpark Branch	
	Unit(s): 01
3805 W 157th St	Capacity: 2500 lbs
Cleveland, OH 44111	Speed: 100 fpm
	Building Voltage: 208 VAC
Sales Office: 9641	Product Code: 460
Installing Office: 9641	Travel: 10 ft8 in

Coordination: All electrical equipment placement and installation shall be coordinated with the Local Schindler Superintendent prior to Schindler manning the jobsite.

Elevator Equipment Power

(JH): The Elevator Disconnecting means:

- Shall be an enclosed, externally operable, motor circuit switch, shall be listed and lockable in the open position in accordance with NFPA 70.
- Shall be supplied and located in a building utility space outside the hoistway due to the Motor Controller being located in the Elevator Hoistway. One disconnect is required for each elevator. A label on the disconnect is required stating location of the supply side (feeder) overcurrent protection device in accordance with NFPA 70.

208 Volts; 3 Phase; 60 Hz
 Balanced Wye line to line, 3 wire & a Ground (no neutral)
 Must be within +/- 10% of the specified voltage.
 3% maximum phase to phase fluctuation.
 Cannot be a Delta wiring scheme
 SCCR rating of equipment 5000 Amps. Refer to SCCR section in Appendix
 SCCR rating label required NFPA 70. Refer to SCCR section in Appendix
 Current Consumption by System

- Accelerating (non-continuous) <3.5 Secs: 21 Amps
- Running (non-continuous) < 0 Sec Max. Run Time: 16 Amps

Elevator Motor Controller Horsepower Demand

- 7.6

Current Regeneration back to the Building

- Decelerating (non-continuous) <3.5 Sec: -0.3 Amps
- Running (non-continuous) < 0Sec Max. Run Time: 3.3 Amps

Fuse Size: Sized by GC

- System Running Current at Constant Speed 16 Amps

- Recommended Receptacle Rating based on fuse size
 - Dual element time delay characteristic recommended
- Feeder size based on Secondary Fusing (reference Autotransformer Section above if present) of Transformer or Building Fuse Size (3 ungrounded conductors & an equipment grounding conductor) in accordance with NFPA 70.
- Auxiliary dry contact for Evacuation in accordance with NFPA 70.
- Dry contact closes when Switch turns circuit ON
 - Wiring, in separate conduit, to terminals located in Test and Inspection Panel on Floor 2 located in Controller (LDU) or RCC cabinet in Machine Room/Closet

Note: Shunt Trip Circuit Breaker Required When Sprinklers are Present: The Electrical contractor shall provide a shunt trip circuit breaker for the elevator main line power conductors in order to remove power from elevator controls upon or prior to the application of water from any sprinkler located in any elevator machine room/space, control room/space and hoistway overhead in accordance with ASME A17.1. The shunt trip circuit breaker shall be installed in accordance with NFPA 70 and local regulations.

- Shunt trip shall also have an auxiliary dry contact for Auto-Evacuation when provided as required by NFPA 70.
- Refer to diagram at end of document

(JH1) Non-Fused Disconnect:

- The additional enclosed, externally operable, non-fused motor circuit switch: Shall be listed and lockable open in accordance with NFPA 70
- Shall be supplied and located at the top of the Elevator Hoistway in the space designated on the Layout Drawings and within sight of the motor controller. One switch is required for each elevator. A label on the disconnect is required stating location of (JH) the branch circuit overcurrent protection device. In accordance with NFPA 70 and local regulations.

208 Volts; 3 Phase; 60 Hz

Feeder size based on fusing size of Elevator Disconnecting Means (JH) (3 ungrounded conductors & an equipment grounding conductor) in accordance with NFPA 70 and local regulations.

Wire from Motor Circuit Switch to Schindler Equipment

Wire from Motor Circuit Switch to TSU (TSU provided by Schindler in Hoistway)

Feeder size to match incoming feeders to motor circuit switch

Auxiliary dry contact for Auto-Evacuation (when provided) in accordance with NFPA 70.

Dry contact closes when Switch turns circuit ON

Wiring, in separate conduit, to terminals located in the Test and

Inspection Panel located on Floor 2

, the Controller (LDU) Floor.

Receptacles:

GFCI (Ground-Fault Circuit Interrupter) type receptacles shall be provided in all elevator pits and machinery/control spaces inside the hoistway. All receptacles in elevator machine rooms, machinery spaces, control rooms and control spaces outside the hoistway shall be provided with ground-fault circuit interrupter protection in accordance with NFPA 70.

Lighting:

Elevator Machine Rooms, control spaces, and test and inspection panel locations
Requiring Lighting: ASME A17.1. requires the minimum level of illumination measured at the floor to be 19fc.

- See layouts for details of size and location requiring lighting.

Elevator Pits Required Lighting: ASME A17.1 requires the minimum level of illumination measured at the pit floor to be 10fc. The location shall be determined after coordination with the elevator contractor so that the light fixture(s) are located out of the way of all elevator equipment.

- See layouts for details of size and location requiring lighting.

Receptacles and Switches:

Sump Pump Receptacles: A receptacle for a sump pump shall be required in all elevator pits for the elevator pit if provided with a sump pump. A single receptacle supplying a permanently installed sump pump shall not require ground-fault circuit-interrupter protection in accordance with NFPA 70.

Elevator Machine and Control Rooms Light Switch Requirement: Light switches shall be required in all elevator machine and control rooms adjacent to the jamb side of the machine room entry door- where practicable in accordance with NFPA 70 and ASME A17.1.

Elevator Machinery Space Light Switch Requirement:

- (overhead) at the point of entry in accordance with NFPA 70 and ASME A17.1
- Provided at point of entry on strike side (lock-jamb) of door at top floor.
- See layouts for location detail.

Elevator Pit Light Switch Requirement: The pit switch shall be a minimum of 18 inches above the elevator lowest landing doorsill and adjacent to (not behind) the pit access ladder in accordance with NFPA 70 and ASME A17.1.

- See layouts for location detail.

Grounding:

An equipment grounding conductor shall be supplied from the elevator main line disconnecting means and controller to the MCC and building ground-in accordance with NFPA 70 Article 250.

Additional Disconnects:

(JA) Hoistway Alarm

- A lockable disconnect is required per NFPA 70.
- Alarm Bell draw is 0.065A
- Can be combined with disconnect for other auxiliary equipment, such as security systems, independent in-car information display,

Branch Circuits:

Car Lighting Disconnect:

A separate branch circuit shall supply the car lights, receptacle(s), auxiliary lighting power source, and ventilation on each elevator car. The disconnecting means shall be an enclosed, externally operable, fused switch or circuit breaker that is lockable open and shall be located in the machine room or control room for that elevator car. Where there is no machine room or control room, the disconnecting means shall be located in the building utility space outside the hoistway that is readily accessible to only qualified persons.

- Wiring from Car Lighting Disconnect to the Test and Inspection Panel (LDU).

2 Separate Circuits for Elevator Pit:

The elevator pit shall have a separate branch circuit supplying pit lighting and receptacle(s) and shall be permitted to have another for the pit sump pump when one is provided in accordance with NFPA 70 (Does not interface with Schindler equipment).

- See layouts for location detail.

2 Separate Branch Circuits for Machinery Space Lighting and Outlets in the Elevator Overhead:

The overhead machinery space shall have separate branch circuits supplying the machinery space lighting and receptacles in accordance with NFPA 70 (Does not interface with Schindler equipment).

- A. **Inspection and Test panel:** where provided shall be lit by permanently installed electric lighting with a level of illumination of at least 200 lx (19 fc) at the floor level. A switch placed inside or close to the enclosure shall control lighting of the enclosure in accordance with ASME A17.1 and NFPA 70.

GFCI type receptacles, light fixtures and light switches:

1. Are required in elevator overhead machinery spaces located in the hoistway that requires "full body entry" (as defined by elevator code).
2. Are required in machinery spaces outside the hoistway.
 - See layouts for location detail.

Electrical Component NFPA Clearances: Clearances around all electrical equipment in the elevator machine room shall comply with NFPA 70 electrical clearances requirements. The electrician's work and equipment placement shall be coordinated with the elevator contractor's equipment placement.

Electrical Piping Runs: All electrical piping runs provided by the electrical contractor and elevator contractor to the elevator equipment shall be run overhead or in a manner which does not restrict access to and around any equipment.

Emergency Phone and Data Line: Conduit shall be provided by electrical contractor in all elevator machine rooms to the elevator controller. Electrical contractor shall provide electrical conduit for both the emergency elevator phone and required data line to the elevator machine room, to the elevator controller, and terminated on the elevator controller with coordination from the elevator contractor. The building shall provide:

Wiring of Phoneline to the Test and Inspection Panel (LDU) or RCC cabinet

Fire Control Panel Smoke Detector relays:

(Primary, Secondary & Fire Hat) mounted within 3 ft. of Inspection and Test Panel (LDU) or control cabinet (RCC). Additional Smoke Detector relays in addition to the three (3) mentioned may be necessary depending on job site conditions. To be coordinated with Schindler.

- Wiring from Smoke Detector Relays to Inspection & Test Panel (LDU)
- NC, dry contacts required

Heat Detector (if applicable):

Located within 2 ft of hoistway sprinkler head

Wiring from Heat Detector to Shunt Trip Breaker (if applicable; does not interface with Schindler equipment unless in Detroit)

Installation Power:

Temporary power supply for installation work. (220 V, 1 phase, 50/60 Hz, 20 Amp power supply, GFCI protected w/Time-Delay fuse);

This requires coordination with Schindler to determine which is applicable

Heat Emissions:

Hoistway – 1906 BTU/Hr

Hallway – (LDU – Inspection & Test panel only) – 600 BTU/Hr

Appendix

SCCR Information to include in this document

The SCCR rating of elevator equipment is 5000 Amps, contractor to ensure that the available fault current of the building supply at the service switch does not exceed this value (Per NFPA 70). Contractor to include a label

(Please see figure 2-Sample Label Example) that identifies the Max Available Fault Current onto Disconnect: ** See note 1 of Figure 1-SCCR Diagram. In addition, we require a hard copy of the manufacturers Fuse Chart and rating verifying the SCCR meets requirements. Per NFPA 70, the service switch should be legibly marked with Apparent RMS Symmetrical fault current supplying the Elevator Equipment. ** See note 3 of Figure 1-SCCR Diagram. Local Electrical Contractor must provide building SCCR Current calculations as well as Fuse Chart and rating to prove compliance with 5KA elevator equipment rating for the supplied fuse. ** See note 2 of Figure 1-SCCR Diagram.

From Building Electrical Distribution Panel

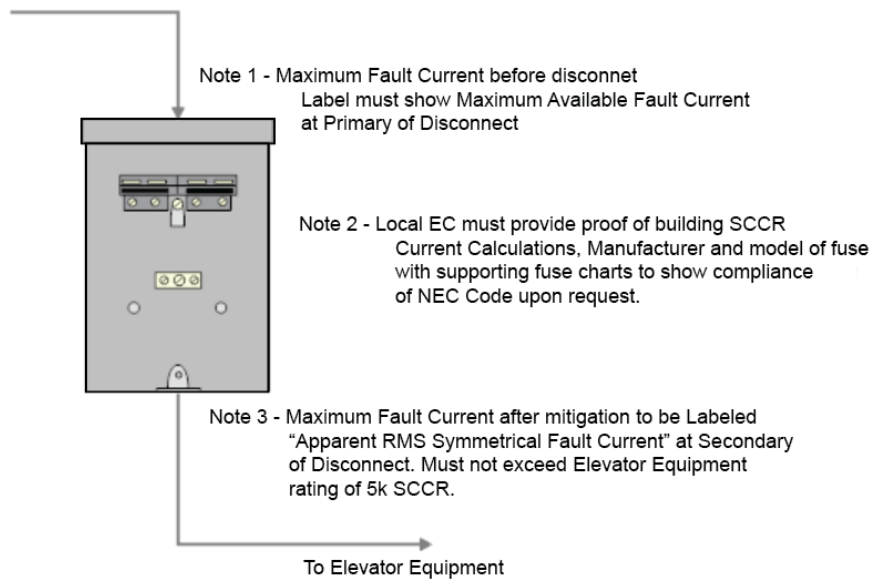


Figure 1- SCCR Labelling Diagram

Figure 2: Sample Label

SHUNT TRIP CONTROL WIRING DIAGRAM

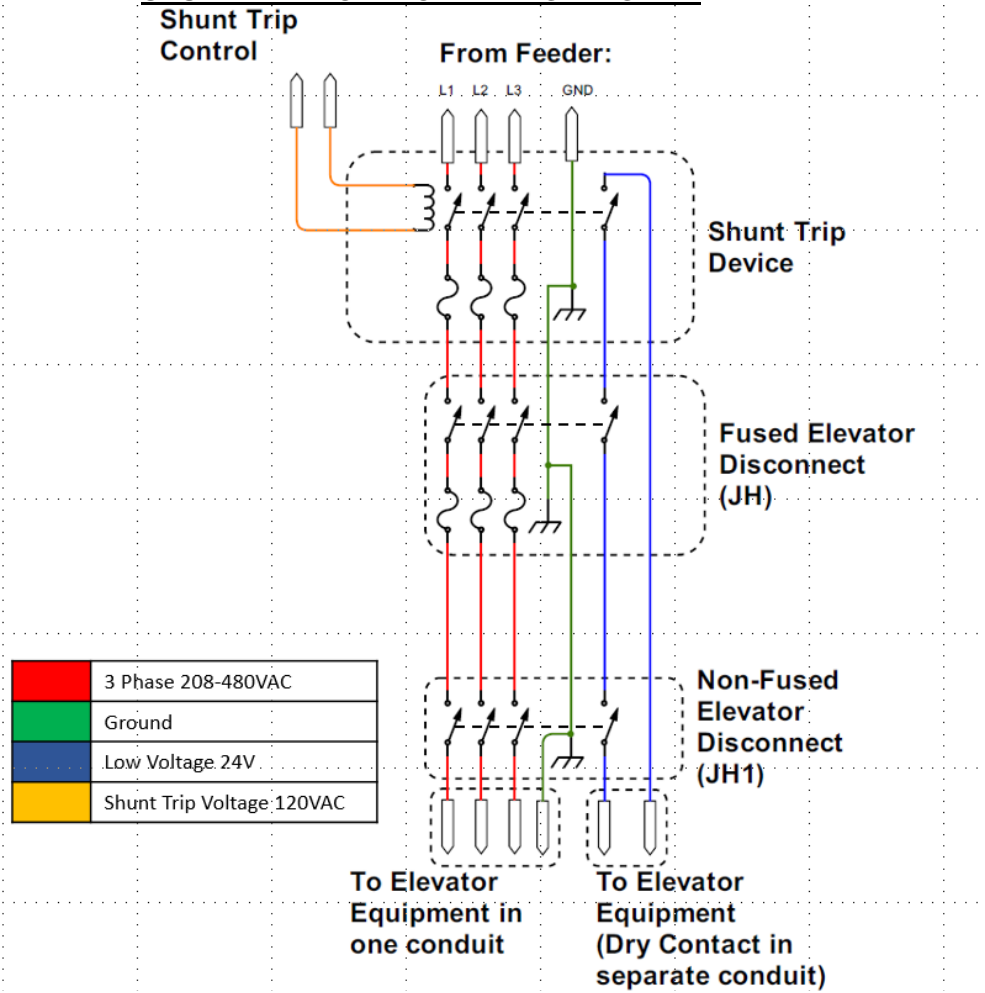


Figure 3: Shunt Trip Wiring

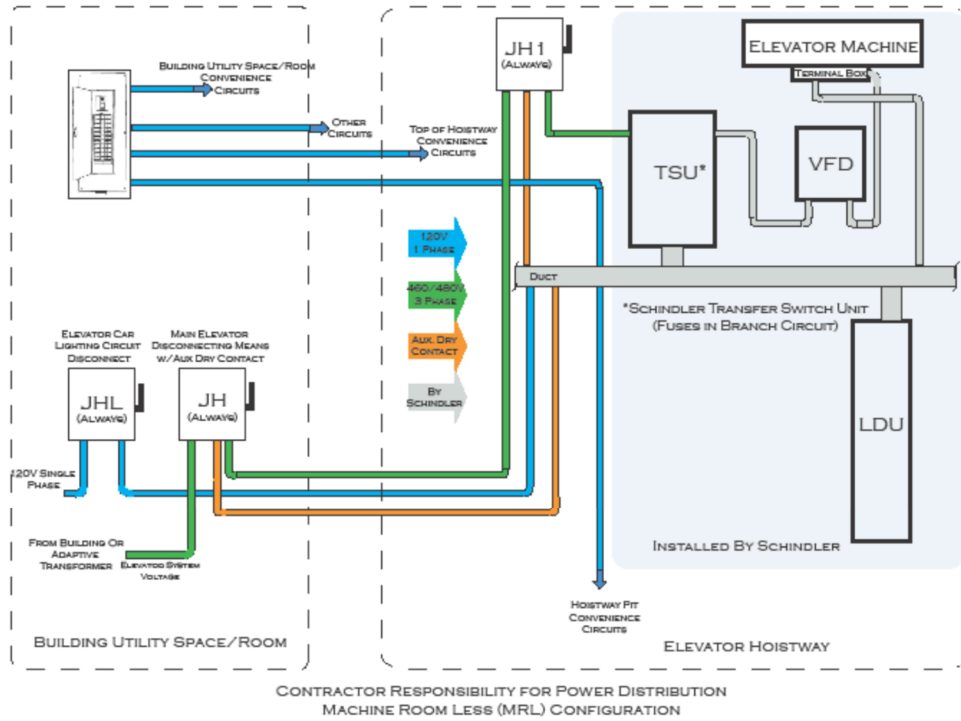


Figure 5.
See Layouts for exact location of equipment in Overhead and pit.



