

A faint, light gray background map of a city street grid, showing a dense network of streets and some larger open spaces or parks.

Facilities Master Plan

2019–2029

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Acknowledgements

Cleveland Public Library would like to thank everyone who contributed to the Facilities Master Plan. A special thank you to those who participated in the focus groups and community meetings. We appreciate your interest in the Cleveland Public Library and look forward to continuing to serve our community. An additional thank you to the staff of the Cleveland Public Library, who provided important information about the library and the community.

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Community Engagement

Regency Construction Services

Cost Estimating

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Roof Assessment



Executive Summary

Today, it is not uncommon to hear, “why is the public library still necessary in the digital age?” and “what is the public library of the future?”. The answers to these questions are increasingly broad and complex, reflective of our dynamic society. Libraries worldwide have adapted in order to respond to the evolving needs of the communities they serve. Most Americans still view public libraries as important institutions that provide critical resources, but what patrons expect from their local library has expanded dramatically. As the role of the library shifts, the buildings must transform to support it.

THE CONSTANTLY EVOLVING LIBRARY One of the most important resources a public library can offer is the space itself. They are places of learning, and so much more. Libraries can be lecture halls, play rooms, cinemas, galleries, work spaces, research centers and maker spaces. Today’s library embeds social interaction- as a neighborhood’s living room that is open and welcoming to all. Uniquely positioned to maintain a support structure where they are needed most, libraries serve as community-builders in low income areas. Through educational programming and strategic partnerships, libraries seek to level opportunity and aid in upward mobility and stability. As long as the public’s needs drive their development, public libraries will remain critical centers in the communities they serve.

CURRENT STATE While the Cleveland Public Library has a significant regional influence, its focus remains on the Cleveland communities it has served for 150 years. Comprised of 27 unique branches and the downtown main campus, Cleveland Public Library operates as one networked system serving diverse communities across the city.

Nearly all the branch buildings date to a different time and mode of service with the last major building effort occurring in the late seventies. Its buildings are rich in historic character, including six Carnegie branches, but only

three new buildings or substantial renovations have been implemented in the last thirty years. There is a clear need for system-wide

WHAT IS A MASTER PLAN? The goal of the Facilities Master Plan is to reimagine the current library facilities to meet changing service trends and community needs with an eye towards the future.

In June of 2018, Cleveland Public Library selected a team lead by Bialosky Cleveland to create such a plan.

The plan considers options for the renovation, expansion, consolidation, or relocation of all the Library’s buildings over the next decade in order to meet long-term goals.

The recommendations made are based on a combination of community feedback and the analysis of the state of existing facilities, their current usage and how they support the Library’s plans for the future.

This Master Plan is not a detailed implementation plan for individual buildings, but a guide for the future development of Cleveland Public Library. The specific branch recommendations and concept designs introduced later in this document are not final building designs, but outlines for how the Library may choose to move forward as the plan is realized over the next ten years.

FUTURE VISION Cleveland Public Library has made a commitment to the city that, while re-imagining its buildings and service, it will strive to maintain its dense, accessible network. The future core library model will be designed to function in a relatively small footprint, relying on flexible, adaptable space to deliver a consistently high level of service. This will allow the library to preserve its comprehensive coverage while

strategically selecting branches to provide a broader scope of service and support areas that extend beyond their immediate communities.

Organized around a deliberately planned mix of branch types, the Master Plan builds on the resilience of the library's existing system. With all the branches growing from a consistent baseline in the Neighborhood Branch model, a visitor to any location of Cleveland Public Library will be greeted by the same people-centric spaces.

Informed by the Library's Strategic Priorities these branch models were the foundation of decisions made in the recommendations for all the buildings in the system.

DESIGN PRINCIPLES Driven by design principles that embrace the importance of community and the vision of the "People's University", the Library's facilities are envisioned as dynamic spaces organized around public gathering areas that promote engagement and interaction. The Library's commitment to remain responsive to evolving needs of the community requires buildings that are open and flexible with reduced barriers between patrons and resources for lifelong learning. The openness carries through to the exterior of buildings. A degree of transparency reveals the resources and activity within while maintaining a visible connection out to the community.

Grounded in the Library's priorities, these principles provide a framework for future building concepts. The principles are adequately flexible to allow the Library to adapt them as they refine their new service model and employ information harvested from community feedback and their own experience.

IMPLEMENTATION The recommendations put forth in this document establish a bold vision for how Cleveland Public Library can reimagine its spaces for the future. In order for these ambitions to be achievable there must be a defined and realistic path forward. Therefore, an implementation plan has been created that estimates probable costs, identifies priorities, and schedules implementation.

This implementation plan provides the tools needed to execute the broad scope of work effectively and in a defined timeframe. The master plan is structured such that all the facility improvements are to be completed within ten years while limiting gaps in service and being equitable about how and when projects are implemented. The cost of construction must allow the Library to work within a responsible budget and secure the funding to address the plan in its entirety. In addressing these practical concerns, the Master Plan becomes more than a wish list; it is an actionable strategy for future growth.

A BOLD PATH FORWARD As Cleveland Public Library looks back upon its 150-year history, this Facilities Master Plan provides a view of the bright future ahead. Though firmly rooted in the Library's current vision, this document should be viewed with the same flexibility recommended for its buildings. As the system dramatically reimagines and rebuilds its physical space over the next decade it will continually adapt, shifting its course to support the public's evolving needs.

Message From the Director

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CPL provided photo

About the Library

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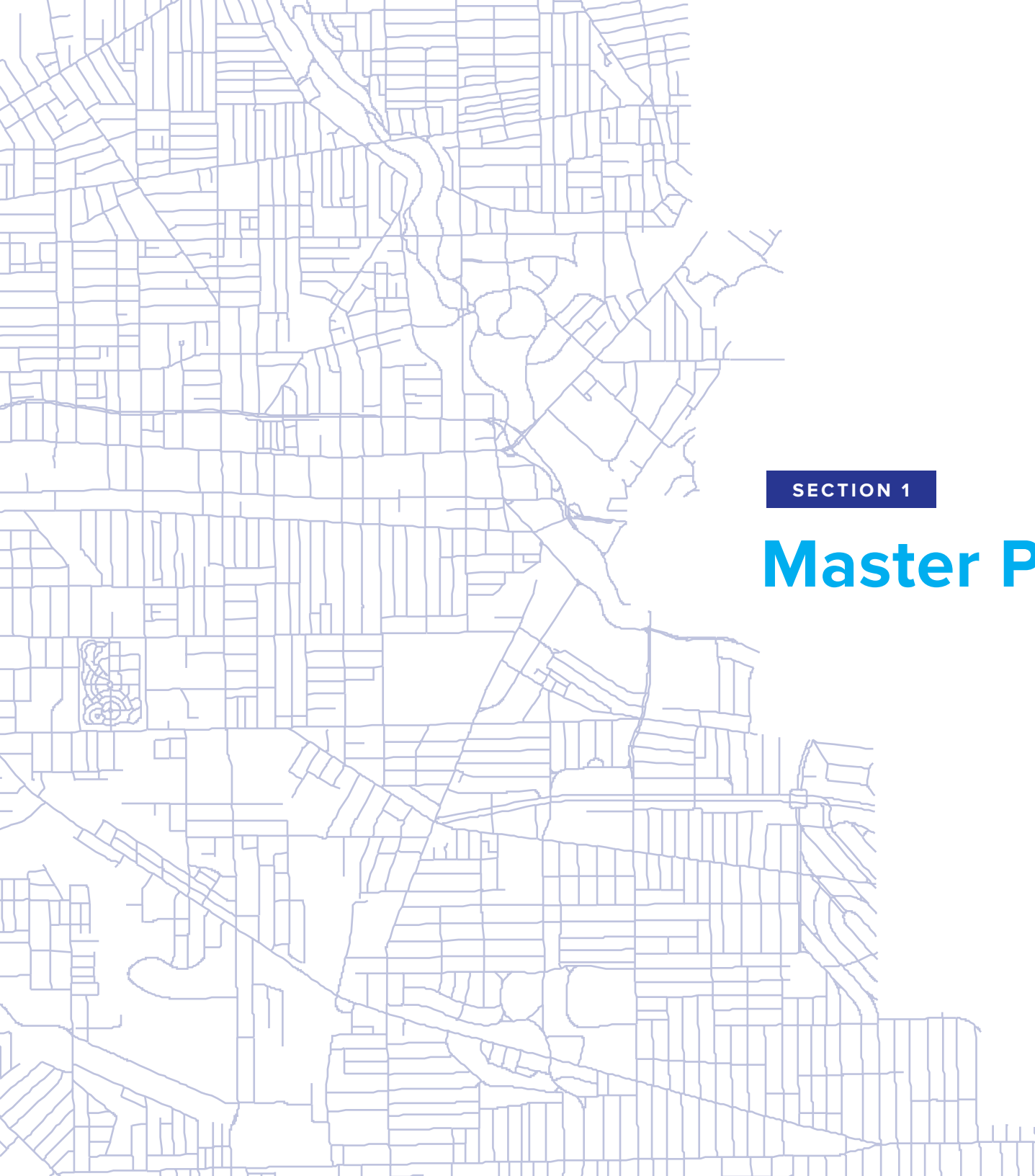
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**Tell me and I forget.
Teach me and I remember.
Involve me and I learn.**

—Benjamin Franklin

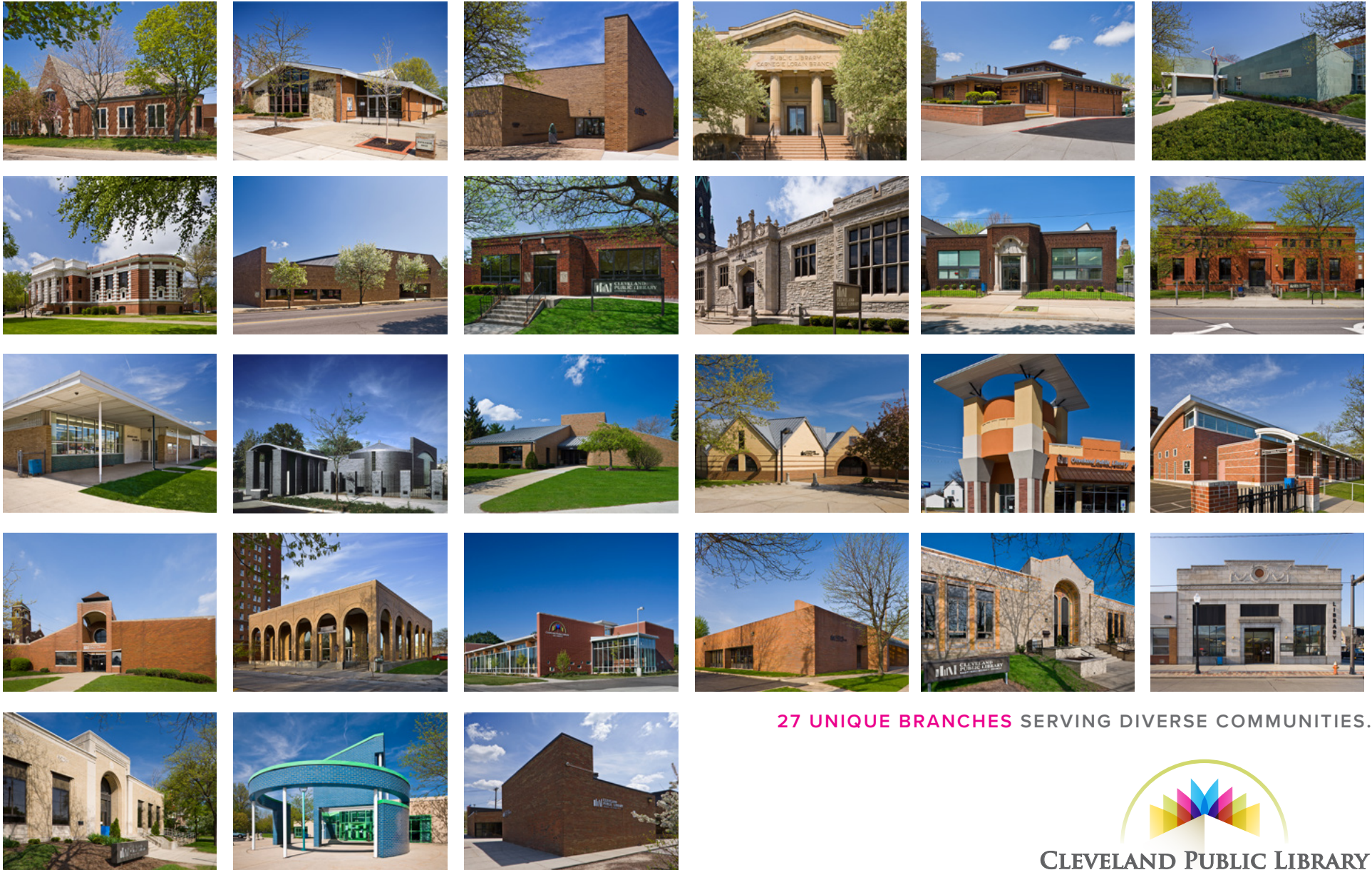


SECTION 1

Master Plan Process

CLEVELAND PUBLIC LIBRARY

DRAFT FOR CPL REVIEW 3/18/2019



27 UNIQUE BRANCHES SERVING DIVERSE COMMUNITIES.



What is a Master Plan?

A master plan is a comprehensive, long-term planning document that defines a strategy to guide future growth and development. The information and concepts presented in a masterplan are intended to provide a framework to focus decisions on the development of individual facilities so that they are working toward a common goal. Master Plans are informed by community input, service initiatives, local development, existing facility characteristics, and social and environmental impacts. They ultimately identify a holistic approach to system-wide change.

MASTER PLAN GOALS

The goal of the Cleveland Public Library Facilities Master Plan is to reimagine the current library facilities to meet changing service trends and community needs with an eye towards the future. The plan considers options for the renovation, expansion, consolidation, or relocation of all the Library's buildings over the next decade in order to meet long-term goals. The recommendations made are based on a combination of community feedback and the analysis of the state of existing facilities, their current usage and how they support the library's plans for the future.