Cleveland Public Library

West Park Branch

June 14, 2021

GMP SUBMISSION

TAB 06 Fixed Rates



FIXED RATE SHEET

Contract Approved Labor Billing Rates Updated 8/1/2020

Position	Name	Billing Rate
Senior Project Executive	Ed Valentine	\$172.85
Project Manager	Marcellus Byrd	\$123.00
Project Engineer	Leo Torres	\$66.00
Superintendent	Varies	\$85.00
Preconstruction Executive	Ed Valentine	\$93.00
Chief Estimator	Jeff Long	\$128.00
Chief Estimator - MEPFP	Alice Dean	\$128.00
Purchasing Manager	Travis Okel	\$107.00
Safety Manager	Bill Crossley	\$92.00
Controller	Michael Bishop	\$113.00
Project Accountant	TBD	\$52.29

Site Services Labor at the following fixed rates* *:

Trade Classification	2020 Fixed Billing Rate (\$) * (4% Annual Adjustment For Inflation January 1, 2021, 2022, 2023 Allowed by Agreement)
Carpenter, Foreman	Regular Time \$, Premium Time \$, Double Time \$ 117.63/\$152.43/\$199.13
* Trade Rates include small tools with a market replacement value up to \$500, rates do not include consumables.	

** Gilbane Building Company hereby discloses to the Owner the use of G.O. Services, a related-entity, for the performance of Trade Labor and Small Tools, Equipment, Consumables, Work Items – Dumpsters, Toilets, Trailers, Fencing, etc.) in connection with the Project.



Cleveland Public Library

West Park Branch

June 14, 2021

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TAB 07 Allowances

ALLOWANCES

No.	Description			Value
Owner Allowances				
1	BP02A - Removal of bulbs and ballast			\$ 5,000
2	BP02A - Electrical make safe work			\$ 1,000
3	BP26A - Payment of power, utility service installation charges.			\$ 20,000
4	BP26A - Installation of additional Fire Alarm initiation and notification appliances.			\$ 10,000
5	Additional Floor Prep			\$ 5,000
			Total	\$41,000
Owner Allowance Included in Bid Packages				
1	BP01A - Millwork. Reference Note 2 on A101.			\$ 5,000
2	BP01A - Room signage not yet scheduled			\$ 5,000
3	BP01A - Additional misc. steel not identified.			\$ 5,000
4	BP01C - Surveying			\$ 5,000
5	BP10A - Signage (Graphics & Exterior Sign)			\$ 29,124
6	BP27A Miscellaneous Technology System Work			\$ 5,000
			Total	\$ 54,124



Cleveland Public Library

West Park Branch

June 14, 2021

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TAB 08 Alternates



Cleveland Public Library

West Park Branch

June 14, 2021

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TAB 09 Unit Cost



UNIT PRICES

No.	Description	Quantity	Unit	Unit Price	Last Date of Acceptance
1	Exterior WAP Rough-in (WAP device provided by Owner for Contractor Install)		EA	\$500	06/30/21
2	Rough-in Requirements for Technology Faceplate		EA	\$300	06/30/21



Cleveland Public Library

West Park Branch

June 14, 2021

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TAB 10 Project Schedule



PROJECT SCHEDULE - GMP DATES

Masterplan /GMP Schedule with a data date June 1, 2021			
	Project released in May 2021 Board		
	Demolition and Abatement		
	Technology		
	GMP Approval Date for the balance of the	6/17/2021	
	Construction Start	7/20/2021	(Gilbane Alternate)
	Substantial Completion Date	5/11/2022	(Gilbane Alternate)
	In accordance with the contract agreement Article 19.1.7, the Owner and Gilbane agree that time is of the essence in the completion of the work. Should the CM be liable for liquidated damages in accordance with the contract agreement they may be implemented after:	6/8/2022	

The Cleveland Public Library Phase 1 A projects Construction Management at Risk Services

6/8/2021

Request for proposal and Schematic Design Schedule	2020	2021	2022	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;">CM Services (Staffing and Gen. Conditions)</div>
	F M A M J J A S O N D J	F M A M J J A S O N D J	F M A M J J A S O N D J	
Library Branch				
West Park	Preconstruction 10 mo	Construction 11mo		\$ 231,678
		Construction Start	1/27/2021	
		Construction Completion	1/12/2022	

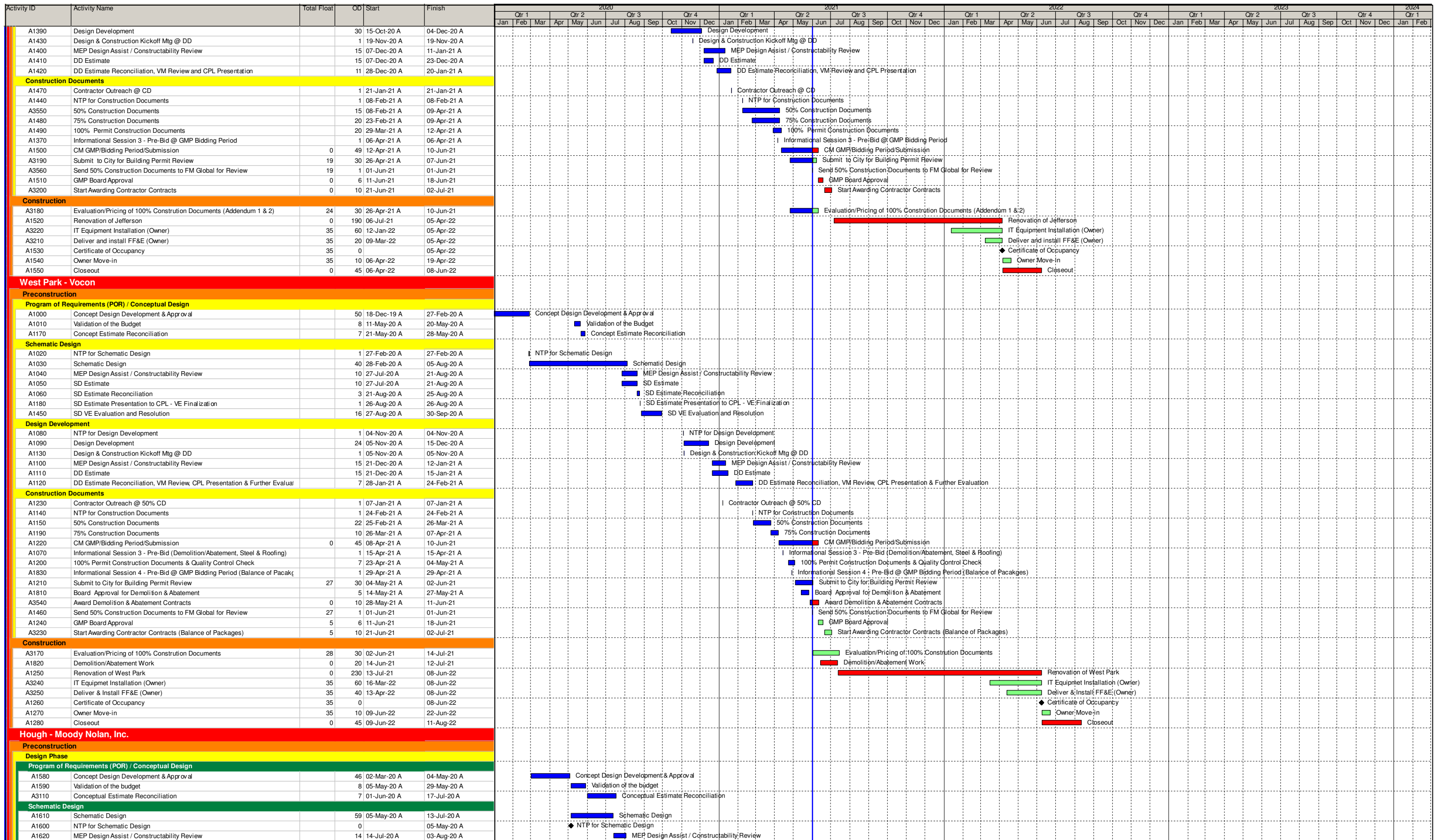
Request for proposal and Schematic Design Schedule

GMP Schedule June 2021	2020	2021	2022	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;">CM Services (Staffing and Gen. Conditions)</div>
	F M A M J J A S O N D J	F M A M J J A S O N D J	F M A M J J A S O N D J	
Library Branch				
West Park	Preconstruction 14 mo	Construction 11 mo		\$ 251,925
		Construction Start	6/14/2021	
		Construction Completion	6/8/2022	

GMP Schedule June 2021

Gilbane Proposed Alternate based on the Bid Schedule	2020	2021	2022	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;">CM Services (Staffing and Gen. Conditions)</div>
	F M A M J J A S O N D J	F M A M J J A S O N D J	F M A M J J A S O N D J	
Library Branch				
West Park	Preconstruction 16mo	Construction 10 mo		\$ (21,000)
		x Staffing Start		CPL Budget 2/25/21 (DD Final)
	Bid Package Schedule	Construction Start	7/20/2021	\$ 230,925
		Construction Completion	5/11/2022	\$ 230,925

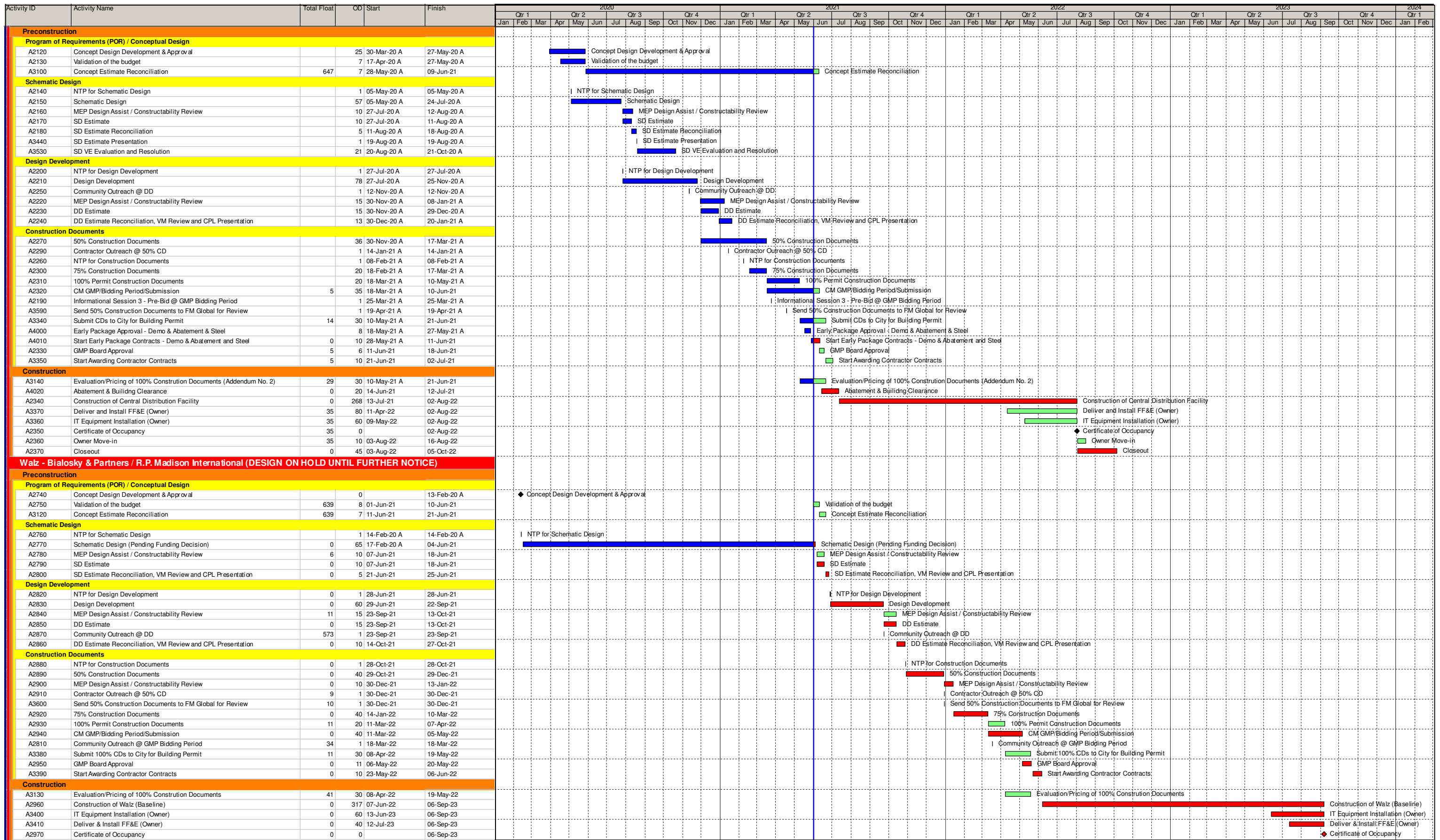
Gilbane Proposed Alternate based on the Bid Schedule



Start Date: 01-Jan-20
 Finish Date: 01-Mar-24
 Data Date: 01-Jun-21
 Run Date: 08-Jun-21 18:37

Cleveland Public Library Master Plan Phase 1A Schedule Update - June 2021 (GMP Schedule)





Start Date: 01-Jan-20
 Finish Date: 01-Mar-24
 Data Date: 01-Jun-21
 Run Date: 08-Jun-21 18:37

- Remaining Level of Effort
- Actual Level of Effort
- Actual Work
- Remaining Work
- Critical Remaining Work
- ◆ Summary Milestones
- ◆ Critical Milestones
- ◆ Milestone

Cleveland Public Library Master Plan Phase 1A Schedule Update - June 2021 (GMP Schedule)





Cleveland Public Library

West Park Branch

June 14, 2021

GMP SUBMISSION

TAB 11 Site Logistics



Ave

W 157th St

W 157th St

Cleveland Public Library
- West Park Branch

CM Staging
& Parking

Construction
Entrance

Temporary Fencing

Silsby Rd

Silsby Rd

Silsby Rd

W 157th St

Silsby Rd

West Park Bu





Cleveland Public Library

West Park Branch

June 14, 2021

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TAB 12 Site Specific Safety Plan (Cover Page Only)

Safety plan can be provided upon request



PROJECT SAFETY PLAN

J08839.000 - Cleveland Public Library

Cleveland, OH

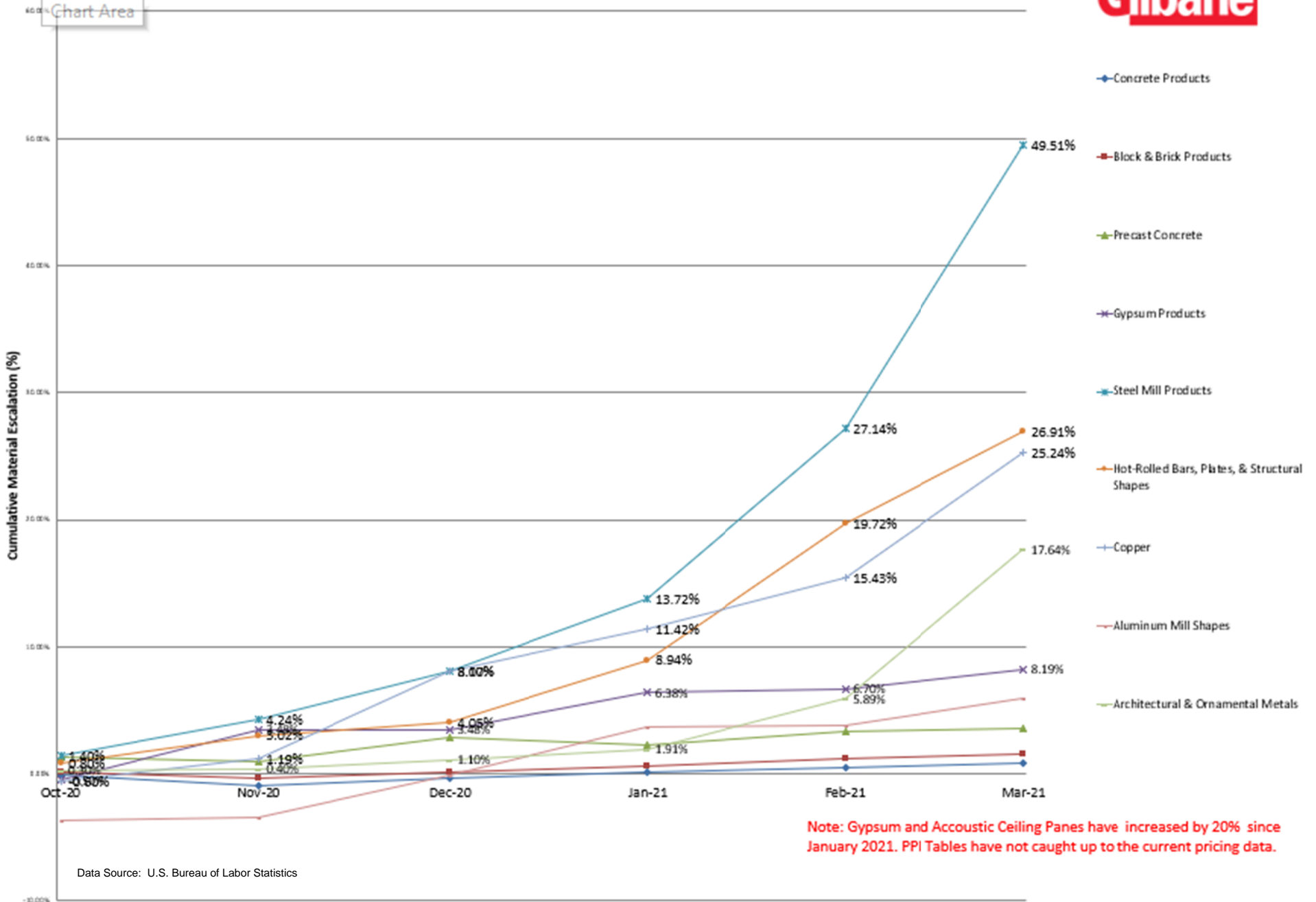
02/16/2021

The safety rules and regulations contained herein are NOT all inclusive. All United States Department of Labor, Occupational Safety and Health Administration (OSHA) and other legal standards not specifically referenced in these rules, regulations, and policies shall apply when appropriate. In cases of conflict, the most stringent rule shall apply.