This Master Plan is not a detailed implementation plan for individual buildings, but provides a guide for the future development of the Cleveland Public Library. The specific branch recommendations and concept designs introduced later in this document are not final building designs, but outlines for how the Library may choose to move forward as the plan is realized over the next ten years.

We hope that recipients of this report will use it as the foundation for exploring how a bold future vision of the Cleveland Public Library can empower diverse, inclusive communities and inspire Clevelanders to continually seek out knowledge and become lifelong learners.

MASTER PLAN SERVICES PROVIDED IN THIS DOCUMENT INCLUDE:

- Review and analysis of Demographic Data
- Community Stakeholder Outreach & Engagement
- Detailed Facility Assessments of Existing Buildings
- Estimation of Deferred Maintenance Costs
- Development of a Comprehensive Building Standards Manual
- Evaluation of Building Renovation, Expansion or Relocation
- Recommendations for New Branch Locations
- Parcel Valuations for Site Acquisitions
- Development of Space Planning Concepts
- Development of Design Principles
- Recommendations for Future Vision of System and Branches
- Cost Estimate of Implementation
- Schedule of Implementation

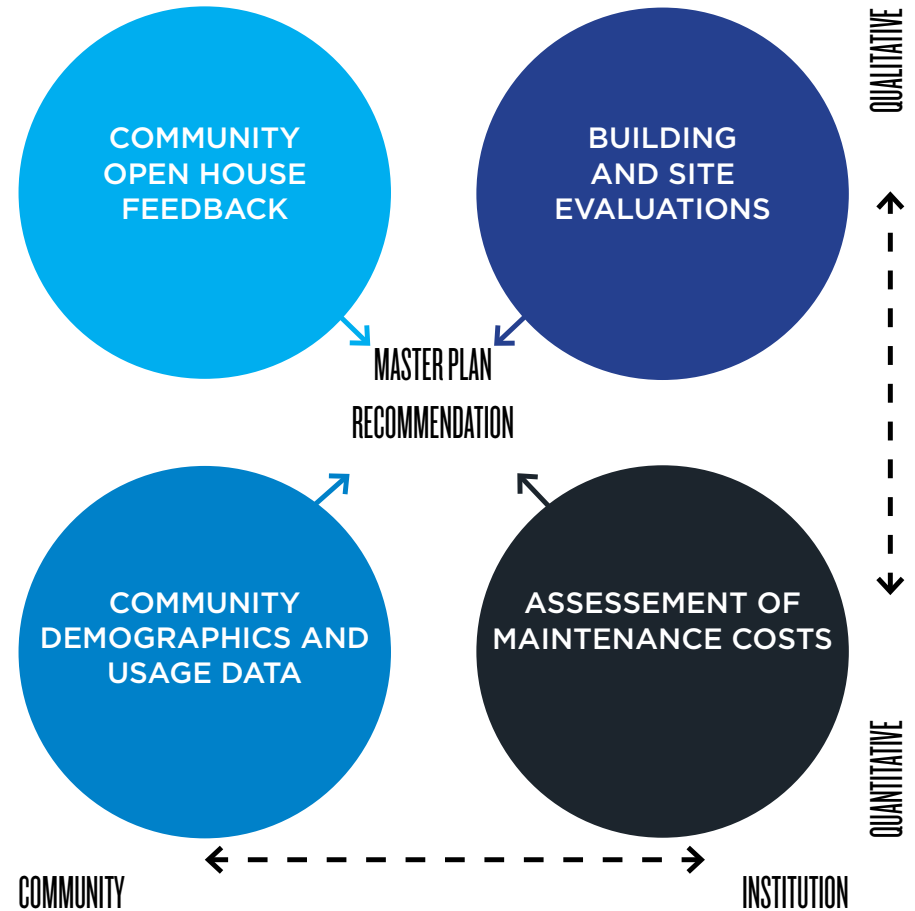
Master Planning Process

PROCESS In April of 2018, the Cleveland Public Library (CPL) issued a Request for Qualifications for consulting services to create a Facilities Master Plan. CPL selected a team lead by Bialosky Cleveland to assist in evaluating the current state of the Library and determining the best path forward. This report represents the cumulative results of the facilities master planning process conducted between July 2018 and February 2019, produced with collaboration and input from the Library and communities across the system,

The first step of the masterplan was to assess the current state of the system. This required conducting assessments of all the Cleveland Public Library’s 27 branches and Main Campus to identify necessary maintenance needs and determine the physical potential to renovate, expand or build new for each.

Concurrently, information was compiled to identify community needs. The planning team reviewed existing demographic data and collected input from Cleveland’s communities about their libraries to determine what they are doing well and what they can do to better serve their patrons.

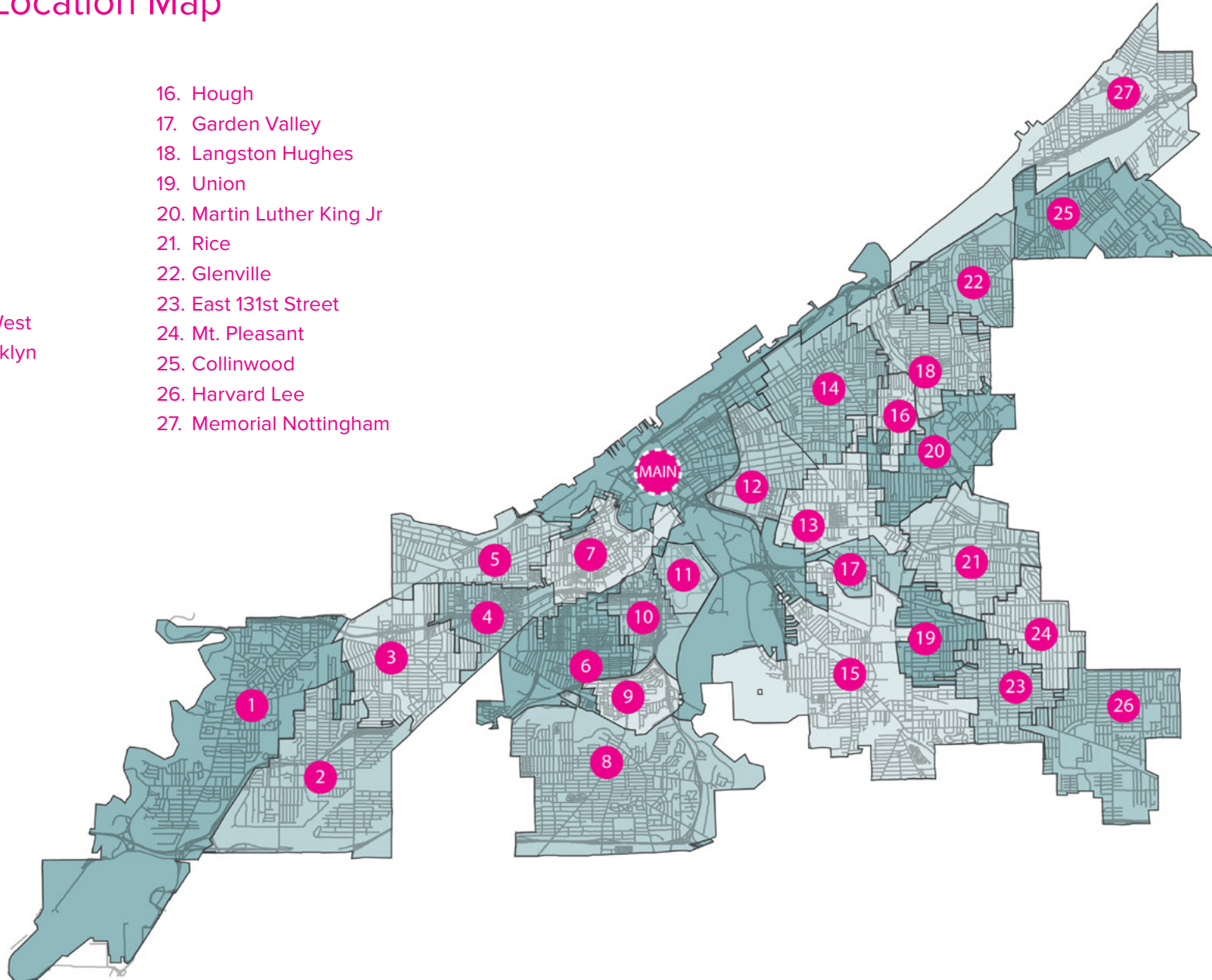
Analysis of feedback from Community Open Houses, Building and Site Evaluations, Community Demographics and Usage Data, and Assessment of Maintenance Costs informed recommendations for how to maintain, renovate or replace buildings over the next ten years. These recommendations create a plan for the future of the Cleveland Public Library and how it will modify it’s spaces over the next ten years.