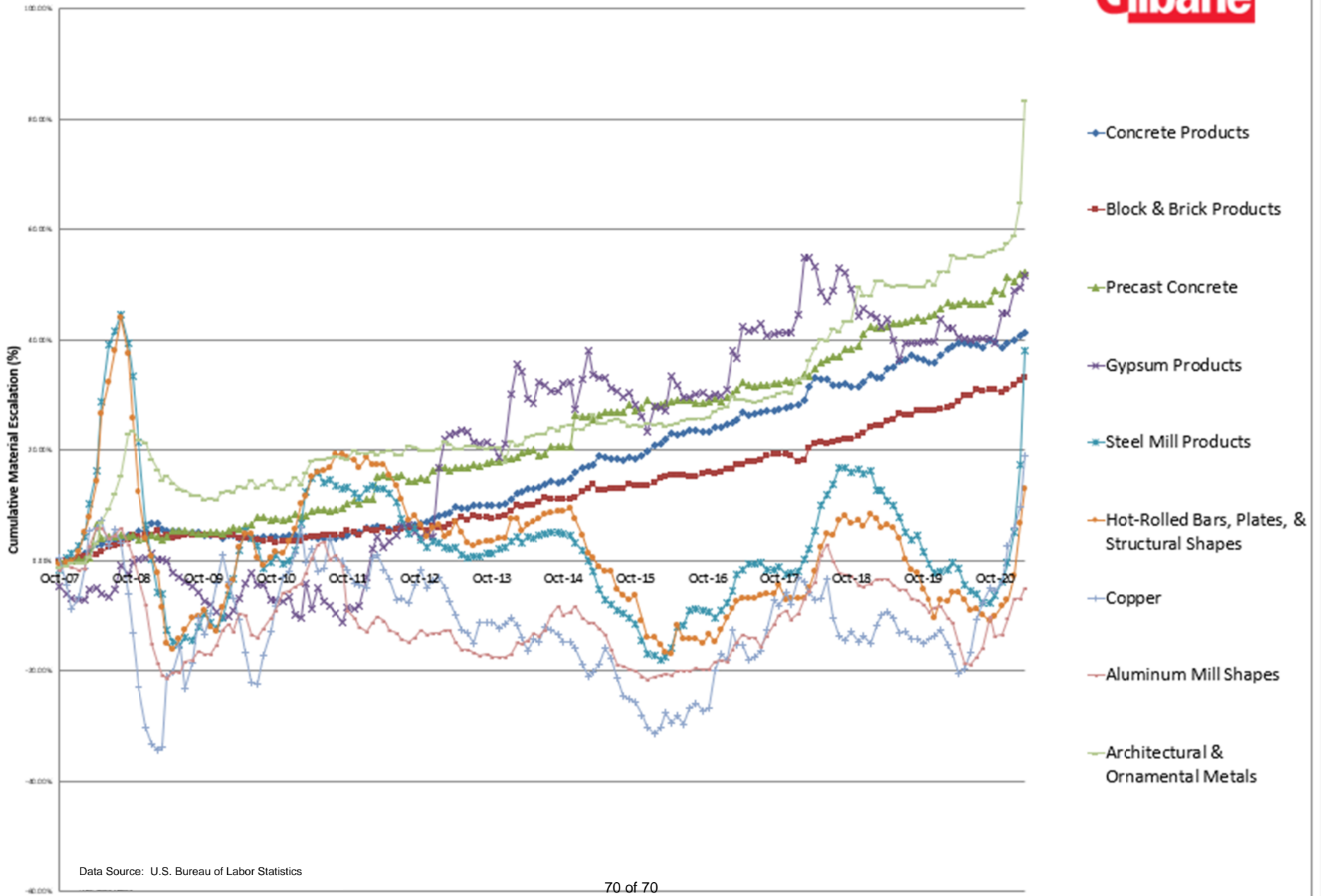


TAB 13 Market Trends

Materials Market Data (Recent Six Months)



Materials Market Data (Monthly 2007 through March 2021)



Data Source: U.S. Bureau of Labor Statistics



Guaranteed Maximum Price Proposal

Central Distribution Facility

Cleveland Public Library
5806 Woodland Avenue

June 14, 2021

950 Main Ave, Suite 1410, Cleveland, Ohio 44113





6/14/2021

Felton Thomas, Jr
Cleveland Public Library
325 Superior Avenue
5806 Woodland Avenue

Re: Central Distribution Facility: Guaranteed Maximum Price

Dear Mr. Thomas,

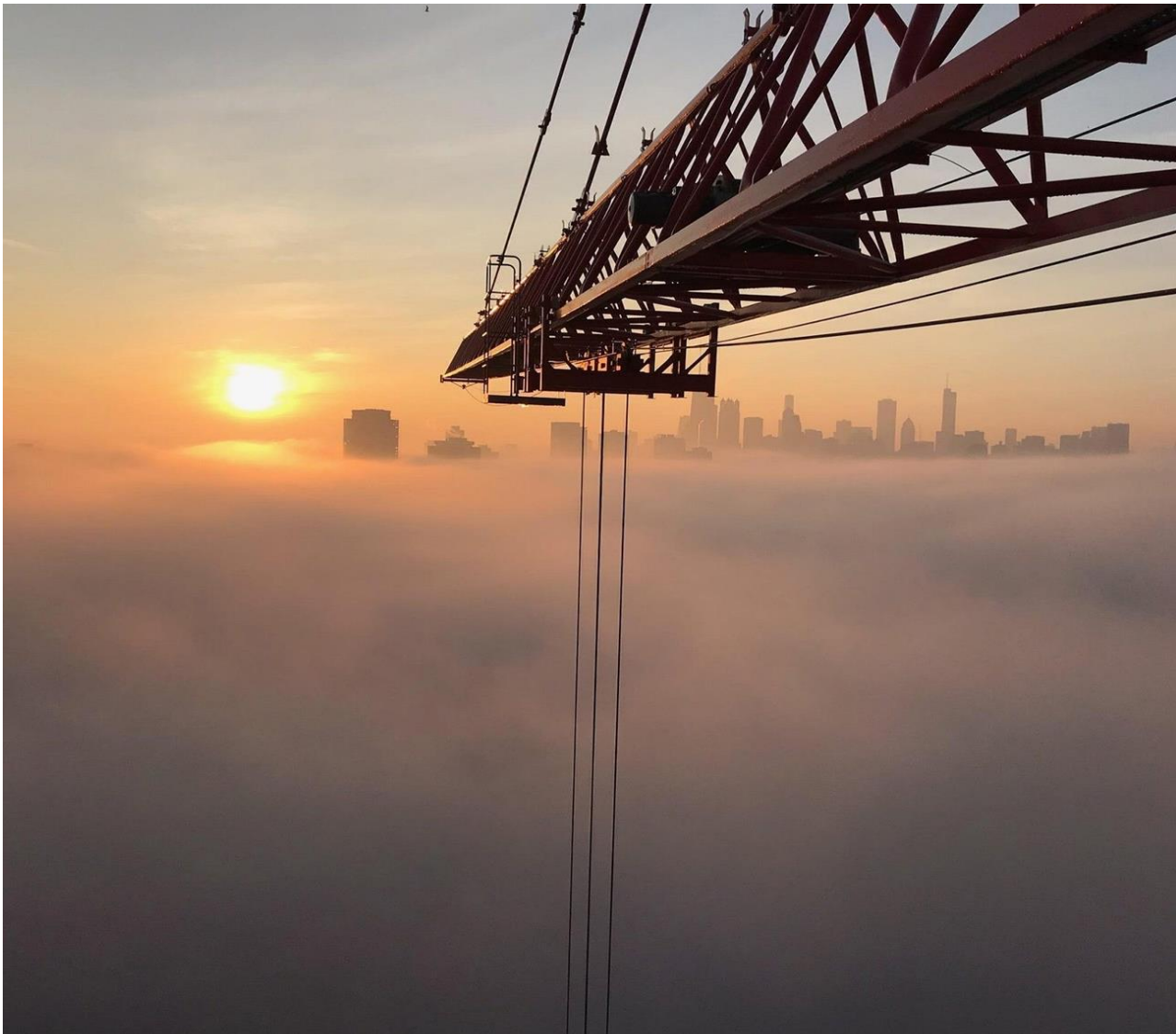
In accordance with the Agreement, please find attached the Guaranteed Maximum Price Amendment for the Central Distribution Facility. Thank you for the opportunity to collaborate with the Cleveland Public Library, Bostwick Design Partnership and Ubiquitous Design in the development of the project. We look forward to building on this relationship as we construct your project. If you have any questions, please do not hesitate to contact us at any time.

Sincerely,

Ed Valentine
Project Executive
Gilbane Building Company

TABLE OF CONTENTS

TAB 01	Exhibit A: GMP Amendment	TAB 08	Alternates
TAB 02	GMP Cost Summary and Breakdown	TAB 09	Unit Cost
TAB 03	Economic Inclusion Breakdown	TAB 10	Project Schedule
TAB 04	Basis Documents	TAB 11	Site Logistics
TAB 05	Clarifications and Assumptions	TAB 12	Site Specific Safety Plan
TAB 06	Fixed Rate Schedule	TAB 13	Cost variances when comparing the Design Development documents to the Construction Documents
TAB 07	Allowances		





Cleveland Public Library
Central Distribution Facility
June 14, 2021
GMP SUBMISSION

TAB 01 Exhibit A: GMP Amendment



CONSTRUCTION PHASE WORK AUTHORIZATION AGREEMENT

effective as of the _____ day of _____ in the year of 202_.

IN SUPPLEMENT TO THE **MASTER AGREEMENT BETWEEN OWNER AND CONSTRUCTION MANAGER AT-RISK DATED _____ (“Master Agreement”).**

BETWEEN the Owner:

Cleveland Public Library
325 Superior Avenue
Cleveland, Ohio 44114

and the Construction Manager:

Gilbane Building Company
950 Main Avenue, Suite 1410
Cleveland, Ohio 44113

For the following Cleveland Public Library Branch Project (“Project”):

The Owner and the Construction Manager agree as follows:

ARTICLE 1 THE SCOPE OF THIS AGREEMENT

§ 1.1 This Work Authorization Agreement together with the Master Agreement Between Owner and Construction Manager at-Risk and related documents incorporated by reference in Article 5 herein, hereby together constitute a separate, enforceable Agreement between the Owner and Construction Manager for this Project.

ARTICLE 2 THE SCOPE OF CONSTRUCTION MANAGER’S SERVICES

§ 2.1 **PROJECT DESCRIPTION.** The Project is generally described as follows:

[INSERT PROJECT DESCRIPTION]

§ 2.2 The Construction Manager’s Work and Services consist of those described in the Master Agreement, the Work Authorization Agreement for Preconstruction Services as supplemented or amended pursuant to this Work Authorization Agreement incorporating by reference the terms and conditions of the Master Agreement, and the following Work and

Services identified in this Work Authorization Agreement as part of Construction Manager's Work and Services for the Project.

ARTICLE 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

§ 3.1 Construction Manager's Work and Services shall be performed as expeditiously as is consistent with professional skill and care and the orderly progress of the Project. The Construction Manager shall attach to this Work Authorization Agreement, for the Owner's approval, Construction Manager's Construction Phase Schedule for the performance of the Construction Manager's Work and Services which may be adjusted by the Owner as the Project proceeds in accordance with the terms and conditions of the Master Agreement Between Owner and Construction Manager at-Risk. This schedule shall include allowances for periods of time required for the Owner's review and for approval of submissions by authorities having jurisdiction over the Project. The schedule shall include anticipated dates for the commencement of construction and for Substantial Completion of the Work. Time limits established by this schedule approved by the Owner shall not, except for reasonable cause as set forth in the Master Agreement Between Owner and Construction Manager at-Risk, be exceeded by the Construction Manager. The following considerations and Milestone Dates shall be incorporated into the schedule for the performance of the Construction Manager's Work and Services pursuant to this Work Authorization Agreement for the Construction Phase of the Project:

Construction Phase Commencement Date: _____
Interim Milestone A: [insert description] _____
Interim Milestone B: [insert description] _____
Substantial Completion Date: _____
Final Completion Date: _____

§ 3.2 With respect to the obligations of both the Owner and the Construction Manager, time is of the essence of this Work Authorization Agreement.

§ 3.3 The Owner and Construction Manager agree that if and to the extent that the Completion of any portion of the Work is delayed beyond the relevant Milestone Dates (each, an "Interim Milestone") or the Substantial Completion of the Work as a whole is delayed beyond the Required Date of Substantial Completion due to the failure of the Construction Manager to perform its obligations under the Contract Documents, the Owner would suffer damages that would be difficult to determine. Consequently, the Owner and Construction Manager hereby agree that if Construction Manager fails to complete the Work on or before the relevant Milestone Dates, or the date of Substantial Completion, as liquidated damages, and not as a penalty, the Construction Manager shall be liable for liquidated damages in the following diem amounts:

§ 3.3.1 The sum of _____ Dollars (\$ _____) per day for each day that the portion of the Work required to be delivered pursuant to any Interim Milestone is delayed beyond the Required Date of the Interim Milestone;

§ 3.3.2 The sum of _____ Dollars (\$ _____) per day for each day up to and including _____ (_____) days that the Work required to be delivered on or before Substantial Completion is delayed beyond the Required Date of Substantial Completion; and

§ 3.3.3 The sum of _____ Dollars (\$ _____) per day for each day after the _____ (_____) day that the Work required to be delivered on or before Substantial Completion is delayed beyond the Required Date of Substantial Completion.

ARTICLE 4 GUARANTEED MAXIMUM PRICE

§ 4.1 The Construction Manager's Guaranteed Maximum Price is set forth in the Guaranteed Maximum Price Amendment dated _____, 202_ which is attached hereto and incorporated herein as Exhibit "A." The Guaranteed Maximum Price Amendment is summarized as follows:

§ 4.1.1 The Construction Manager's Preconstruction Stage Compensation: \$ _____

§ 4.1.2 The Construction Manager's Contingency: \$ _____
 § 4.1.4 The Construction Manager's Construction Phase General Conditions Costs: \$ _____
 § 4.1.4.1 The Construction Manager's Construction Stage Personnel: \$ _____
 § 4.1.5 The Construction Manager's Fee: \$ _____
 § 4.1.6 The Owner's Allowance Amount for Work Orders: \$ _____
 § 4.1.7 The Cost of the Work \$ _____
 § 4.1.8 The Cost of the Bond \$ _____
 § 4.2 The Total Guaranteed Maximum Price: \$ _____

§ 4.3 Construction Manager's mark-up for approved Change Orders pursuant to the terms of the Master Agreement.
 § 4.3.1 For Work self-performed by Construction Manager's own forces a _____ percent (_____ %) mark up for the Cost of the Work.
 § 4.3.2 For Work performed by Construction Manager's Subcontractors at whatever tier a _____ percent (_____ %) mark up for the Cost of the Work.

§ 4.4 Construction Manager's adjustment to its Fee for approved Change Orders pursuant to the terms of the Master Agreement.
 § 4.4.1 _____ percent (_____ %) of the Cost of the Work.

ARTICLE 5 ENUMERATION OF WORK AUTHORIZATION AGREEMENT DOCUMENTS

§ 5.1 The Work Authorization Agreement Documents, except for Modifications issued after execution of this Agreement, are enumerated as follows:

§ 5.1.1 The Master Agreement Between Owner and Construction Manager at-Risk, dated _____, 2020.

§ 5.1.2 The Work Authorization Agreement for Preconstruction Services between Owner and Construction Manager at-Risk dated _____, 2020;

§ 5.1.3 This executed Work Authorization Agreement for the Construction Phase for the Project;

§ 5.1.4 The Guaranteed Maximum Price Amendment, attached hereto and incorporated herein as Exhibit "A."

§ 5.1.4 The following Modifications to the Master Agreement Between Owner and Construction Manager at-Risk, issued prior to the execution of this Work Authorization Agreement:

Modification	Date
---------------------	-------------

§ 5.1.5 Other Documents, if any, forming part of the Work Authorization Agreement Documents are as follows:

This **Work Authorization Agreement** is entered into as of the day and year first written above.

OWNER:
CLEVELAND PUBLIC LIBRARY

(Signature)

 By: Director, Chief Executive Officer

CONSTRUCTION MANAGER:
Gilbane Building Company

(Signature)

 Title:



TAB 02 GMP Cost Summary and Breakdown



GUARANTEED MAXIMUM PRICE (GMP) BREAKDOWN

		SBE/MBE/WBE			
BID PACKAGE NO. & DESCRIPTION	SUBCONTRACTOR	% Participation	Certification	GMP VALUE	
01A	General Conditions	The AKA Team	100	MBE & FBE	\$ 109,400
01A	Temporary Partition & Safety				\$ 11,779
01B	Final Cleaning - Allowance				\$ 20,892
01C	Surveying - Allowance				\$ 7,834
02A	Selective Demolition & Abatement	Petty Group	100	MBE & SBE	\$ 199,000
03A	Building Concrete Foundations & Slabs	Platform Cement	44	MBE, FBE & SBE	\$ 171,600
04A	Masonry	Lou Ritenour	2	MBE	\$ 104,000
05A	Structural Steel & Misc. Steel	Aztec Steel	73	FBE	\$ 152,600
06A	Finish Carpentry, Cabinetry, Shelving, Specialties	Next Generation	100	MBE & SBE	\$ 139,000
07A	Roofing	Warren Roofing	44	MBE, FBE & SBE	\$ 196,500
08A	Exterior Façade (Curtainwall & Storefront)	Allied Glass (Prism Glass)	100	FBE & SBE	\$ 94,900
08B	Interior Glass/Glazing	Infinium Wall Systems	0		\$ 34,516
08C	Exterior Façade (studs, insulation, wall panels)	Marous	44	MBE, FBE & SBE	\$ 145,284
09A	Interiors (Int Studs, Drywall, Ceilings, Doors & H	Marous	44	MBE, FBE & SBE	\$ 500,495
09B	Painting	Popowski	100	FBE & SBE	\$ 79,800
09C	Flooring & Ceramic Tile	Frank Novak	100	FBE & SBE	\$ 119,800
10A	Signage - Allowance				\$ 28,321
14A	Elevator (Bid Alternate) - Excluded				Excluded
21A	Fire Protection	Diversified Piping & Mechanical	31.8	SBE	\$ 157,500
22A	Plumbing	E.B. Katz	100	SBE	\$ 326,400
23A	HVAC/Controls	E.B. Katz	100	SBE	\$ 886,700
26A	Electrical	Legacy Electric	100	FBE & SBE	\$ 553,000
27A	Tele/Data	Technology Install Partners			\$ 69,640
Subcontractor Bid Subtotal					\$ 4,108,961
Subcontractor Risk Program (SDI):					1.20% \$ 49,308
Owner Allowances (See TAB 07 for explanation)					\$ 188,000
Subcontractor Bid Subtotal with Allowances					\$ 4,346,269
General Conditions (CM Staffing and Reimbursables):					\$ 362,500
Coronavirus Impact Contingency:					\$ 35,000
Construction Contingency:					2.75% \$ 119,522
Accepted Alternates (reference alternates tab 07):					\$ (49,342)
Subtotal					\$ 4,813,949
General Liability Insurance:					1.00% \$ 50,032
Builder's Risk Insurance: (By CPL)					0.00% \$ -
Payment and Performance Bonds:					0.63% \$ 31,520
CM Fee:					2.00% \$ 97,910
Additional Preconstruction Services (Increased Building Scope- refer to Qualifications section)					\$ 9,752
Total Guaranteed Maximum Price					\$ 5,003,163



TAB 03 Economic Inclusion Breakdown



ECONOMIC INCLUSION BREAKDOWN

BID PACKAGE NO. & DESCRIPTION		SUBCONTRACTOR	MBE %	FBE %	SBE %	GMP VALUE	MBE/FBE/SBE	
							% Participation	Diversity Value
01A	General Conditions	The AKA Team	100%	100%	100%	\$ 109,400	100%	\$ 109,400
02A	Selective Demolition & Abatement	Petty Group	100%	9%	100%	\$ 199,000	100%	\$ 199,000
03A	Building Concrete Foundations & Slabs	Platform Cement	20%	9%	15%	\$ 171,600	44%	\$ 75,504
04A	Masonry	Lou Ritenour	2%	0%	0%	\$ 104,000	2%	\$ 2,080
05A	Structural Steel & Misc. Steel	Aztec Steel	0%	73%	0%	\$ 152,600	73%	\$ 111,398
06A	Finish Carpentry, Cabinetry, Shelving, Specialties & Equip	Next Generation	100%	0%	100%	\$ 139,000	100%	\$ 139,000
07A	Roofing	Warren Roofing	20%	9%	15%	\$ 196,500	44%	\$ 86,460
08A	Exterior Façade (Curtainwall & Storefront)	Allied Glass (Prism Glass)	0%	100%	100%	\$ 94,900	100%	\$ 94,900
08B	Interior Glass/Glazing	Infinium Wall Systems	0%	0%	0%	\$ 34,516	0%	\$ -
08C	Exterior Façade (studs, insulation, wall panels)	Marous	20%	9%	15%	\$ 145,284	44%	\$ 63,925
09A	Interiors (Int Studs, Drywall, Ceilings, Doors & Hardware)	Marous	20%	9%	15%	\$ 500,495	44%	\$ 220,218
09B	Painting	Popowski	0%	100%	100%	\$ 79,800	100%	\$ 79,800
09C	Flooring & Ceramic Tile	Frank Novak	20%	60%	20%	\$ 119,800	100%	\$ 119,800
21A	Fire Protection	Diversified Piping & Mechanical	0%	0%	32%	\$ 157,500	32%	\$ 50,085
22A	Plumbing	E.B. Katz	0%	2%	100%	\$ 326,400	100%	\$ 326,400
23A	HVAC/Controls	E.B. Katz	0%	0%	100%	\$ 886,700	100%	\$ 886,700
26A	Electrical	Legacy Electric	20%	100%	100%	\$ 553,000	100%	\$ 553,000
27A	Tele/Data	Technology Install Partners	0%	100%	0%	\$ 69,640	100%	\$ 69,640
Subcontractor Totals			23%	38%	51%	\$ 4,040,135	79%	\$ 3,187,310

CPL Economic Inclusion Enterprise Goals

20%

9%

15%



TAB 04 Basis Documents

BASIS DOCUMENTS - GMP is based on documents through Addendum No. 1

SPECIFICATIONS

		Revision Number	Issuance Date	Document Date
00 00 02	Table of Contents	2	3/17/2021	4/16/2021
00 31 24	PH 1 Environmental Report	0	4/16/2021	4/16/2021
00 31 26.23	Existing Asbestos Information	0	4/16/2021	4/16/2021
00 31 26.26	Existing Lead Information	0	4/16/2021	4/16/2021
00 31 32.1	Geotechnical Data	0	4/16/2021	4/16/2021
00 54 32	Digital Data Licensing Agreement	1	3/17/2021	4/16/2021
00 54 33	AIA Document C106-2013 "Digital Data Licensing Agreement"	1	3/17/2021	4/16/2021
00 72 00	General Conditions	1	3/17/2021	4/16/2021
00 72 01	AIA Document A201-2017 "General Conditions of the Contract for Construction"	1	3/17/2021	4/16/2021
01 10 00	Summary	1	3/17/2021	4/16/2021
01 21 00	Allowances	1	3/17/2021	4/16/2021
01 22 00	Unit Prices	1	3/17/2021	4/16/2021
01 23 00	Alternates	1	3/17/2021	4/16/2021
01 25 00	Substitution Procedures CSI Forms	1	3/17/2021	4/16/2021
01 25 01	CSI Form 13-1A - Substitution Request (After the Bidding)	0	4/16/2021	4/16/2021
01 26 00	Contract Modification Procedures CSI Forms	0	3/17/2021	3/17/2021
01 26 01	CSI Form 13-6D - Proposal Worksheet Summary	0	4/16/2021	4/16/2021
01 26 02	CSI Form 13-6C - Proposal Worksheet Detail	0	4/16/2021	4/16/2021
01 26 03	CSI Form 13-6A - Change Order Request (Proposal)	0	4/16/2021	4/16/2021
01 31 00	Project Management and Coordination (GBC) CSI Forms	0	3/17/2021	3/17/2021
01 31 01	CSI Form 01-5A - Subcontractors and Major Material Suppliers	0	4/16/2021	4/16/2021
01 31 02	CSI Form 13-2B Request for Information Log	0	4/16/2021	4/16/2021
01 32 00	Construction Progress Documentation (GBC)	0	3/17/2021	3/17/2021
01 33 00	Submittal Procedures	1	3/17/2021	4/16/2021
01 35 16	Alteration Project Procedures	1	3/17/2021	4/16/2021
01 40 00	Quality Requirements	1	3/17/2021	4/16/2021
01 42 00	References	1	3/17/2021	4/16/2021
01 42 13	Abbreviations	1	3/17/2021	4/16/2021
01 45 33	Code-Required Special Inspections and Procedures	1	3/17/2021	4/16/2021
01 45 33.1	Statement of Special Inspections	0	4/16/2021	4/16/2021
01 50 00	Temporary Facilities and Controls (GBC)	1	3/17/2021	4/16/2021
01 60 00	Product Requirements	1	3/17/2021	4/16/2021
01 64 00	Owner-Furnished Products	1	3/17/2021	4/16/2021
01 73 00	Execution	1	3/17/2021	4/16/2021
01 74 19	Construction Waste Management and Disposal	0	3/17/2021	3/17/2021
01 77 00	Closeout Procedures CSI Forms	1	3/17/2021	4/16/2021
01 77 01	CSI Form 14-1A Punch List	0	4/16/2021	4/16/2021
01 78 23	Operation and Maintenance Data	1	3/17/2021	4/16/2021
01 78 39	Project Record Documents	1	3/17/2021	4/16/2021
01 79 00	Demonstration and Training (GBC)	1	3/17/2021	4/16/2021
01 81 13.14	Sustainable Design Requirements - LEEDV4 BD+C (CGT)	1	3/17/2021	4/16/2021
01 81 13.14.1	Project Checklist - LEED for [Insert type] (CGT)	0	4/16/2021	4/16/2021
01 83 17	Air Barrier System	1	3/17/2021	4/16/2021
01 91 00	Commissioning of Building Systems (OE)	1	4/13/2021	4/16/2021
01 91 00.1	CPL Woodland Pre-Functional Test	1	4/13/2021	4/16/2021
01 91 10	Commissioning Scope (OFCC)	1	3/17/2021	4/16/2021
01 91 13	General Commissioning Requirements	1	3/17/2021	4/16/2021
02 41 19	Selective Demolition	1	3/17/2021	4/16/2021
03 05 10	Concrete Moisture Vapor Reduction Admixture	1	3/17/2021	4/16/2021
03 30 00	Cast-In-Place Concrete (BH)	1	3/17/2021	4/16/2021
03 54 16	Hydraulic Cement Underlayment	1	3/17/2021	4/16/2021
04 01 20.63	Brick Masonry Repair	1	3/17/2021	4/16/2021
04 01 20.64	Brick Masonry Repointing	1	3/17/2021	4/16/2021
04 20 00	Unit Masonry	1	3/17/2021	4/16/2021

BASIS DOCUMENTS - GMP is based on documents through Addendum No. 1

05 12 00	Structural Steel Framing (BH)	1	3/17/2021	4/16/2021
05 21 00	Steel Joist Framing (BH)	1	3/17/2021	4/16/2021
05 31 00	Steel Decking (BH)	1	3/17/2021	4/16/2021
05 40 00	Cold-Formed Metal Framing (BH)	1	3/17/2021	4/16/2021
05 50 00	Metal Fabrications	1	3/17/2021	4/16/2021
05 51 13	Metal Pan Stairs	1	3/17/2021	4/16/2021
05 51 19	Metal Grating Stairs	1	3/17/2021	4/16/2021
05 52 13	Pipe and Tube Railings	1	3/17/2021	4/16/2021
06 10 00	Rough Carpentry	1	3/17/2021	4/16/2021
06 16 00	Sheathing	0	4/16/2021	4/16/2021
06 20 23	Interior Finish Carpentry	1	3/17/2021	4/16/2021
06 40 23	Common Work Results for Interior Architectural Woodwork	1	3/17/2021	4/16/2021
06 41 16	Plastic-Laminate-Faced Architectural Cabinets	1	3/17/2021	4/16/2021
07 14 16	Cold Fluid-Applied Waterproofing	1	3/17/2021	4/16/2021
07 21 00	Thermal Insulation	1	3/17/2021	4/16/2021
07 21 19	Foamed-In-Place Insulation	1	3/17/2021	4/16/2021
07 24 23	Direct-Applied Finish System (DAFS)	1	3/17/2021	4/16/2021
07 25 00	Weather Barriers	0	4/16/2021	4/16/2021
07 26 16	Below-Grade Vapor Retarders	1	3/17/2021	4/16/2021
07 27 26	Fluid-Applied Membrane Air Barriers	0	4/16/2021	4/16/2021
07 42 13.23	Metal Composite Material Wall Panels	1	3/17/2021	4/16/2021
07 42 34	Solid Phenolic Wall Panels	1	3/17/2021	4/16/2021
07 42 93	Soffit Panels	1	3/17/2021	4/16/2021
07 44 00	Concrete Faced Panels	1	3/17/2021	4/16/2021
07 52 16	SBS Modified Bituminous Membrane Roofing	1	3/17/2021	4/16/2021
07 54 19	Polyvinyl-Chloride (PVC) Roofing	1	3/17/2021	4/16/2021
07 56 00	Fluid Applied Membrane Roofing	0	4/16/2021	4/16/2021
07 62 00	Sheet Metal Flashing and Trim	1	3/17/2021	4/16/2021
07 72 00	Roof Accessories	1	3/17/2021	4/16/2021
07 84 13	Penetration Firestopping	1	3/17/2021	4/16/2021
07 84 43	Joint Firestopping	1	3/17/2021	4/16/2021
07 92 00	Joint Sealants	1	3/17/2021	4/16/2021
08 11 13	Hollow Metal Doors and Frames	1	3/17/2021	4/16/2021
08 14 16	Flush Wood Doors	1	3/17/2021	4/16/2021
08 31 13	Access Doors and Frames	1	3/17/2021	4/16/2021
08 33 00	Side Coiling Self-Opening Grilles	1	3/17/2021	4/16/2021
08 33 23	Overhead Coiling Doors	1	3/17/2021	4/16/2021
08 33 26	Overhead Coiling Grilles	0	4/16/2021	4/16/2021
08 41 13	Aluminum-Framed Entrances and Storefronts	1	3/17/2021	4/16/2021
08 42 29.23	Sliding Automatic Entrances	1	3/17/2021	4/16/2021
08 44 13	Glazed Aluminum Curtain Walls	1	3/17/2021	4/16/2021
08 71 00	Door Hardware	1	3/17/2021	4/16/2021
08 71 01	Door Hardware Schedule	0	4/16/2021	4/16/2021
08 80 00	Glazing	1	3/17/2021	4/16/2021
08 88 13	Fire-Resistant Glazing	0	4/16/2021	4/16/2021
08 91 19	Fixed Louvers	0	4/16/2021	4/16/2021
09 05 61	Common Work Results for Flooring Preparation	1	3/17/2021	4/16/2021
09 21 16.23	Gypsum Board Shaft Wall Assemblies	1	3/17/2021	4/16/2021
09 22 16	Non-Structural Metal Framing	1	3/17/2021	4/16/2021
09 29 00	Gypsum Board	1	3/17/2021	4/16/2021
09 30 00	Common Work Results for Tiling	1	3/17/2021	4/16/2021
09 30 13	Ceramic Tiling	1	3/17/2021	4/16/2021
09 51 13	Acoustical Panel Ceilings	1	3/17/2021	4/16/2021
09 54 11	Decorative Metal Ceilings	1	3/17/2021	4/16/2021
09 54 16	Integrated Ceiling Assemblies	0	4/16/2021	4/16/2021
09 61 17	Concrete Flooring Finish and Sealers	1	3/17/2021	4/16/2021
09 65 13	Resilient Base and Accessories	1	3/17/2021	4/16/2021

BASIS DOCUMENTS - GMP is based on documents through Addendum No. 1

09 65 19	Resilient Tile Flooring	1	3/17/2021	4/16/2021
09 65 43	Linoleum Flooring	0	4/16/2021	4/16/2021
09 68 13	Tile Carpeting	1	3/17/2021	4/16/2021
09 84 53	Sound Barrier Mullion Trim Cap	0	4/16/2021	4/16/2021
09 91 13	Exterior Painting	1	3/17/2021	4/16/2021
09 91 23	Interior Painting	1	3/17/2021	4/16/2021
10 11 00	Visual Display Units	1	3/17/2021	4/16/2021
10 14 23.16	Room Identification Panel Signage	0	4/16/2021	4/16/2021
10 26 00	Wall and Door Protection	0	4/16/2021	4/16/2021
10 28 00	Toilet, Bath, and Laundry Accessories	1	3/17/2021	4/16/2021
10 44 13	Fire Protection Cabinets	1	3/17/2021	4/16/2021
10 44 16	Fire Extinguishers	1	3/17/2021	4/16/2021
10 51 13	Metal Lockers	1	3/17/2021	4/16/2021
11 11 36	Vehicle Charging Equipment (ALG)	1	3/17/2021	4/16/2021
11 13 19	Stationary Loading Dock Equipment	2	3/17/2021	5/4/2021
11 30 13	Residential Appliances	1	3/17/2021	4/16/2021
11 51 00	Library Equipment	1	3/17/2021	4/16/2021
12 24 13	Roller Window Shades	1	3/17/2021	4/16/2021
12 36 61.16	Solid Surfacing Countertops	1	3/17/2021	4/16/2021
12 48 13	Entrance Floor Mats and Frames	1	3/17/2021	4/16/2021
14 21 23.16	Machine-Room-Less Electric Traction Passenger Elevators	1	3/17/2021	4/16/2021
20 00 01	Cover Vol. 2 of 2	0	4/16/2021	4/16/2021
20 00 02	Table of Contents	1	3/17/2021	4/16/2021
21 05 00	Common Work Results for Fire Suppression (ALG)	1	3/17/2021	4/16/2021
21 05 23	General-Duty Valves for Water-Based Fire-Suppression Piping (ALG)	1	3/17/2021	4/16/2021
21 05 53	Identification for Fire-Suppression Piping and Equipment (ALG)	1	3/17/2021	4/16/2021
21 11 00	Facility Fire-Suppression Water-Service Piping (ALG)	1	3/17/2021	4/16/2021
21 12 00	Fire-Suppression Standpipes (ALG)	1	3/17/2021	4/16/2021
21 13 00	Fire-Suppression Sprinkler Systems (ALG)	1	3/17/2021	4/16/2021
22 05 13	Common Motor Requirements for Plumbing Equipment (ALG)	1	3/17/2021	4/16/2021
22 05 16	Expansion Fittings and Loops for Plumbing Piping (ALG)	1	3/17/2021	4/16/2021
22 05 17	Sleeves and Sleeve Seals for Plumbing Piping (ALG)	1	3/17/2021	4/16/2021
22 05 19	Meters and Gages for Plumbing Piping (ALG)	1	3/17/2021	4/16/2021
22 05 23	General-Duty Valves for Plumbing Piping (ALG)	1	3/17/2021	4/16/2021
22 05 29	Hangers and Supports for Plumbing Piping and Equipment (ALG)	1	3/17/2021	4/16/2021
22 05 48	Vibration and Seismic Controls for Plumbing Piping and Equipment (ALG)	1	3/17/2021	4/16/2021
22 05 53	Identification for Plumbing Piping and Equipment (ALG)	1	3/17/2021	4/16/2021
22 07 16	Plumbing Equipment Insulation (ALG)	1	3/17/2021	4/16/2021
22 07 19	Plumbing Piping Insulation (ALG)	1	3/17/2021	4/16/2021
22 08 00	Plumbing Systems Commissioning (OE)	1	4/13/2021	4/16/2021
22 10 05	Plumbing Piping (ALG)	1	3/17/2021	4/16/2021
22 10 06	Plumbing Piping Specialties (ALG)	1	3/17/2021	4/16/2021
22 30 00	Plumbing Equipment (ALG)	1	3/17/2021	4/16/2021
22 40 00	Plumbing Fixtures (ALG)	1	3/17/2021	4/16/2021
23 05 13	Common Motor Requirements for HVAC Equipment (ALG)	1	3/17/2021	4/16/2021
23 05 16	Expansion Fittings and Loops for HVAC Piping (ALG)	1	3/17/2021	4/16/2021
23 05 17	Sleeves and Sleeve Seals for HVAC Piping (ALG)	1	3/17/2021	4/16/2021
23 05 19	Meters and Gauges for HVAC Piping (ALG)	1	3/17/2021	4/16/2021
23 05 23	General-Duty Valves for HVAC Piping (ALG)	1	3/17/2021	4/16/2021
23 05 29	Hangers and Supports for HVAC Piping and Equipment (ALG)	1	3/17/2021	4/16/2021
23 05 48	Vibration and Seismic Controls for HVAC (ALG)	1	3/17/2021	4/16/2021
23 05 53	Identification for HVAC Piping and Equipment (ALG)	1	3/17/2021	4/16/2021
23 05 93	Testing, Adjusting, and Balancing for HVAC (ALG)	1	3/17/2021	4/16/2021
23 07 13	Duct Insulation (ALG)	1	4/13/2021	4/16/2021
23 07 16	HVAC Equipment Insulation (ALG)	1	4/13/2021	4/16/2021
23 07 19	HVAC Piping Insulation (ALG)	1	4/13/2021	4/16/2021
23 08 00	Mechanical Systems Commissioning (OE)	1	4/13/2021	4/16/2021