Branch Location Map

MAP KEY

- | | |
|-------------------|---------------------------|
| 1. West Park | 16. Hough |
| 2. Rockport | 17. Garden Valley |
| 3. Eastman | 18. Langston Hughes |
| 4. Lorain | 19. Union |
| 5. Walz | 20. Martin Luther King Jr |
| 6. Fulton | 21. Rice |
| 7. Carnegie West | 22. Glenville |
| 8. South Brooklyn | 23. East 131st Street |
| 9. Brooklyn | 24. Mt. Pleasant |
| 10. South | 25. Collinwood |
| 11. Jefferson | 26. Harvard Lee |
| 12. Sterling | 27. Memorial Nottingham |
| 13. Woodland | |
| 14. Addison | |
| 15. Fleet | |

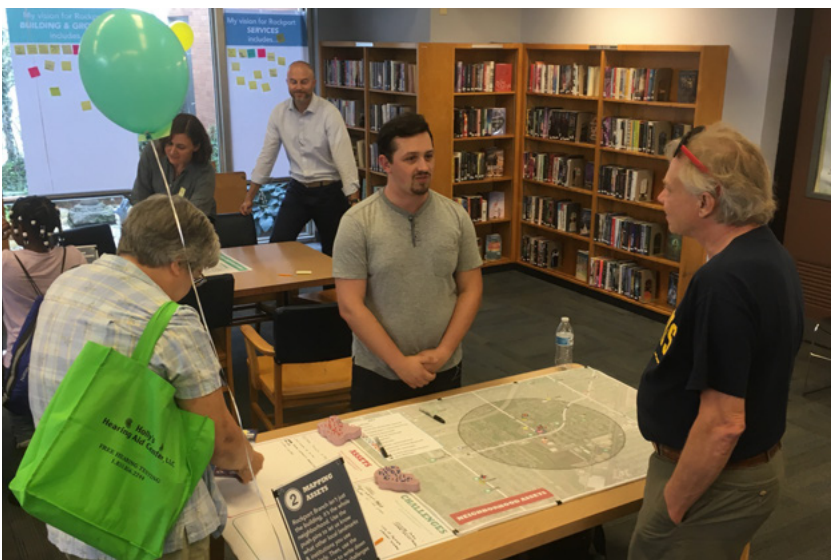


Community Engagement

INTRODUCTION

From 2014 through 2018, design staff at the Cleveland Urban Design Collaborative worked with the Cleveland Public Library on community engagement for 26 of their 27 branches, first through the CPL150 Community Vision Plan and then as part of the Facilities Master Plan.

The 13 CPL150 branches (Brooklyn, E 131st, Eastman, Fleet, Hough, Mt Pleasant, South, South Brooklyn, Sterling, Union, Walz, West Park, and Woodland) were previously summarized in a series of 3 reports and a summary document, which can be accessed through the project website: <http://www.cpl150.org>



Outreach Photo

SCHEDULE

Throughout the four-year engagement process, the team utilized a widerange of engagement tools to encourage diverse participation from community members based on their own preferences, including:

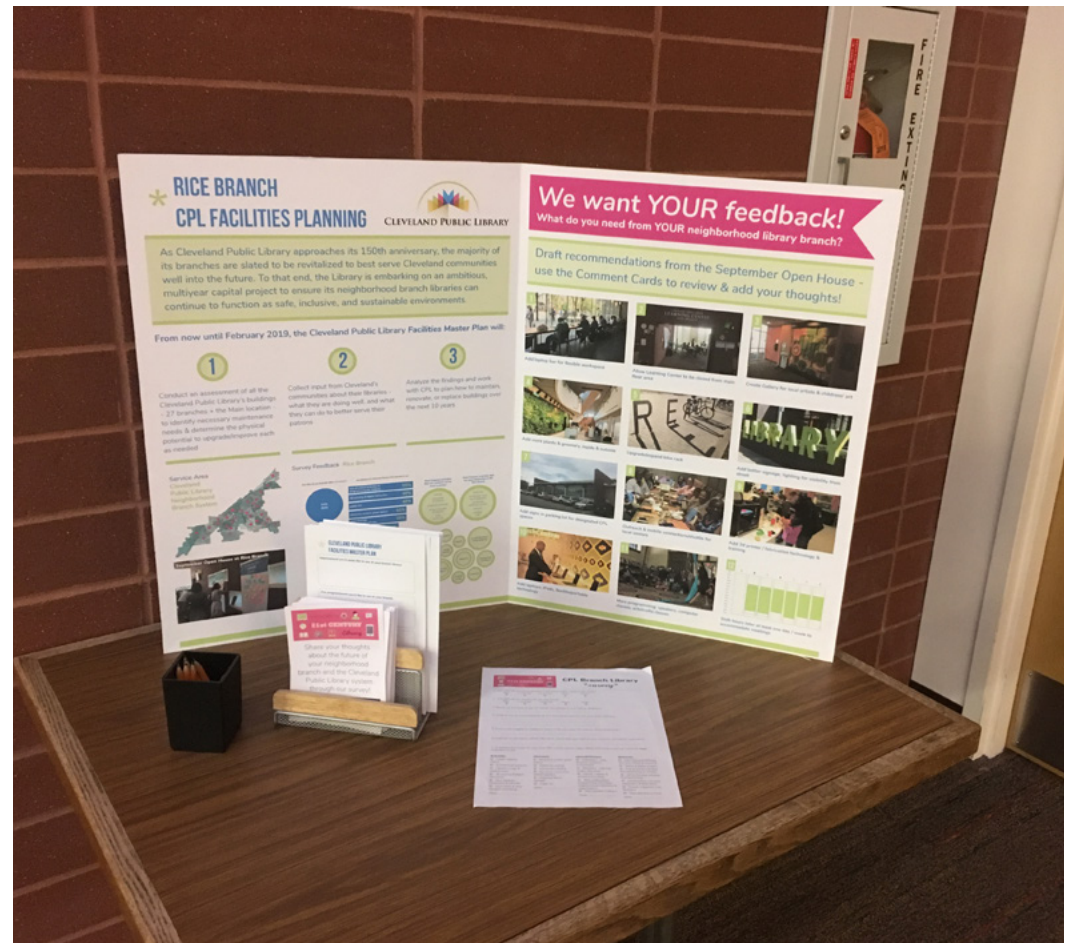
- Public meetings, at branches and elsewhere in the community
- Surveys (in English and Spanish) collected physically at the branches and spread digitally via social media
- Open houses at the branches for drop-in participation
- Focus groups with underrepresented groups (seniors, teens, etc)
- One-on-one interviews with staff, stakeholders, and patrons
- Advisory committees with staff, stakeholders, and patrons
- Attendance and outreach at other neighborhood events (street festivals, health fairs, etc) to advertise the process/upcoming meetings
- Display boards left behind at branches informing patrons of proposed recommendations & the larger public process, with comment card