BASIS DOCUMENTS - GMP is based on documents through Addendum No. 1

23 09 00	Building Automation System (ALG)	1	4/13/2021	4/16/2021
23 11 23	Facility Natural Gas Piping (ALG)	1	4/13/2021	4/16/2021
23 21 13	Hydronic Piping (ALG)	1	4/13/2021	4/16/2021
23 21 14	Hydronic Specialties (ALG)	1	4/13/2021	4/16/2021
23 21 23	Hydronic Pumps (ALG)	1	4/13/2021	4/16/2021
23 23 00	Refrigerant Piping (ALG)	1	4/13/2021	4/16/2021
23 25 00	HVAC Water Treatment (ALG)	1	4/13/2021	4/16/2021
23 31 00	HVAC Ducts and Casings (ALG)	1	4/13/2021	4/16/2021
23 33 00	Air Duct Accessories (ALG)	1	4/13/2021	4/16/2021
23 34 16	Centrifugal HVAC Fans (ALG)	1	4/13/2021	4/16/2021
23 36 00	Air Terminal Units (ALG)	1	4/13/2021	4/16/2021
23 37 00	Air Outlets and Inlets (ALG)	1	4/13/2021	4/16/2021
23 52 16	Condensing Boilers (ALG)	1	4/13/2021	4/16/2021
23 73 13	Modular Central Station Air Handling Units AHU-1 (ALG)	1	4/13/2021	4/16/2021
23 74 13	Packaged Outdoor Central Station Air Handling Units RTU-2 (ALG)	1	4/13/2021	4/16/2021
26 05 05	Selective Demolition for Electrical (ALG)	1	3/17/2021	4/16/2021
26 05 19	Low-Voltage Electrical Power Conductors and Cables (ALG)	1	3/17/2021	4/16/2021
26 05 26	Grounding and Bonding for Electrical Systems (ALG)	1	3/17/2021	4/16/2021
26 05 29	Hangers and Supports for Electrical Systems (ALG)	1	3/17/2021	4/16/2021
26 05 33.13	Conduit for Electrical Systems (ALG)	1	3/17/2021	4/16/2021
26 05 33.16	Boxes for Electrical Systems (ALG)	1	3/17/2021	4/16/2021
26 05 39	Underfloor Raceways for Electrical Systems (ALG)	1	3/17/2021	4/16/2021
26 05 53	Identification for Electrical Systems (ALG)	1	3/17/2021	4/16/2021
26 05 83	Wiring Connections (ALG)	1	3/17/2021	4/16/2021
26 08 00	Electrical Systems Commissioning (OE)	1	4/13/2021	4/16/2021
26 09 16	Electric Controls and Relays (ALG)	1	3/17/2021	4/16/2021
26 09 18	Remote Control Switching Devices (ALG)	1	3/17/2021	4/16/2021
26 09 23	Lighting Control Devices (ALG)	1	3/17/2021	4/16/2021
26 21 00	Low-Voltage Electrical Service Entrance (ALG)	1	3/17/2021	4/16/2021
26 22 00	Low-Voltage Transformers (ALG)	1	3/17/2021	4/16/2021
26 23 00	Low-Voltage Switchgear (ALG)	1	3/17/2021	4/16/2021
26 24 13	Switchboards (ALG)	1	3/17/2021	4/16/2021
26 24 16	Panelboards (ALG)	1	3/17/2021	4/16/2021
26 27 13	Electricity Metering (ALG)	1	3/17/2021	4/16/2021
26 27 26	Wiring Devices (ALG)	1	3/17/2021	4/16/2021
26 28 13	Fuses (ALG)	1	3/17/2021	4/16/2021
26 28 16.16	Enclosed Switches (ALG)	1	3/17/2021	4/16/2021
26 29 13	Enclosed Controllers (ALG)	1	3/17/2021	4/16/2021
26 29 23	Variable-Frequency Motor Controllers (ALG)	1	3/17/2021	4/16/2021
26 36 00	Transfer Switches (ALG)	1	3/17/2021	4/16/2021
26 41 13	Lightning Protection for Structures (ALG)	1	3/17/2021	4/16/2021
26 51 00	Interior Lighting (ALG)	1	3/17/2021	4/16/2021
26 56 00	Exterior Lighting (ALG)	0	4/16/2021	4/16/2021
27 05 00	Common Work Results for Communications (ALG)	1	3/17/2021	4/16/2021
27 10 00	Structured Cabling (ALG)	1	3/17/2021	4/16/2021
27 70 00	Wireless Services (ALG)	1	3/17/2021	4/16/2021
28 10 00	Access Control (ALG)	1	3/17/2021	4/16/2021
28 15 00	Integrated Access Control Hardware Devices	0	4/16/2021	4/16/2021
28 20 00	Video Surveillance (ALG)	1	3/17/2021	4/16/2021
28 31 11	Building Intrusion Detection (ALG)	1	3/17/2021	4/16/2021
28 46 00	Fire Detection and Alarm (ALG)	1	3/17/2021	4/16/2021
31 20 00	Earth Moving	0	4/16/2021	4/16/2021
31 20 10	Survey Layout	0	4/16/2021	4/16/2021
31 20 20	Erosion and Sedimentation Control	0	4/16/2021	4/16/2021
31 20 30	Site Clearing	0	4/16/2021	4/16/2021
31 20 40	Unforeseen Conditions	0	4/16/2021	4/16/2021
31 20 50	Soil Export	0	4/16/2021	4/16/2021

BASIS DOCUMENTS - GMP is based on documents through Addendum No. 1

31 20 60	Soil Import	0	4/16/2021	4/16/2021
31 20 70	Unsuitable Soil	0	4/16/2021	4/16/2021
31 23 19	Site Dewatering	0	4/16/2021	4/16/2021
31 66 00	Special Foundations	0	5/4/2021	5/4/2021
32 12 16	Asphalt Paving	0	4/16/2021	4/16/2021
32 13 13	Concrete Paving, Curb, and Walk	0	4/16/2021	4/16/2021
32 13 73	Concrete Paving Joint Seal	0	4/16/2021	4/16/2021
32 17 13	Parking Bumpers	0	4/16/2021	4/16/2021
32 17 23	Pavement Markings and Signage	0	4/16/2021	4/16/2021
32 31 13.53	High-Security Chain Link Fences and Gates	1	3/17/2021	4/16/2021
32 92 00	Turf and Grasses	0	4/16/2021	4/16/2021
32 93 00	Planting	0	4/16/2021	4/16/2021
33 05 00-A	Site Natural Gas Service	0	4/16/2021	4/16/2021
33 05 00-B	Site Communication Service	0	4/16/2021	4/16/2021
33 05 00-C	Stormwater Conveyance and Underdrain	0	4/16/2021	4/16/2021
33 05 00-D	Site Water Distribution Piping	0	4/16/2021	4/16/2021
33 05 00-E	Site Sanitary Sewers	0	4/16/2021	4/16/2021
33 05 00-F	Site Electrical Service	0	4/16/2021	4/16/2021
33 46 00	Subdrainage	1	3/17/2021	4/16/2021

DRAWINGS

		Revision Number	Issuance Date	Document Date
CS-101	COVER SHEET - VOLUME 1	1	3/17/2021	4/16/2021
ID-101	INDEX OF DRAWINGS	1	3/17/2021	4/16/2021
G-110	REFERENCE PLAN	1	3/17/2021	4/16/2021
G-150	REFERENCE VIEWS	1	3/17/2021	4/16/2021
G-300	CODE DATA BASEMENT PLAN - CDF	1	3/17/2021	4/16/2021
G-301	CODE DATA FIRST FLOOR PLAN - CDF	1	3/17/2021	4/16/2021
AS-101	ARCHITECTURAL SITE PLAN	1	3/17/2021	4/16/2021
AD-100	BASEMENT DEMOLITION PLAN - CDF	1	3/17/2021	4/16/2021
AD-101A	FIRST FLOOR DEMOLITION PLAN - CDF	1	3/17/2021	4/16/2021
AD-101B	FIRST FLOOR DEMOLITION PLAN - CDF	1	3/17/2021	4/16/2021
AD-102	DEMOLITION ROOF PLAN - CDF	1	3/17/2021	4/16/2021
AD-201	FIRST FLOOR DEMOLITION RCP - CDF	1	3/17/2021	4/16/2021
A0-001	GENERAL NOTES & LEGEND	1	3/17/2021	4/16/2021
A0-002	TYPICAL DETAILS	1	3/17/2021	4/16/2021
A0-003	PARTITION TYPES	1	3/17/2021	4/16/2021
A0-010	OPENING SCHEDULE	1	3/17/2021	4/16/2021
A0-011	DOOR & FRAME TYPES & DETAILS	1	3/17/2021	4/16/2021
A0-021	MATERIAL FINISH & PRODUCT LEGEND	1	3/17/2021	4/16/2021
A0-040	EQUIPMENT SCHEDULE	1	3/17/2021	4/16/2021
A1-100	BASEMENT FLOOR PLAN - CDF	1	3/17/2021	4/16/2021
A1-101	FIRST FLOOR PLAN - CDF	1	3/17/2021	4/16/2021
A1-102	ROOF PLAN - CDF	1	3/17/2021	4/16/2021
A1-200	BASEMENT REFLECTED CEILING PLAN - CDF	1	3/17/2021	4/16/2021
A1-201	FIRST FLOOR REFLECTED CEILING PLAN - CDF	1	3/17/2021	4/16/2021
A1-301	EXTERIOR ELEVATIONS - CDF	1	3/17/2021	4/16/2021
A1-302	EXTERIOR ELEVATIONS - CDF	1	3/17/2021	4/16/2021
A1-401	BUILDING SECTIONS - CDF	1	3/17/2021	4/16/2021
A1-501	ENLARGED PARTIAL PLANS - CDF	1	3/17/2021	4/16/2021
A1-502	PARTIAL PLANS - CDF DRIVES	2	3/17/2021	5/4/2021
A1-510	STAIR PLANS & SECTIONS - CDF	2	3/17/2021	5/4/2021
A1-511	STAIR DETAILS - CDF	1	3/17/2021	4/16/2021
A1-601	WALL SECTIONS - CDF	1	3/17/2021	4/16/2021
A1-701	INTERIOR ELEVATIONS - CDF	1	3/17/2021	4/16/2021

BASIS DOCUMENTS - GMP is based on documents through Addendum No. 1

A1-702	INTERIOR ELEVATIONS - CDF	1	3/17/2021	4/16/2021
A1-703	INTERIOR ELEVATIONS - CDF	1	3/17/2021	4/16/2021
A1-704	INTERIOR ELEVATIONS - CDF	1	3/17/2021	4/16/2021
A1-705	INTERIOR ELEVATIONS - CDF	0	4/16/2021	4/16/2021
A1-801	SECTION DETAILS - EXTERIOR	1	3/17/2021	4/16/2021
A1-802	SECTION DETAILS - EXTERIOR	1	3/17/2021	4/16/2021
A1-803	SECTION DETAILS - EXTERIOR	2	3/17/2021	5/4/2021
A1-805	PLAN DETAILS - EXTERIOR	1	3/17/2021	4/16/2021
A1-811	SECTION DETAILS - INTERIOR	0	4/16/2021	4/16/2021
A1-812	PLAN DETAILS - INTERIOR	0	4/16/2021	4/16/2021
A1-821	DETAILS - MILLWORK & CEILINGS	1	3/17/2021	4/16/2021
A1-900	BASEMENT FLOOR FINISH PLAN - CDF	1	3/17/2021	4/16/2021
A1-901	FIRST FLOOR FINISH PLAN - CDF	1	3/17/2021	4/16/2021
A1-911	FIRST FLOOR EQUIPMENT PLAN - CDF	1	3/17/2021	4/16/2021
A1-921	FIRST FLOOR FURNITURE PLAN - CDF	1	3/17/2021	4/16/2021
S0-001	GENERAL NOTES	1	3/17/2021	4/16/2021
S0-002	SPECIAL INSPECTIONS	1	3/17/2021	4/16/2021
S1-100	FOUNDATION PLAN - CDF	1	3/17/2021	4/16/2021
S1-101	FIRST FLOOR FRAMING PLAN - CDF	1	3/17/2021	4/16/2021
S1-101A	PARTIAL FIRST FLOOR FRAMING PLAN - CDF	2	3/17/2021	5/4/2021
S1-102	ROOF FRAMING PLAN - CDF	1	3/17/2021	4/16/2021
S3-101	SECTIONS	1	3/17/2021	4/16/2021
S3-102	SECTIONS	1	3/17/2021	4/16/2021
S3-103	SECTIONS	1	3/17/2021	4/16/2021
S4-101	FOUNDATION TYPICAL DETAILS	1	3/17/2021	4/16/2021
S4-102	FRAMING TYPICAL DETAILS	1	3/17/2021	4/16/2021
GE-001	GENERAL ENGINEERING COVER SHEET	1	3/17/2021	4/16/2021
FP1-101A	FIRE PROTECTION PLAN - CDF NORTH	1	3/17/2021	4/16/2021
FP1-101B	FIRE PROTECTION PLAN - CDF SOUTH	1	3/17/2021	4/16/2021
FP1-501	FIRE PROTECTION DETAILS	1	3/17/2021	4/16/2021
PD1-101A	PLUMBING DEMOLITION PLAN - CDF NORTH	1	3/17/2021	4/16/2021
PD1-101B	PLUMBING DEMOLITION PLAN - CDF SOUTH	1	3/17/2021	4/16/2021
PD1-102	PLUMBING DEMOLITION ROOF PLAN - CDF	0	4/16/2021	4/16/2021
P1-101A	PLUMBING PLAN - CDF NORTH	1	3/17/2021	4/16/2021
P1-101B	PLUMBING PLAN - CDF SOUTH	1	3/17/2021	4/16/2021
P1-102B	PLUMBING ROOF PLAN - CDF SOUTH	1	3/17/2021	4/16/2021
P1-401	PLUMBING ENLARGED PLANS - CDF	1	3/17/2021	4/16/2021
P1-601	PLUMBING SCHEDULES - CDF	2	3/17/2021	4/16/2021
P4-501	PLUMBING DETAILS	1	3/17/2021	4/16/2021
P4-502	PLUMBING DETAILS	1	3/17/2021	4/16/2021
MD1-101A	HVAC DEMOLITION PLAN - CDF NORTH	0	3/17/2021	3/17/2021
MD1-101B	HVAC DEMOLITION PLAN - CDF SOUTH	0	3/17/2021	3/17/2021
MD1-102	HVAC DEMOLITION ROOF PLAN - CDF	0	4/16/2021	4/16/2021
M1-101A	HVAC PLAN - CDF NORTH	1	3/17/2021	4/16/2021
M1-101B	HVAC PLAN - CDF SOUTH	1	3/17/2021	4/16/2021
M1-102B	HVAC ROOF PLAN - CDF SOUTH	1	3/17/2021	4/16/2021
M1-201	HVAC HYDRONIC PLAN - CDF	1	3/17/2021	4/16/2021
M1-401	HVAC ENLARGED PLANS - CDF	1	3/17/2021	4/16/2021
M1-601	MECHANICAL SCHEDULES - CDF	1	3/17/2021	4/16/2021
M4-501	MECHANICAL DETAILS	1	3/17/2021	4/16/2021
M4-502	MECHANICAL DETAILS	1	3/17/2021	4/16/2021
M4-503	MECHANICAL DETAILS	1	3/17/2021	4/16/2021
M4-504	MECHANICAL DETAILS	1	3/17/2021	4/16/2021
M4-505	MECHANICAL DETAILS	1	3/17/2021	4/16/2021
M4-508	MECHANICAL DETAILS	0	4/16/2021	4/16/2021
M4-701	MECHANICAL CONTROLS	0	4/16/2021	4/16/2021
M4-702	MECHANICAL CONTROLS	0	4/16/2021	4/16/2021

BASIS DOCUMENTS - GMP is based on documents through Addendum No. 1

ED1-101A	OWER DEMOLITION PLAN - CDF NORTH	1	3/17/2021	4/16/2021
ED1-101B	POWER DEMOLITION PLAN - CDF SOUTH	1	3/17/2021	4/16/2021
E1-101A	POWER PLAN - CDF NORTH	1	3/17/2021	4/16/2021
E1-101B	POWER PLAN - CDF SOUTH	1	3/17/2021	4/16/2021
E1-102B	ELECTRICAL ROOF PLAN - CDF SOUTH	0	4/16/2021	4/16/2021
E1-201A	REFLECTED CEILING PLAN - CDF NORTH	1	3/17/2021	4/16/2021
E1-201B	REFLECTED CEILING PLAN - CDF SOUTH	1	3/17/2021	4/16/2021
E1-401	ELECTRICAL ENLARGED PLANS - CDF	1	3/17/2021	4/16/2021
E1-601	ELECTRICAL SCHEDULES - CDF	1	3/17/2021	4/16/2021
E1-602	ELECTRICAL SCHEDULES - CDF	0	4/16/2021	4/16/2021
E3-101	ELECTRICAL SITE PLAN	0	4/16/2021	4/16/2021
E3-201	ELECTRICAL SITE PHOTOMETRICS	0	4/16/2021	4/16/2021
E3-202	ELECTRICAL SITE PHOTOMETRICS COLOR	0	4/16/2021	4/16/2021
E3-501	ELECTRICAL DETAILS	0	4/16/2021	4/16/2021
E4-501	ELECTRICAL DETAILS	0	4/16/2021	4/16/2021
E4-502	ELECTRICAL DETAILS	0	4/16/2021	4/16/2021
E4-503	ELECTRICAL DETAILS	0	4/16/2021	4/16/2021
E4-601	ELECTRICAL RISER DIAGRAM	1	3/17/2021	4/16/2021
TD1-101A	TECHNOLOGY DEMOLITION PLAN - CDF NORTH	0	4/16/2021	4/16/2021
TD1-101B	TECHNOLOGY DEMOLITION PLAN - CDF SOUTH	0	4/16/2021	4/16/2021
TD1-501	TECHNOLOGY DEMOLITION DETAILS	0	4/16/2021	4/16/2021
T1-101A	TECHNOLOGY PLAN - CDF NORTH	0	4/16/2021	4/16/2021
T1-101B	TECHNOLOGY PLAN - CDF SOUTH	0	4/16/2021	4/16/2021
T4-501	TECHNOLOGY DETAILS	0	4/16/2021	4/16/2021
T4-502	TECHNOLOGY DETAILS	0	4/16/2021	4/16/2021
FA1-100	FIRE ALARM PLAN - CDF NORTH	1	3/17/2021	4/16/2021
FA1-101	FIRE ALARM PLAN - CDF SOUTH	1	3/17/2021	4/16/2021
FA4-501	FIRE ALARM DETAILS	0	4/16/2021	4/16/2021

OTHER DOCUMENTS

Revision Number Issuance Date Document Date

Document Description

Pre-bid RFI log dated 04/13/2021

Addendum # 1 dated 5/04/2021

Master Schedule w/Data Date 06/01/2021



Cleveland Public Library
Central Distribution Facility
June 14, 2021
GMP SUBMISSION

TAB 05 Clarifications & Assumptions

CLARIFICATIONS AND ASSUMPTIONS

GENERAL		
1	GMP is based on receiving executed GMP or a pre-GMP change order on or before June 21, 2021.	
2	Gilbane Phase 1A staffing is contingent upon the approval of all five (5) GMPs (Woodland Library Branch, Central Distribution Facility, Hough Library Branch, Jefferson Library Branch, and West Park Library Branch).	
3	The Coronavirus Impact Contingency is a lump sum value of \$35,000. All cost that exceeds \$35,000 will be an Owner change order. The contingency has been established in accordance with the contract agreement.	
4	GMP for Central Distribution Facility is contingent on the approval of the Woodland Library Branch as Trade Contractor pricing for sitework and other packages included in this GMP are based on combination pricing with the Woodland Library Branch.	
5	The costs for the general building permit and trade specific permits, usage and tap fees are excluded from the GMP (by Owner) as the information from the City of Cleveland is unknown at this time.	
6	GMP assumes that all work will be completed during normal working hours of 7:00 AM - 4:00 PM. Premium time/Overtime costs have not been included in the GMP.	
7	Construction hours are assumed to be 1st shift other than occasional off-hours work to accommodate tie-ins or shut downs / connections of major systems.	
8	All pricing is based upon open, competitive bidding by prequalified subcontractors. No single sourcing of materials or equipment shall be required.	
9	No accommodations for LEED have been incorporated into this Central Distribution Facility GMP.	
10	GMP assumes that the fixed rates included in Fixed Rates Section shall be applicable to General Conditions and Site Services items included in the project costs. The fixed rates are valid until substantial completion date.	
11	The GMP is based upon receiving all document deliverables from the Owner and Architect per the Project Schedule and timeframes indicated in the GMP Basis Documents for Submittals, Requests for Information, Change Order pricing and other deliverables that may have schedule implications. Critical items requiring compressed review timeframes will be identified on the submittal register and discussed during the weekly project team meetings.	
12	The GMP is based upon temporary use of some of the building permanent systems such as: heating and cooling equipment and systems, building controls systems, electrical systems, plumbing fixtures and systems, etc. Warranties for the equipment/systems as described above shall commence on the date of Substantial Completion or Owner occupancy, whichever occurs first.	
13	Gilbane reserves the right to optimize the sequence of construction at any time. This may include re-arranging construction activities, adjustment of activity durations, and any other changes which will not affect the final delivery dates.	
14	It is assumed the GMP Basis Documents issued by the Design Team, were prepared in a manner that put forth reasonable and professional care to comply with all applicable laws, codes (including the latest City, State, or Federal Approved Building Codes), and regulations of various governmental entities having jurisdiction over this project. City, State or other Authorities having Jurisdiction (AHJ) contemplated or pending Code revisions, not indicated in the GMP Basis Documents are excluded from this GMP.	
15	GMP approved June 17, 2021 is based on the design documents included in TAB 04.	
16	All extended Subcontractor and manufacturer warranties shall be "pass-through" warranties from the appropriate party; extended warranties by Gilbane are not included in the GMP.	
17	The Guaranteed Maximum Price (GMP) is not guaranteed by bid package or estimate line item. The GMP is guaranteed by the total amount. It is assumed that the DESIGN TEAM will work as a Collaborative Team within the allocated budgets for the completion of design. This is not intended to be a "line-item" GMP. All items except Owner allowances will reconcile to the CM Contingency.	

CLARIFICATIONS AND ASSUMPTIONS

18	Acceptance of the GMP constitutes acceptance of the Gilbane recommended bidders listed contained within the GMP. The GMP is based on the listed subcontractors' acceptance and execution of a contract to perform the work. Rejection of a bid of a subcontractor listed within the GMP by the Owner will require an adjustment to the GMP value to accommodate the next responsible bidder.	
19	This GMP does not currently incorporate all alternates shown in the Alternate section. Approved alternates will be added or deducted to the GMP as noted in the financial summary	
20	In lieu of paper, electronic document control will be utilized on the project for the processing and turnover of all project documents including but not limited to: submittals, requests for information, punch list, AE field reports, time and material slips, drawings, specification, Operating Manuals etc. Project management Software systems include Procore, BIM 360 Field, Bluebeam, CMIC and Textura.	
21	No retainage shall be held on Gilbane fee, general conditions, or insurance.	
22	If an owner audit is required it shall be performed and completed within 8 weeks of the Certificate of Occupancy.	
23	Excludes Hazardous waste and/or hazardous soil excavation and disposal at the new CDF addition and the New CDF loading dock area. In all cases, it is understood that the Owner shall be deemed as the generator of the hazardous materials. Contractor shall neither take title to or be deemed the generator of the hazardous material or substance at any time during the abatement, removal, transportation or disposal. The Owner or his designated representative will sign all Hazardous Materials disposal manifests for the project.	
24	Excludes costs/fees for environmental permits.	
25	Excludes all cost and schedule impacts resulting from Federal Government proclamations or imposed tariffs enacted after GMP approval.	
26	The GMP is based on the Site Logistics Drawings included Site Logistics section. Any deviations will be a change to the GMP.	
27	The Temporary Certificate of Occupancy (TCO) shall be considered achievement of Substantial Completion. If the TCO cannot be obtained through no fault of the Construction Manager, Substantial Completion shall not be withheld.	
28	This GMP includes achieving enterprise goals of 9% FBE, 20% MBE and 15% SBE on a total project basis. Changes are excluded from the WBE/MBE goals.	
29	The only security provision included in the GMP is the perimeter site fence.	
30	If unit prices are stated in the Agreement or subsequently agreed upon, and if the quantities originally contemplated are so changed in a proposed Change Order or as a result of several Change Orders that application of the agreed unit prices to the quantities of Work proposed will cause substantial inequity to the Owner or the Contractor, the applicable unit prices and Contract Sum shall be equitably adjusted. Additionally, where the price of material, equipment, energy and/or labor increase during the term of the Contract through no fault of the Contractor, including but not limited to the imposition of tariffs or taxes, the Contract Sum shall be equitably adjusted by a Change Order as provided in Article 18. Such price increases shall be documented by vendor quotes, invoices, catalogs, receipts or other documents of commercial use.	
31	Owner Soft Costs and Equipment costs (not shown within the documents) are not included in the Guaranteed Maximum Price.	
32	COVID-19 QUALIFICATION (CORONAVIRUS) - As of the date of this Guaranteed Maximum Price proposal, Gilbane Building Company is unable to assess the impact of the ongoing COVID-19 pandemic and how it may affect the Construction Schedule and Project cost long-term. In light of the wide-ranging and potentially long-lasting effects posed by the COVID-19 pandemic, including, without limitation, disruption of construction supply chains, labor shortages, and governmental actions, Gilbane reserves its right to assess such impact on an ongoing basis and to seek an equitable adjustment in the Guaranteed Maximum Price and an extension of the Contract Time as such adjustments become necessary. This qualification supersedes and takes precedence over all other terms of the Contract Documents, including without limitation Article 13 & 19.	
33	Owner's vendors, contractors, and consultants will be responsible for clean up of their debris and depositing of the debris into their own on site dumpsters.	

CLARIFICATIONS AND ASSUMPTIONS

34	Review time for Submittals will be no longer than 7 days, some critical submittals will need to be addressed within 3 days. Critical submittals will be identified weekly by the Gilbane project team.	
35	All Request for Information (RFI) will be responded to within 72 hours from submission to the Architect.	
36	Unless specified, no samples or product data will be provided for named products, except for color.	
37	Benchmarks will be conducted at the first install of material for conformance to the contract requirements.	
38	Retainage value will be based on a per subcontractor basis. Final retainage shall be released upon 100% completion of an individual Subcontractor's work including punch-list items, and all close-out documentation has been completed and submitted by the Subcontractor, and approved by the Construction Manager, Owner and Architect. Separate requisitions will be submitted by requesting subcontractors.	
39	Professional video recording of Owner Training is excluded, however video recording where required by the specifications and allowed by equipment manufactures.	
40	Professional photography or webcam for construction progress and completion is excluded.	
41	Design Team AutoCAD/ Rev-it files shall be provided to Gilbane and its subcontractors at no cost.	
42	Gilbane will coordinate with Owner's vendors and equipment supplier but do not include the management time for the installation.	
43	Owner to provide LCP diversity tracking software for utilization by Gilbane and the subcontractors.	
44	Assumes the integrity of the existing utilities are adequate for new construction, including new connections and capacities.	
45	Gilbane to utilize existing space in Central Distribution to establish temporary office space.	
46	Per GMP TAB 2 There is an increase in the Central Distribution Facility Preconstruction Stage Total of \$9,752 due to the increase in building square footage. The Woodland and Central Distribution Facility projects officially changed from one renovated facility to two projects. This was CPL Board approved 3/11/2020 after the issuance of the CM services original request for proposal.	
47	No allowance dollars are included for deferred maintenance scope. The only deferred maintenance included is as shown on the drawings.	

CLARIFICATIONS AND ASSUMPTIONS

48	<p>The following will be provided by Cleveland Public Library:</p> <ol style="list-style-type: none"> 1. Building Permit 2. Land acquisition 3. Off-site improvements (Adjacent Roadway Improvements, Traffic Lights, turn lanes, public utility mains) 4. Professional service fees and reimbursables (Architect, Engineering, Consulting, Owner's Representative) 5. Geotechnical Surveys and testing 6. Material testing 7. Regulatory and permit fees 8. Owner required furniture, fixtures, and equipment – including but not limited to loose equipment, furniture, employee workstations, computers, phones, voice/data/security equipment, indoor plantings and artwork. 9. Builder's Risk Insurance 10. Offsite utility infrastructure and connection fees (power, gas, telephone, data...) 11. 3rd Party Commissioning 12. Owner transition Moves 	
49	<p>Power lines on the south and west side of the project are to be removed by Owner in prior to the start of construction.</p>	
Miscellaneous		
1	<p>Builder's Risk Insurance is by Owner. Owner shall provide Builders Risk "All-Risk" Insurance in the amount of the Contract Sum, plus any subsequent Contract Modifications. Such insurance shall include the perils of fire, theft, vandalism, collapse, earthquake, flood, named and un-named windstorm, and cover portions of the Work stored off the site and in transit. If the property insurance requires deductibles, the Contractor shall be responsible as a Cost of Work for costs not covered due to such deductibles, except that Owner shall be solely responsible for any costs not covered due to deductibles arising out of any loss due to flood, earthquake, named and un-named windstorm, hail, volcanic eruption or terrorism. Owner shall provide a copy of the proposed Builders Risk policy for review by Gilbane. If the policy does not adequately protect Gilbane and our subcontractors, Gilbane reserves the right to require additional coverage or purchase a Difference in Conditions policy as a Cost of Work.</p>	
2	<p>All moving, relocation, and final connection to building utilities of existing Owner or user group possessions and equipment are by the Owner.</p>	
3	<p>Excludes any blocking for Fixtures, Furniture and Equipment unless indicated in the documents.</p>	
4	<p>Independent 3rd party testing, inspection and Commissioning costs are provided by the Owner. Overtime/fees/charges for Owner Personnel and 3rd Party Inspectors is not included. Support is provided by the relevant subcontractor with appropriate oversight and coordination by Gilbane.</p>	
5	<p>Payment for the building permit is the responsibility of Owner, the CM will obtain the permit from the City of Cleveland.</p>	
6	<p>Temporary Utility Consumption Costs is by Owner.</p>	
7	<p>Excludes all utility company charges associated with connecting, removing or relocating permanent utilities.</p>	
8	<p>Excludes costs for Temporary elevator use for Owner's vendors. This exclusion only applies if the elevator alternate is accepted by the Owner.</p>	
9	<p>The owner's vendors and consultants must abide by the Gilbane Site Specific Safety Plan</p>	
10	<p>Excludes final keying. All locks to be provided with keyed alike construction cores (except millwork). Final Key cores will be installed by the Owner.</p>	
CM Contingency		

CLARIFICATIONS AND ASSUMPTIONS

1	GMP includes a Construction Manager's Contingency for the Construction Manager's exclusive use to cover those costs considered reimbursable as the Cost of the Work but not included in a Change Order. Refer to Article 13.1.9 of the contract.	
Allowances		
1	Owner Allowance costs are reconciled by Owner Change Order with applicable markups. Fee will not be reduced for Allowances that are under run. The CM will provide a regular accounting of allowance balances.	
Changes in Work (Out of Scope)		
1	Due to the speed of construction and design, select Change Orders will need to be executed on estimated values in order to allow for the payment to Trades for expedited work. These Change Orders will be reconciled upon the acceptance of the final value of the Changes.	
2	CM Fee will not be returned on deduct changes.	
EXCLUSIONS		
1	Removal of existing furniture	
2	Roof replacement of the existing roof	
3	Existing structure and/or existing building foundations supplemental work is excluded.	
4	Addendum No. 2 issued by Bostwick Design Team is excluded except for BP26A - Electrical. BP 26A - Electrical includes Addendum No. 2.	
5	Furniture fixtures and equipment	
6	Glass film	
7	No standalone mockups	
8	No painting of concrete faced panels	
9	Repair to City Streets and existing sidewalks	

LOGISTICS AND SCHEDULE

1	Due to the volatility with the current market, the current project schedule completion date has the potential to be impacted until all contractors are under contract and material procured. Once all contractors are under contract, the project schedule will be reevaluated for impacts due to the volatile market. Contractors will hold their pricing until July 31, 2021.	
2	Refer to Tab 11 for the site utilization plan	
3	The GMP is based on the Master Plan/GMP Schedule, data date, June 01, 2021 with a run date of June 08, 2021 18:37. The schedule is included in Tab 10. The Owner has accepted the Gilbane deduct alternate. with a substantial completion date of 06/23/2022.	
4	The schedule is based on the following assumptions: - Utilization of existing power, heat and water including the use of permanent fixtures once installed. - We have allowed 30 days prior to substantial completion for Owner vendor and FF&E startup and installation. - Gilbane as well as all of its subcontractors and vendors having complete unrestricted access and use of the site and applicable local and state permits in place to commence - Use of all public roads including Woodland Avenue, East 61st Street, Griswold Avenue and Kinsman Road for construction activities and access to the site. - Gilbane is allowed to work 7 days per week and 24 hours a day as needed without restrictions. It is the obligation of the Owner to provide relief from any restrictions. - It is anticipated a fully executed Building Permit will be received on July 1, 2021.	

TRADE SPECIFIC

Selective Demolition

1	Demolition contractor owns all salvage materials, unless specifically called for in the contract documents.	
2	Items designated for salvaged by Owner will be moved one time to an designated location.	