Open Houses at the branch encouraged drop-in participation at a variety of stations; Public Meetings on- and off-site presented initial recommendations and vetted alternatives. Paper and digital surveys captured patrons who weren't able to attend meetings in person, and could be distributed to larger neighborhood networks. Anecdotal feedback was collected through interviews and focus groups, as well as meetings with neighborhood stakeholders (Community Development Corporations, Councilpeople, etc). Special efforts were made to include voices from typically underrepresented groups, including youth, seniors, and minority populations.

In all the design team created over 2,400 unique points of engagement with Cleveland’s library users.

ENGAGEMENT PARTICIPATION STATISTICS

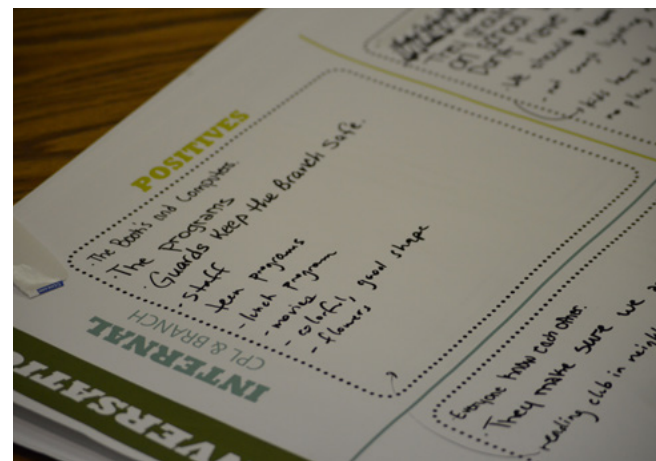
- Advisory Committee Members: 95
- Public Meeting Attendees: 510
- Open House Attendees: 500
- Focus Group Participants: 175
- Survey Responses: 1205



Outreach Survey

SYSTEM-WIDE NEEDS

- Add more art, inside & outside - public art was well-supported everywhere; regularly rotate & have “openings”
- Install better signage, exterior lighting at each branch
- Consider shifting hours to stay open later at least one day a week or opening one district on Sundays
- Host special classes/programs led by “local experts” from each neighborhood
- Create a widespread marketing system to let people know what’s available at what branch - consider annual campaign about resources available
- Consider branch-specific “steering committees” with neighborhood organizations/stakeholders to coordinate partnerships & resource sharing
- Install displays with branch-specific neighborhood history & culture
- Hold more open houses, festivals, & welcoming community events - “invite people in”
- Encourage more crossover between branches - “passport” program, cross- district collaborations, etc.
- Continue to explore possibilities for outdoor seating/reading garden areas
- Continue to explore opportunities for after-hours wifi use
- Continue to explore possibilities for outdoor seating/reading garden areas
- Experiment with strategies to rotate collections at each branch to increase variety for patrons’ browsing



Outreach Photo



Outreach Photo

UNIQUE PATRON IDEAS

- Lend reading glasses for patrons at each branch, like headphones at computers.
- Have an “idea box” for patrons to share ideas about improvements anytime
- Check out board games/hold gaming clubs
- Tool lending collections, particularly in neighborhoods with lots of vacancy / houses to be renovated
- Have a shuttle bus to link branches for events
- Label trees/plants outside with ID so people can learn about horticulture
- Hold gingerbread house building workshops at Christmas
- Provide chef training opportunities in branch kitchens
- Let patrons check out picnic blankets for using outdoor space
- Allow for amnesty “community service” at branch in exchange for expunging library fines/lost book fees
- Hold walking groups that meet at branch, explore surrounding neighborhood
- Hold programs on interacting with service dogs
- Have more animal sculptures like the squirrel at Fulton - playful art
- Lend/give hats & gloves in winter for neighbors in need
- Have an exhibition in branches about original Native tribes/culture



Outreach Photo



Outreach Photo

Community Demographics and Usage Data

Information relating to attendance, circulation, and population were reviewed to provide a quantitative analysis of each branch and service area. This data was evaluated to better understand how resources are being used and Each branch was compared to others in the system as well as the size of the facilities themselves to determine and how that might inform priorities and help drive recommendations for future growth.

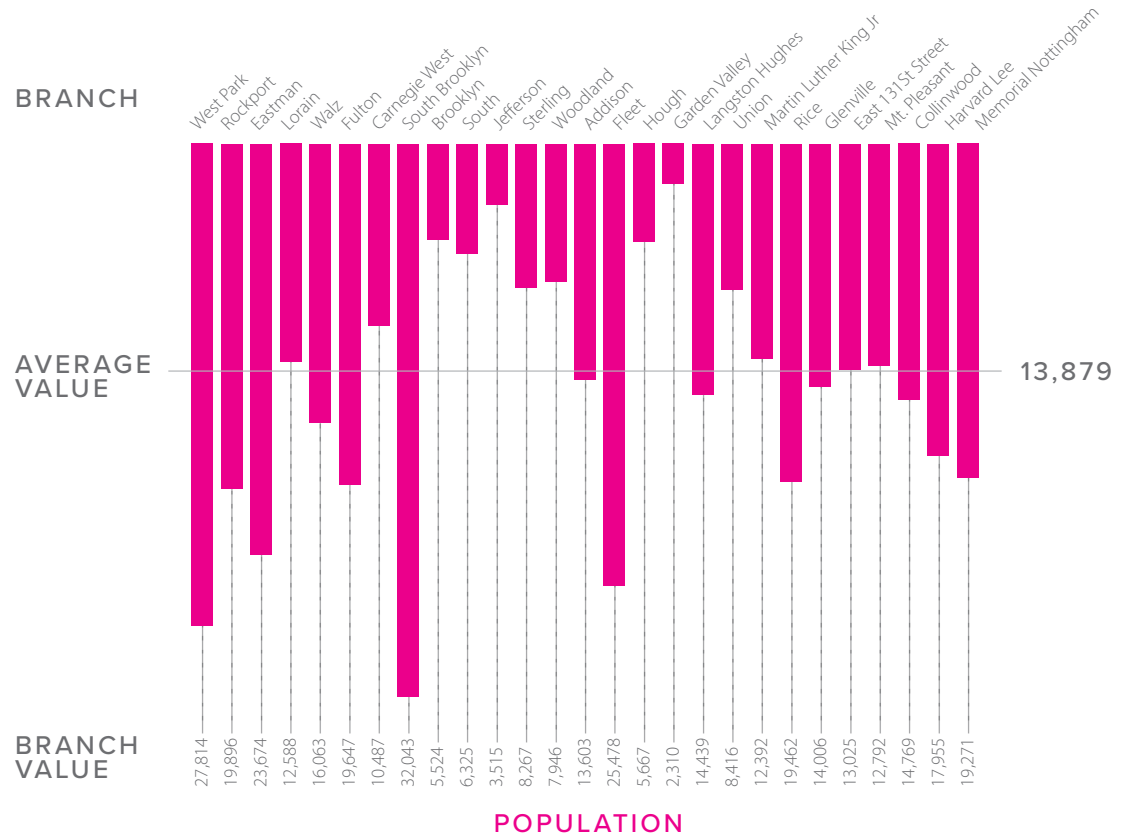
USAGE AND POPULATION DATA

The attendance and circulation data for each branch were provided by Cleveland Public Library based on information collected in 2017. The population data reflects information gathered from the 2010 US census and compiled in a study performed by Cleveland State University. These data sets are presented comparatively to show the performance of each branch as it relates to the others in the system. No one metric directly relates to the level of need for a given service area. They must be reviewed collectively, as each branch in the system is used differently by the population it serves. A lower circulating branch may still be well attended if residents of that area come primarily for access to technology or educational programming. A branch in a lightly populated service area may still be heavily used if its location is convenient to access from a broader area.

CLEVELAND PUBLIC LIBRARY HAD **2,664,527 VISITORS** IN 2017

THE LIBRARY CIRCULATED **3,877,929 ITEMS** IN 2017

IN THAT TIME PERIOD **1,280,659 ITEMS** CIRCULATED FROM THE MAIN LIBRARY ALONE



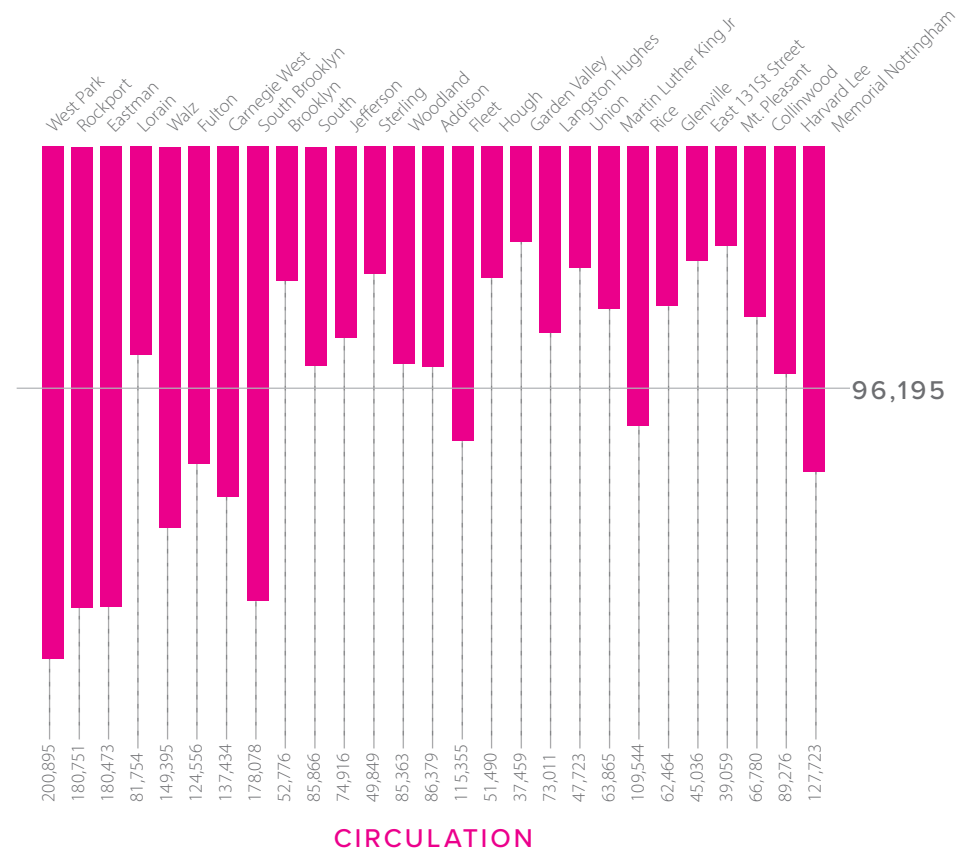
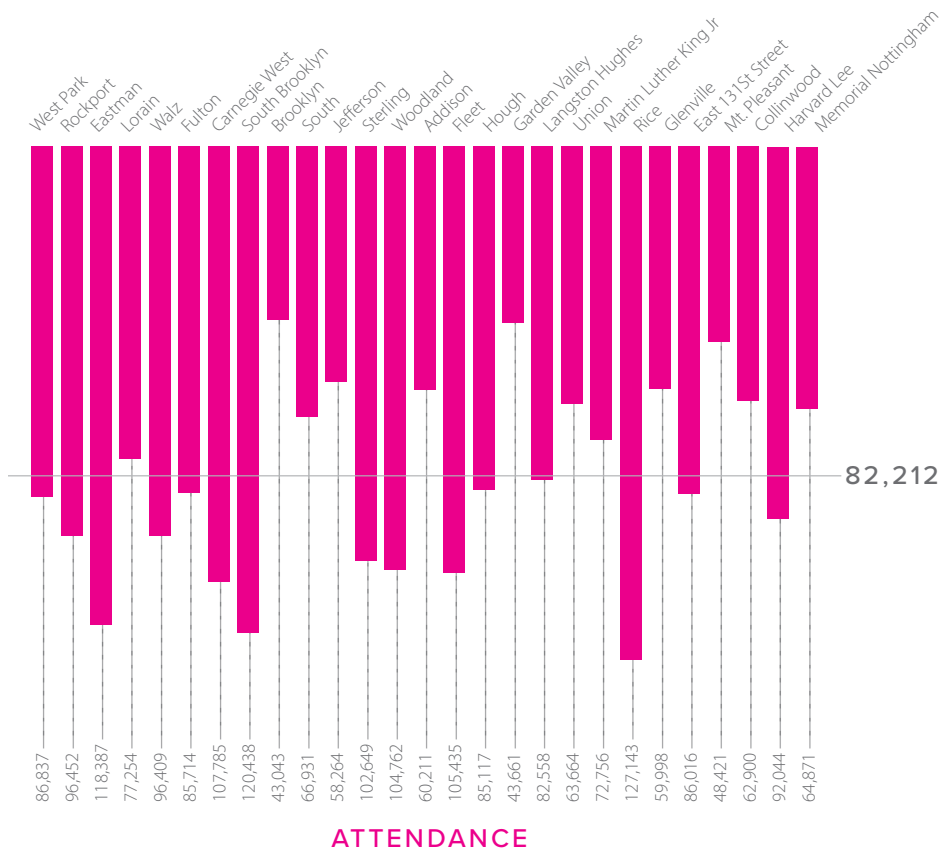
DASHBOARD INFORMATION