CLARIFICATIONS AND ASSUMPTIONS

3	Hazardous waste remediation is limited to the scope provided in the Owner's Hazardous Waste Material Report.	
4	Excludes treatment for hazardous or contaminated water from dewatering activities.	
5	Excludes cleaning of existing drainage, structures or utilities.	
6	Includes the removal of 2,500 bulbs and 1,250 ballast.	
7	Removal of one (1) layer of flooring is assumed.	
8	Removal of one (1) layer of ceiling is assumed.	
9	Will salvage lighting for the owner prior to ceiling demo.	

Sitework / Earthwork / Earth Retention / Site Improvements

1	Included with Woodland Library Branch	
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Foundations

1		
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Concrete & Masonry

1	Excludes Winter conditions for concrete work as it is not anticipated per the current project schedule.	
2	Under slab waterproofing has been excluded as it is not shown within the documents.	
3	Curing of concrete shall be with a curing compound. Wet cure is excluded.	
4	FF/FL testing will be performed by the Owners Testing Agency.	
5	Concrete honing, grinding, burnishing, and polishing are excluded. It may be purchased from the concrete contractor as a change order when final floor finishes are chosen. Shrinkage and random cracking of slabs are to be expected as an inherent part of concrete construction. Special treatment of concrete slab cracks is excluded.	
6	Interior I-Beams are not Infilled. Will remain exposed.	
7	Masonry Infill above the new storefront system at garage doors is excluded as there is no new steel lintels being installed in order to support the new phenolic panels. Panels are being attached to the existing masonry. Refer to 6/A1-401, 5/A1-601 and 5/A1-801	
8	No painting of concrete faced panels has been included.	

Structural Steel and Miscellaneous Metals

1	Connection design is delegated to the contractor per the construction documents. This includes clip angles, shear tabs, bolts, and welds. Stiffeners, web doublers, and the like are excluded unless shown on the drawings.	
2	Spray on Fireproofing is excluded.	
3	One coat of shop primer is included for steel	
4	Intumescent paint has been excluded as it is not included in the documents.	

Carpentry and Millwork

1		
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Waterproofing, Roofing, Insulation, and Metal Panels

1	Re-roofing of the existing roof is EXCLUDED.	
2	Use of Manufacturer's standard details supersedes the Contract Documents to maintain warranty.	
3	Tapered insulation will be provided where specifically shown on the drawing. The remainder of roofs have sloped steel that will provide the necessary slope for the roof with no tapered insulation (minimum thicknesses of insulation as specified with crickets as needed will be provided).	
4	GMP includes prefabrication of building components. In some circumstances (such as panelized wall systems) additional engineering and verification by the engineer of record will be required. The additional engineering cost from the engineer of record (if any) is excluded. All engineering associated with prefabrication of components is included and will be done by the individual suppliers of such components.	
5	Basic roofing cleaning is included at the completion of the project. This is for the addition only.	
6	Only one (1) roof curb is included at the existing roof as shown on the documents	

CLARIFICATIONS AND ASSUMPTIONS

Glass and Glazing

1	Interior storefront doors has a 10" bottom rail and Infinium Standard Stiles. Color finish bronze.	
2	Existing windows are not to be removed per the abatement report. ACM caulk is to be removed at the existing windows and new caulk installed.	

Finishes

1	Minor floor prep is included. All major floor preparation prior to flooring is excluded. A \$5,000 allowance was included for floor prep beyond minor floor prep. Anything beyond the \$5,000 allowance will be a change order.	
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Accessories

1	Pass through window, bins, mailbox unit and projector is excluded as these were removed from the project.	
2	Library equipment (i.e. book return, aluminum carts) are excluded	
3	Baby changing station only included in restroom 109	

Special Equipment

1		
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Casework and Residential Items

1	Roller shades are included as a single manual shades.	
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Conveying

1	All work associated with the elevator has been excluded in its entirety (i.e. elevator, concrete, masonry, etc.)	
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Fire Protection

1	Fire Pump is excluded	
2	Seismic bracing is excluded	

Plumbing

1	Type L (not K) copper is included.	
2	Gas piping from existing line to the gas meter is provided by others (utility company).	
3	A sump pump for the elevator pit will be provided if the elevator alternate is accepted.	

HVAC

1	Type L (not K) copper is included.	
2	Roof curbs and equipment attachment's and tie downs are as per local codes and practices	
3	Excludes duct cleaning.	
4	Temporary heat will be provided in the winter 2021-2022 thru the new heating equipment within the building. All warranties will be extended so they start at Substantial Completion.	
5	All commissioning activities are to be performed by the Owner and their 3rd party Commissioning Agent. Excluded from the GMP are any and all travel expenses and/or remobilizations required for the Commissioning Agent. The Substantial Completion Date is based on the Commissioning Agent's ability to perform their work in accordance with the Project Schedule.	
6	Air Handler Unit No. 3 has been excluded.	

Electrical

1	All primary cabling, pad-mounted transformers are provided by the Utility Company and paid for by the Owner.	
2	Excludes power feeds for all signage	
3	Excludes lightning protection or grounding unless specified and designed.	

CLARIFICATIONS AND ASSUMPTIONS

4	Lighting Controls systems are designed and coordinated by the Designer of Record. Any additional cost associated with cross system device integration will be reconciled through Contract Change Order.	
5	Excludes electrical load bank testing.	
6	Air Handler Unit No. 3 has been excluded.	
7	Alternate No. 3 (Power to Snow Melt) - Alternate not quoted due to lack of electrical information.	
8	Alternate No. 4 (Power to Motorized Shades) - Alternate not quoted due to lack of electrical information.	
9	Alternate No. 5 (Power Modification Due to Change from Standard Radiation System to Runtal Radiation System) - Alternate not quoted due to lack of electrical information .	
Low Voltage		
1	End devices are being furnished by the Cleveland Public Library and installed by contractor	
2	Scanning of existing floor slabs prior to cutting the floor is excluded.	
3	Excludes any additional structural steel support required for A/V, Tel/Data or Security penetrations through concrete slabs.	
4	Integration of Owner supplied systems (security, AV, Tel/data) to the fire alarm is excluded.	



TAB 06 Fixed Rate Schedule

FIXED RATE SHEET

Contract Approved Labor Fixed Billing Rates

Position	Name	Fixed Billing Rate
Senior Project Executive	Ed Valentine	\$172.85
Project Manager	Marcellus Byrd	\$123.00
Project Engineer	Leo Torres	\$66.00
Superintendent	Varies	\$80.00
Intern	TBD	\$45.00
Preconstruction Executive	Ed Valentine	\$93.00
Chief Estimator	Jeff Long	\$128.00
Chief Estimator - MEPFP	Alice Dean	\$128.00
Purchasing Manager	Travis Okel	\$107.00
Scheduler	Jason Ohlson	\$77.00
Safety Manager	Bill Crossley	\$92.00
Controller	Michael Bishop	\$113.00
Project Accountant	TBD	\$52.29

Site Services Labor at the following fixed rates* **:

Trade Classification	2020 Fixed Billing Rate (\$) * (4% Annual Adjustment For Inflation January 1, 2021, 2022, 2023 Allowed by Agreement)
Carpenter, Foreman	Regular Time \$, Premium Time \$, Double Time \$ 117.63/\$152.43/\$199.13

* Trade Rates include small tools with a market replacement value up to \$500, rates do not include consumables.

** Gilbane Building Company hereby discloses to the Owner the use of G.O. Services, a related-entity, for the performance of Trade Labor and Small Tools, Equipment, Consumables, Work Items – Dumpsters, Toilets, Trailers, Fencing, etc.) in connection with the Project.



TAB 07 Allowances

ALLOWANCES

No.	Description			Value
Owner Allowances				
1	Utility Consumption - By Owner			By Owner
2	Mechanical Roof screenwall			\$30,000
3	Addendum No. 2 (Bostwick Design Partnership/Ubiquitous)			\$143,000
4	Repair Existing Roof Penetrations and Undefined Roofing Scope			\$15,000
			Total	\$188,000
Owner Allowance Included in Bid Packages				
1	BP27A - Miscellaneous Technology System Work			\$10,000
2	BP01B - Final cleaning			\$21,000
3	BP01C - Surveying			\$8,000
4	BP10A - Signage			\$29,000
5	BP04A Additional Tuckpointing & Misc. Masonry			\$15,000
6	BP06A Built-in Shelving			\$5,000
7	Three (3) chandeliers at Main Lobby			Excluded
8	Unforeseen Abatement			\$25,000
9	Additional Selective Demolition			\$10,000
10	Additional Architectural Patch Work			\$15,000
			Total	\$138,000



TAB 08 Alternates

ALTERNATES

No.	Description	Add / Deduct	Value	Accept / Reject / Hold	Last Date of Acceptance	Date of Acceptance
1	BP02A - Demolition for Elevator	Add	\$12,000		06/30/21	
2	BP03A - Concrete for Elevator Pit Slab	Add	\$30,000		06/30/21	
3	BP04A - Masonry work for Elevator	Add	\$28,000		06/30/21	
4	BP05A - Deck angle supports, elevator hoist beam, roof decking at elevator shaft	Add	\$5,000		06/30/21	
5	BP06A - Motorized Roller Window Shades	Add	\$8,500		06/30/21	
6	BP06A - Remove Perimeter Benches	Deduct	(\$9,500)		06/30/21	
7	BP07A - Modify and Re-Roof at New Elevator Shaft	Add	\$9,000		06/30/21	
8	BP09B - Sealant at all elevator frames	Add	\$650		06/30/21	
9	BP09C - Elevator Flooring & Base	Add	\$1,700		06/30/21	
10	BP14A - 2-Stop Elevator	Add	\$84,000		06/30/21	
11	BP21A - Sprinkler Head in Elevator Shaft	Add	\$1,600		06/30/21	
12	BP22A - Sump Pit at Elevator	Add	\$2,500		06/30/21	
13	BP23A - HVAC Serving Automated Material Handling Room - AHU 3	Add	\$4,000		06/30/21	
14	BP26A - Provide Power for HVAC AHU3	N/A	Not quoted			
15	BP26A - Elevator Temporary Power	Add	\$8,000		06/30/21	
16	In lieu of Legacy Electric, contract with Lakeland Electric (Excludes Addendum Nos. 1 & 2)	Add	\$66,000	Rejected	06/30/21	06/14/21
17	Convert CM General Conditions and Staff on all Projects to Lump Sum (\$1,000 per job)	Deduct	(\$1,000)	Rejected	06/30/21	06/14/21
18	The Gilbane Building Company GMP Staffing is based on the Master Plan/GMP schedule. Gilbane offers a proposed deductive alternate to CM Services and revised adjusted schedule that may be implemented. Refer to Schedule Section TAB 10.	Deduct	(\$49,342)	Accepted	06/30/21	06/14/21
			Total Accepted	(\$49,342)		
Alternate values as presented do not include Gilbane Mark-ups						



TAB 09 Unit Cost



UNIT PRICES

No.	Description	Quantity	Unit	Unit Price	Last Date of Acceptance
1	Exterior WAP Rough-in (WAP device provided by Owner for Contractor Install)		EA	\$500	06/30/21
2	Rough-in Requirements for Technology Faceplate		EA	\$300	06/30/21



TAB 10 Project Schedule



PROJECT SCHEDULE- GMP DATES

Masterplan /GMP Schedule with a data date June 1, 2021			
	Project released in May 2021 Board		
	Demolition and Abatement		
	Technology		
	Structural steel for CDF		
	GMP Approval Date for the balance of the subcontracts	6/17/2021	
	Construction Start	6/21/2021	(Gilbane Alternate)
	Substantial Completion Date	6/23/2022	(Gilbane Alternate)
	In accordance with the contract agreement Article 19.1.7, the Owner and Gilbane agree that time is of the essence in the completion of the work. Should the CM be liable for liquidated damages in accordance with the contract agreement they may be implemented after:	8/3/2022	

The Cleveland Public Library Phase 1 A projects Construction Management at Risk Services

6/8/2021

Request for proposal and Schematic Design Schedule	2020	2021	2022	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;">CM Services (Staffing and Gen. Conditions)</div> \$ 345,395
	F M A M J J A S O N D J F M A M J J A S O N D J F M A M J J A S O N D			
Library Branch				
Central Distribution Facility				
	Construction Start 3/22/2021 Construction Completion 5/31/2022			

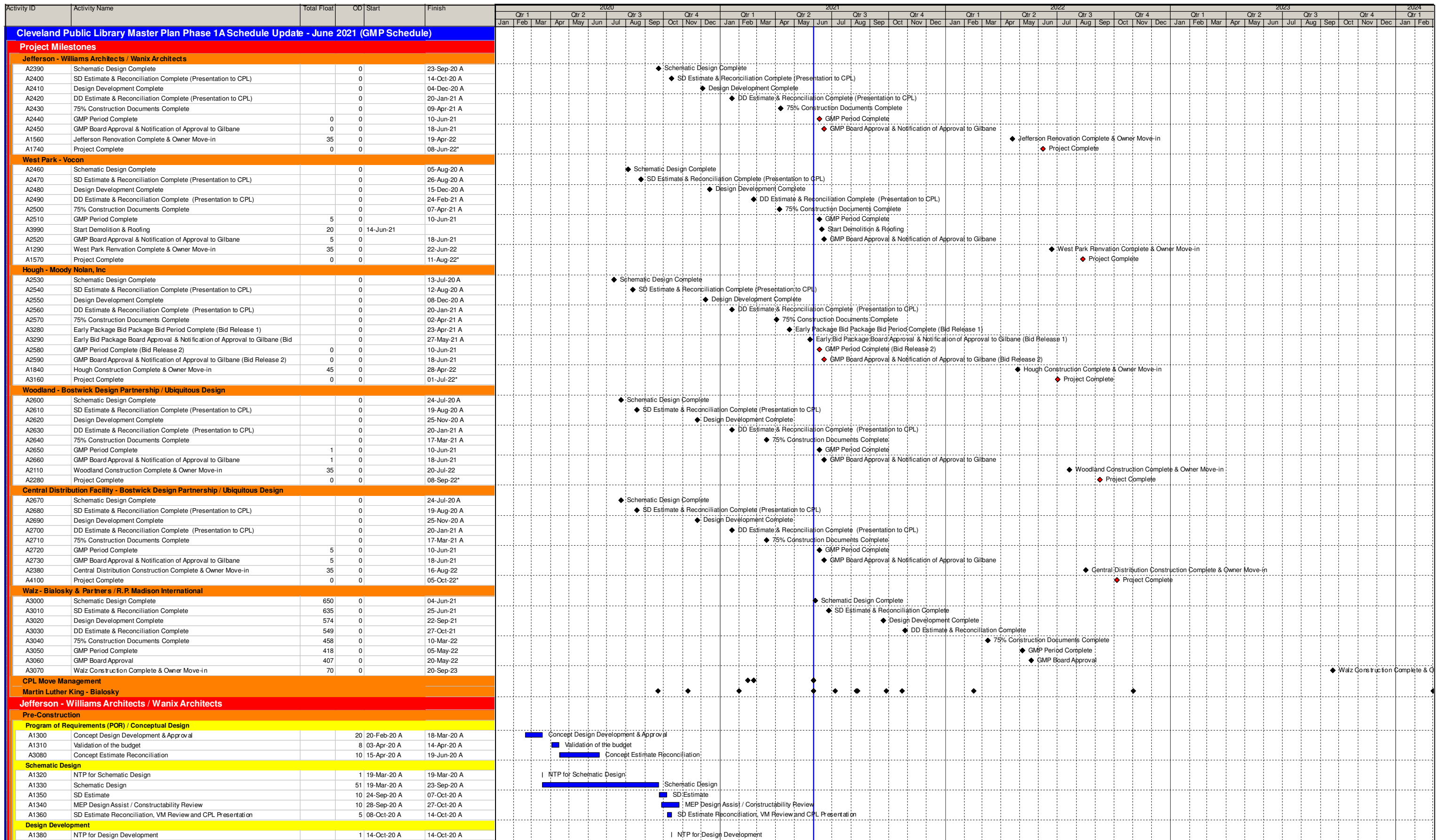
Request for proposal and Schematic Design Schedule

GMP Schedule 2021 June	2020	2021	2022	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;">CM Services (Staffing and Gen. Conditions)</div> \$ 362,500
	F M A M J J A S O N D J F M A M J J A S O N D J F M A M J J A S O N D			
Central Distribution Facility				
	Construction Start 7/13/2021 Construction Completion 8/2/2022			

GMP Schedule June 2021

Gilbane Proposed Alternate based on the Bid Schedule	2020	2021	2022	<div style="border: 1px solid black; padding: 5px; width: fit-content; margin: 0 auto;">CM Services (Staffing and Gen. Conditions)</div> <div style="background-color: yellow; padding: 2px; margin: 2px 0;">Credit for Accel. Schedule</div> \$ (49,342) CPL Budget 2/25/21 (DD Final) \$ 313,158 \$ 313,158
	F M A M J J A S O N D J F M A M J J A S O N D J F M A M J J A S O N D			
Central Distribution Facility				
	Bid Package Schedule x Staffing Start	Construction Start 6/17/2021 Construction Completion 6/23/2022		

Gilbane Proposed Deductive Alternate based on the Bid Schedule

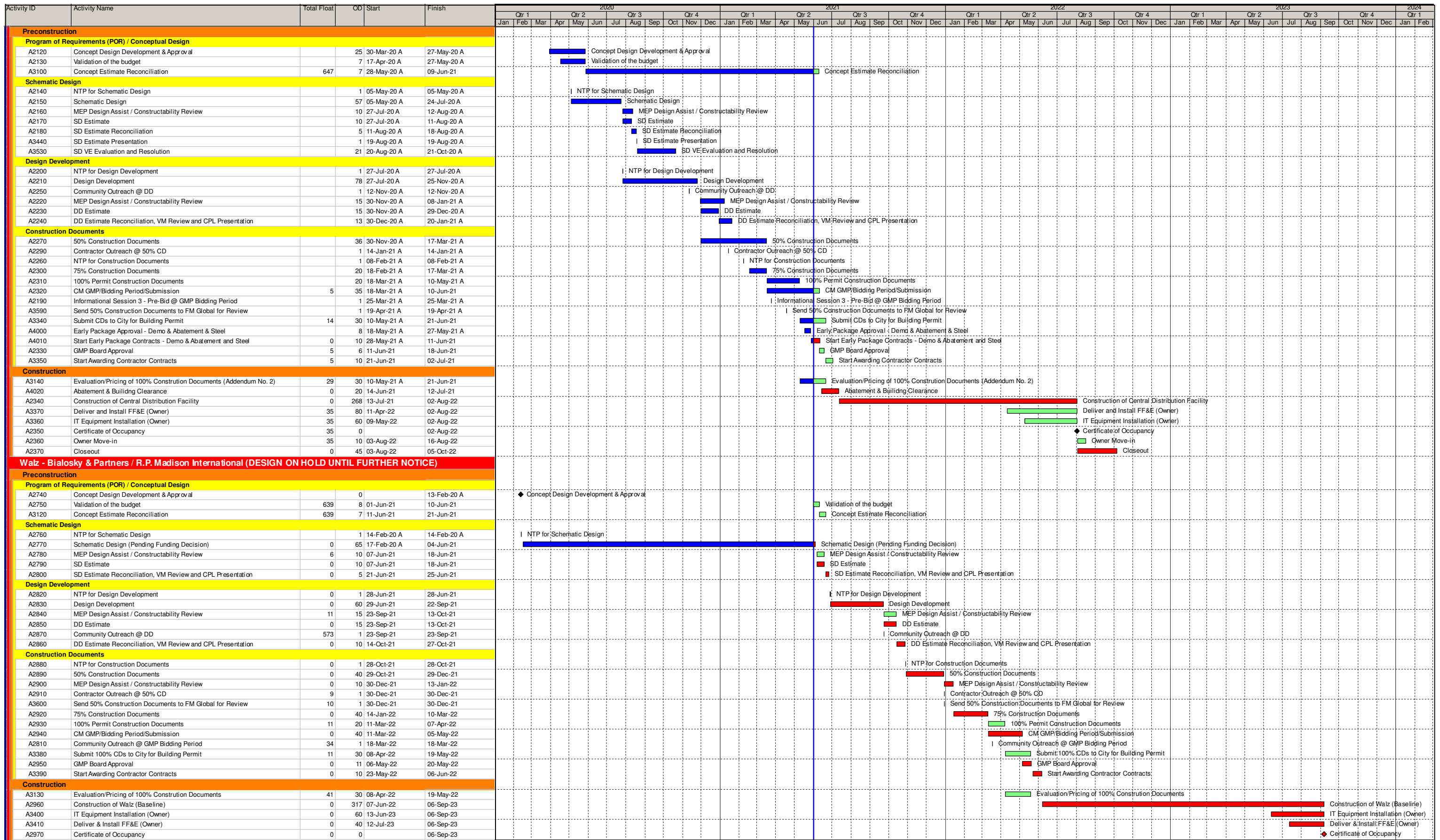


Start Date: 01-Jan-20
 Finish Date: 01-Mar-24
 Data Date: 01-Jun-21
 Run Date: 08-Jun-21 18:37

- Remaining Level of Effort
- Actual Level of Effort
- Actual Work
- Remaining Work
- Critical Remaining Work
- Summary Milestones
- Critical Milestones
- Milestone

Cleveland Public Library Master Plan Phase 1A Schedule Update - June 2021 (GMP Schedule)





Start Date: 01-Jan-20
 Finish Date: 01-Mar-24
 Data Date: 01-Jun-21
 Run Date: 08-Jun-21 18:37

- Remaining Level of Effort
- Actual Level of Effort
- Actual Work
- Remaining Work
- Critical Remaining Work
- Summary Milestones
- ◆ Critical Milestones
- ◆ Milestone

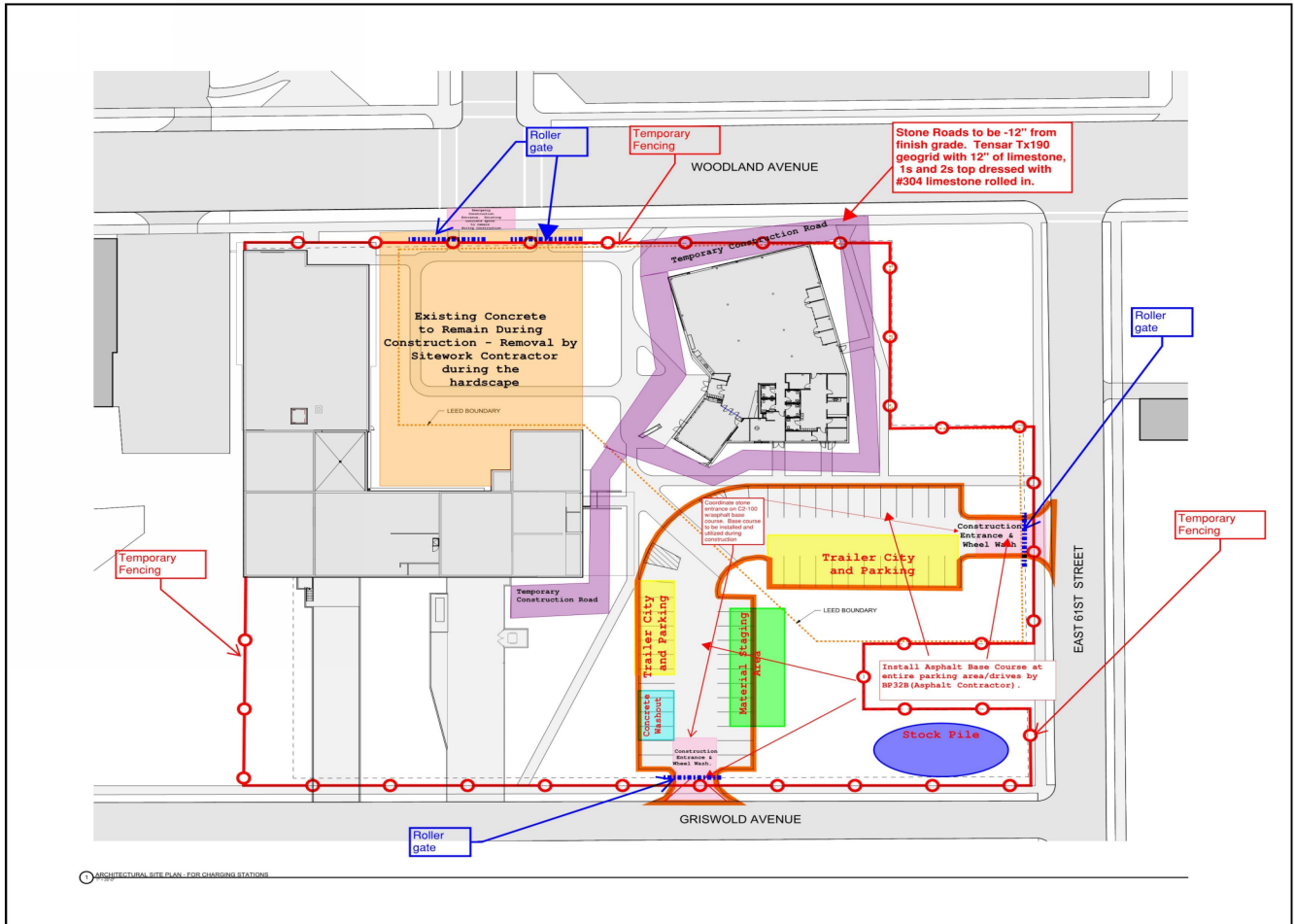
Cleveland Public Library Master Plan Phase 1A Schedule Update - June 2021 (GMP Schedule)





TAB 11 Site Logistics

SITE LOGISTICS





TAB 12 Site Specific Safety Plan (Cover Page Only)

Safety plan can be provided upon request



PROJECT SAFETY PLAN

J08839.000 - Cleveland Public Library

Cleveland, OH

02/16/2021

The safety rules and regulations contained herein are NOT all inclusive. All United States Department of Labor, Occupational Safety and Health Administration (OSHA) and other legal standards not specifically referenced in these rules, regulations, and policies shall apply when appropriate. In cases of conflict, the most stringent rule shall apply.

TAB 13 Cost Variances from Design Development Documents as Compared to Construction Documents

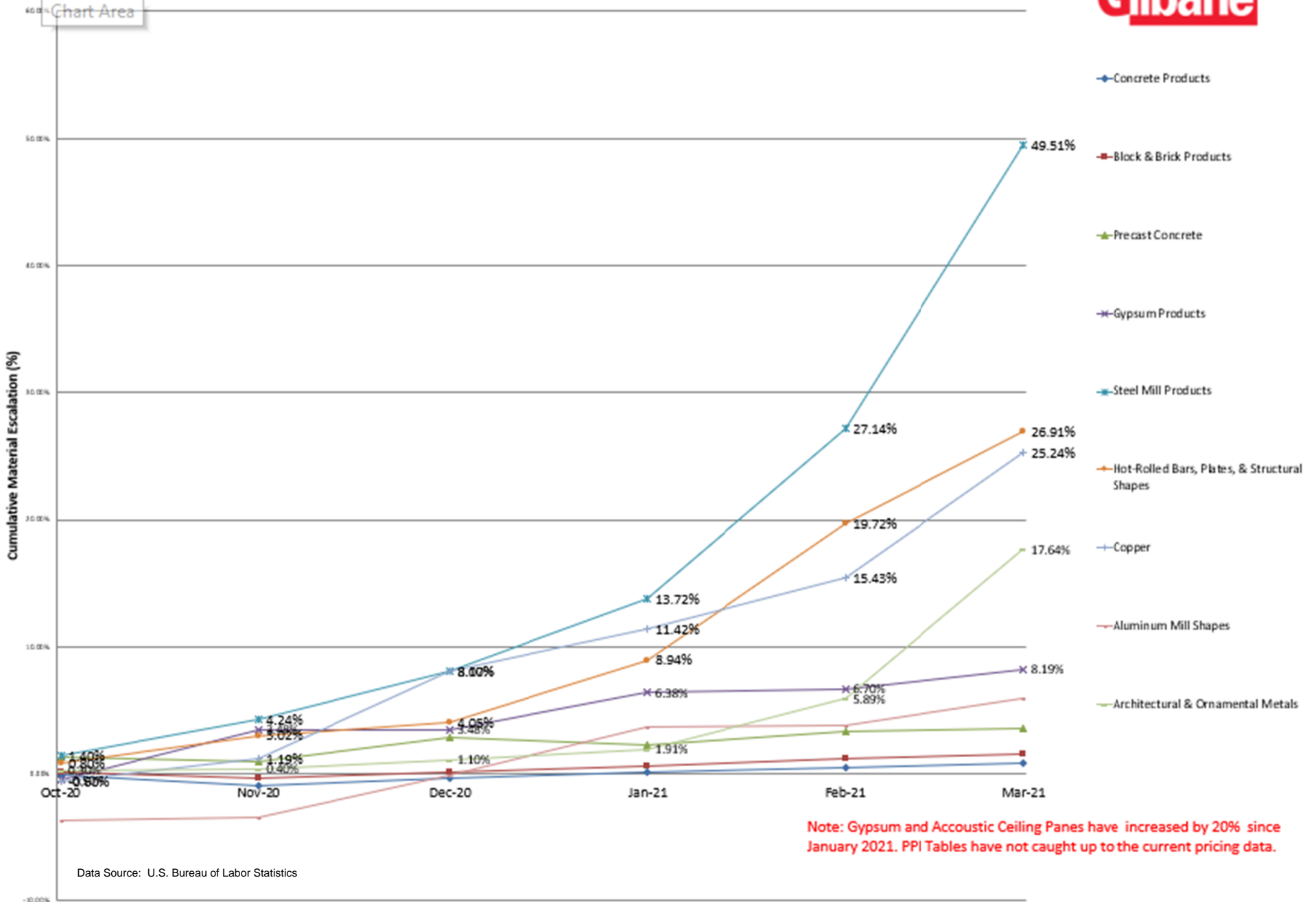
Value Engineering Options



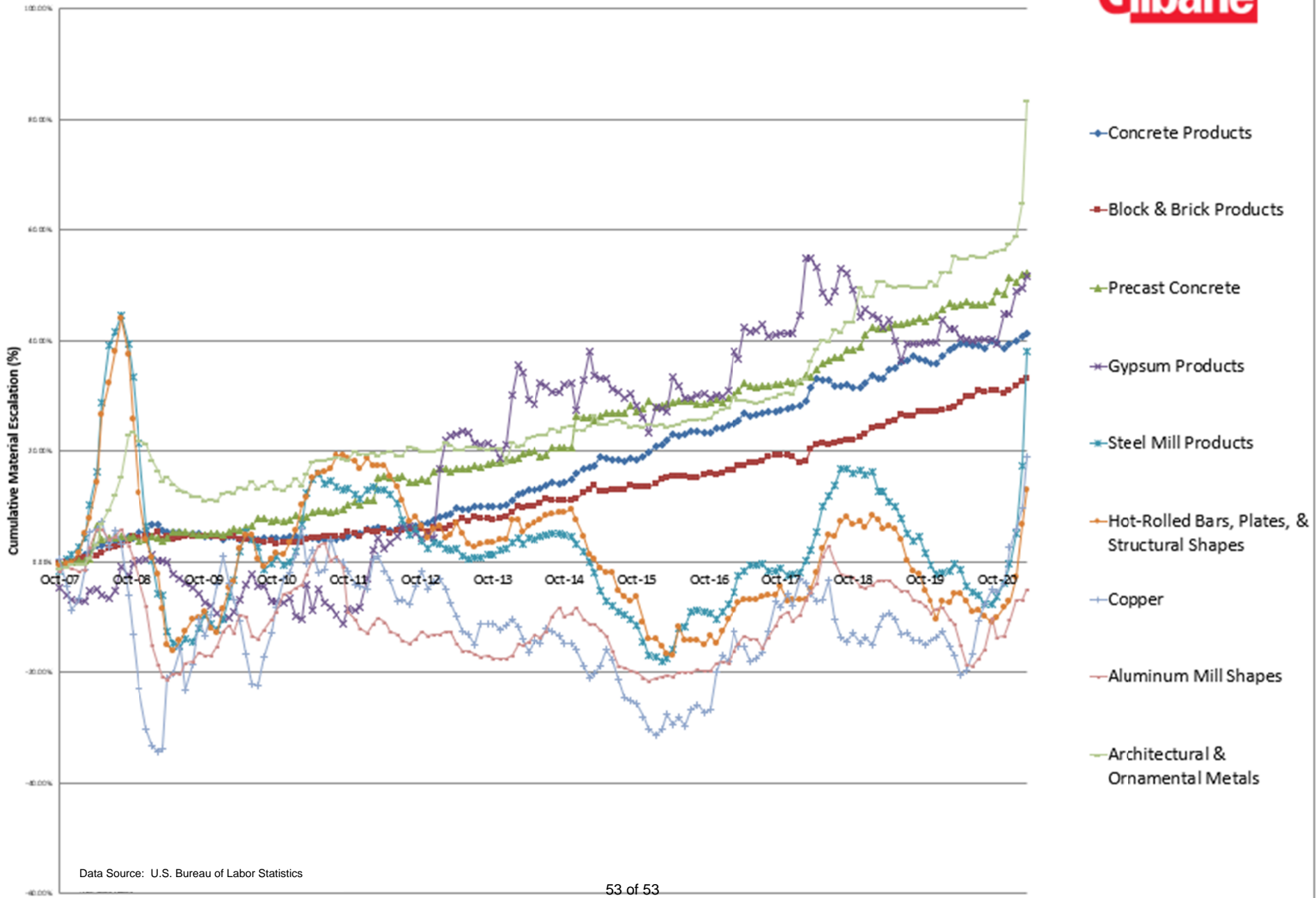
Comparison of the Design Development Estimates and Scope Adjustment to the Construction Documents

1	Interior Specialty Doors - Doors we not previously shown	\$9,500	
2	Rooftop Screen Walls	TBD	
3	Roofing Changes - Parapet Coping, Penetrations, Flashing Etc.	\$7,100	
4	Increased Interior Partitions	\$7,100	
5	Exterior Wall - Phenolic Wall Panels on Existing Brick Veneer - Excavation, Stone, Gravel Strips, Panels, Insulation AVB - North Façade	\$34,400	
6	Exterior Wall - Storefront Changes	TBD	
7	Masonry Restoration/Cleaning - Added Additional Scope	TBD	
8	Loading Dock Area - Raised Loading Dock Area	\$43,762	
9	Compactor - Security Fence & Brick Veneer	\$28,200	
10	Dumpster Enclosure	\$33,400	
	Subtotal	\$163,462	
Potential Value Engineering Items			
1	Remove new loading dock	(\$97,900)	
2	Remove compactor masonry and replace with chain-link fence	(\$10,600)	
3	Remove added dumpster enclosure	(\$33,000)	
4	Remove Phenolic Panels & Clean Existing Brick - North Elevation	(\$8,500)	
5	Remove replacing aluminum soffits at existing canopy	(\$13,400)	
6	Remove east side canopy	(\$3,000)	
7	Office- Substitute Doors w/lite ILO Storefront	(\$7,000)	
8	Eliminate 2 RR's- Only 1 Eliminated	(\$8,000)	
9	BAS Controls Savings	(\$8,728)	
10	Reduce Fin Tube	(\$60,000)	
11	Flex Heads ILO Standard heads	(\$7,300)	
12	E-Rate Technology Savings (80% of Construction Cost)	(\$55,712)	
	Subtotal	(\$313,140)	

Materials Market Data (Recent Six Months)



Materials Market Data (Monthly 2007 through March 2021)



Data Source: U.S. Bureau of Labor Statistics