Attendance:

- Highest: Rice Branch - 127,143 visits
- Lowest: Brooklyn Branch - 43,043 visits

Circulation:

- Highest: West Park Branch - 200,895 items
- Lowest: Garden Valley Branch - 37,459 items



OCCUPIED AREA ANALYSIS

Factoring in the quantity of space provided at each branch is important to understand their performance and guide recommendations for expansion or renovation. This was done by identifying two additional data points for each building:

1. **The number of annual visits per building**
2. **Items circulated per square foot of occupied building area.**

These demonstrate how much use the building sees relative to its current size.

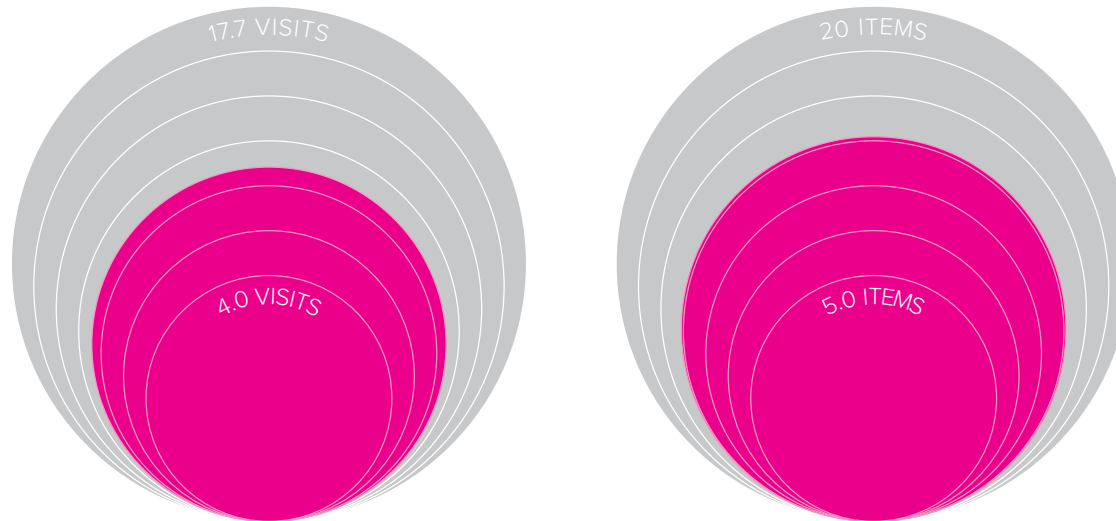
These metrics provide a more useful data set for the master plan than the more common measure of total building square footage per capita of service area population. The Cleveland Public Library is used as a system and residents may not use the library designated to their address as their home library or, as is often the case may use multiple branches. Therefore, the number of visits and items circulated give a better metric for level of use than residents of the service area. Many of the Library's branches have portions of the buildings

that are not currently used, either because they are not accessible or were impractical to maintain. In comparing the performance of the existing branch space, it was more appropriate to exclude areas that are not currently occupied, potentially recommending that space be reclaimed.

As with the raw attendance and circulation data, this information is also always presented in a manner that compares branches against others in the system.

HIGHEST VALUE

LOWEST VALUE



AVERAGE VALUE

9 VISITS PER SQUARE FOOT

10 ITEMS PER SQUARE FOOT

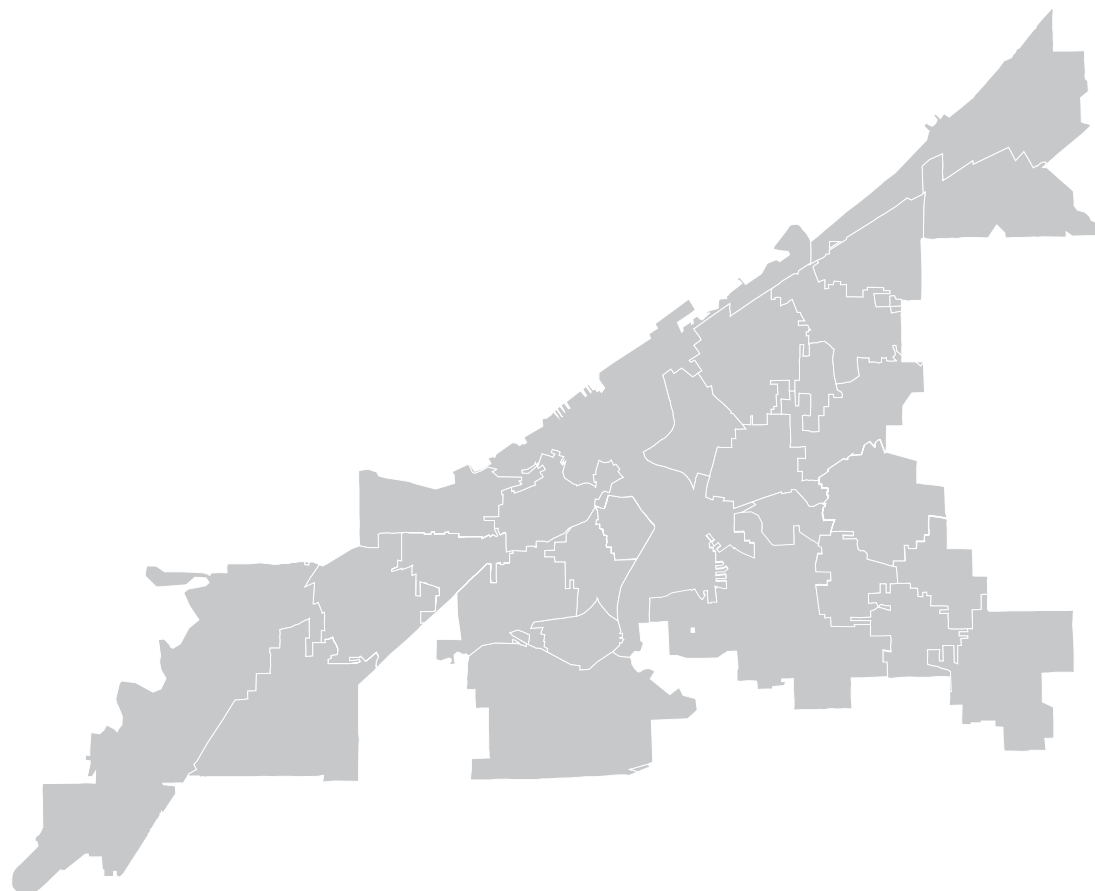
UTILIZING EXISTING DATA

There is no mathematical formula that can tell the Library how many branches it needs or how large they should be. Nor is there one single measurement that can be used to define the performance of the branches. Each branch library is unique as the communities they serve use them in varied ways. However, the cumulative data does provide important information that allows the Library to begin drawing conclusion, or at least ask better questions, about what to prioritize across the system to best serve each individual community. For Example:

The Jefferson branch appears to support a very small service area but is still well used. Particularly when it's small size is taken into account; how can we provide more usable space at this location?

There are clearly avid readers on the west side with the Rockport and West Park branches having the highest circulation in the system, but both have below average attendance; what can be done to bring people into the building and learn about other resources?

This information was compiled for every branch creating a 'Branch Dashboard' identifying it's statistics and how it compares to other branches in the system. This information has been included in the individual building sections in this document.



THE LIBRARY'S SERVICE AREA ENCOMPASSES NEARLY **100 SQUARE MILES** BUT ALSO SUPPORTS **44 OTHER LIBRARY SYSTEMS** ACROSS NORTHEAST OHIO THROUGH CLEVNET.

CLEVELAND PUBLIC LIBRARY SERVES A POPULATION OF **400,787** IN THE CITY AND SUPPORT AN ADDITIONAL **879,335** IN THE SUBURBS OF CUYAHOGA COUNTY

THE LIBRARY CURRENTLY MANAGES NEARLY **1 MILLION SQUARE FEET** OF BUILDING AREA BETWEEN ITS BRANCHES AND MAIN CAMPUS

Assessment of Maintenance Costs

PURPOSE OF THE ASSESSMENT

The purpose of the facility assessments was to conduct a review of the existing buildings system-wide to determine the condition of major architectural, structural, mechanical, and electrical systems. The assessments documented deficiencies identified by the Library or discovered during investigations, and provided the Library with options for corrections. They were also used to prioritize critical repairs, in order to assist the owner with any efforts related to planning phased work.

The evaluation included a review of existing drawings and other owner supplied data followed by an on-site inspection of the buildings.

An on-site, non-destructive visual inspection was performed for:

- Site conditions surrounding the building
- Exterior envelope including walls and wall openings and roofs
- Building interiors including walls, ceilings, flooring, stairs elevators, doors and cabinetry
- Mechanical, electrical and plumbing systems and equipment.

A non-destructive inspection does not cut or patch walls, roofing, or floors to inspect concealed conditions. It also does not disassemble or rebuild any equipment to perform an invasive inspection. Each building was photo documented during the site visits, including photos of the building's exterior, interior, site, and equipment.

Following the on-site evaluation of the facility, a report was written, summarizing the findings of the architecture and engineering team. The report is broken down into sections including, site, architectural, mechanical, electrical, and plumbing. Each section has a list of recommendations based on the conditions of each building which are used to established a probable cost for necessary repairs.

Items identified in these reports are limited to deferred maintenance, i.e. those items necessary to the upkeep of the facility as it currently functions. The assessment, and associated costs, do not reflect updates or modifications required to refresh branches or expand service.

***See Attachments for the full assessment of maintenance costs.*



Assessment photo - E. 131st Street Branch



Assessment photo -Rice Branch

CATEGORIZING COST The maintenance items are placed into two categories based on priority level. The first category covers Critical Conditions, which includes life safety issues, serious building envelope conditions, failing systems requiring high maintenance and critical structural concerns. The second category covers Observed Conditions, which includes all other recommendations, moderate building envelope conditions, recommended repairs, systems nearing the end of useful lifespan, energy consumption issues, long term system upgrades, and minor repairs. The critical conditions are of a higher priority but all repairs should be addressed either as part of a continuing maintenance program or in conjunction with implementation of more substantial renovations.



Assessment photo -West Park Branch



Assessment photo -West Park Branch



Assessment photo -Main Library



Assessment photo -South Brooklyn Branch

Building and Site Evaluations

In addition to the quantitative information provided in the assessment determining deferred maintenance costs and the demographic and usage data, a more qualitative analysis of each branch was performed to evaluate how well the building and site support the Library's future goals.

A set of criteria was established for site and building then applied consistently to compare each branch. An evaluation card was used that identified each branches assets and challenges. This analysis was intended not only to review how the buildings performed in their current state but also to identify whether they support opportunities for expansion and renovation necessary to address the library's needs.

SITE EVALUATION CRITERIA

IS THE SITE....

1. AVAILABLE

- City-owned, vacant, or an otherwise acquirable lot with clean title
- Located with ready access to utilities & infrastructure
- Easily developed (ie: not a brownfield) without existing structures requiring demolition

2. ACCESSIBLE

- Near RTA/transit routes to ensure that stops are located close to the building
- Able to accomodate on-site, shared, or street-side parking
- Readily and safely accessible by pedestrians and cyclists
- Highly visible from neighborhood streets or intersections

3. FLEXIBLE

- Site topography, proportion, and size accomodating for a single-story branch model
- Supportive of building expansion, including appropriate uses of adjacent parcel zoning

4. COMMUNITY FOCUSED

- Proximate to important local amenities and potential community partners - schools, community centers, social/cultural institutions, recreation, etc.
- Near active neighborhood centers
- Maintaining or increasing geographic equity - libraries should be centrally located for the communities they serve
- Located to provide a safe space for patrons

BUILDING EVALUATION CRITERIA

IS THE BUILDING....

1. ADAPTABLE

- Structured with the ability to evolve by altered layouts and services to accommodate changing needs.
- Flexible with spaces that support the varying day to day needs of the library patron
- Providing choices through a variety of spaces that allow users to find an environment best suited for their desired experience

2. EQUITABLE

- Safely located to provide services where they are needed most
- Accessible to promote access by all
- An aid or a barrier to providing the services that are most needed by the community it serves

3. COLLABORATIVE

- A space for collaboration that fosters collaboration with other components of the community
- Providing collaborative spaces within, both in the form of meeting rooms and public gathering space
- Associated or co-located with other neighborhood institutions (schools, community centers, museums, parks)

4. MAINTAINABLE

- Performing efficiently in its systems with responsible energy demand
- Laid out to allow for efficient staff operation
- In good condition so that it will not require immediate and/or continued maintenance at significant expense

5. VISIBLE

- A beacon for residents to clearly understand it as a welcoming resource
- Iconic in its design, so that it is unmistakably known as a public library
- Providing a level of transparency that allows the community to see the activity within and vice versa, providing a level of security with eyes on the street
- Laid out in a manner that provides good sight lines throughout

“
**The very existence of libraries affords
the best evidence that we may yet have
hope for the future of man.**

—T.S. Eliot

SECTION 2

Library Trends & Design Principles

Current Library Trends

CONTINUED RELEVANCE OF PUBLIC LIBRARIES

With most answers at our fingertips, we rely on our local library far less for specific information than the past. That has not, however, diminished their role in society. **Libraries across the globe have simply adapted in order to support the evolving needs of the surrounding community¹.** Most Americans do still see public libraries as important institutions that provide critical resources, with two-thirds saying that closing their local library would have a major impact on their community . The nature of what the library provides has expanded far beyond access to books and computers to include offerings like toy lending, digital media, summer meal programs, homework help, and educational programming ranging from tax preparation to meditation.

One of the most important resources found in a public library is the space itself. **In many communities they serve as an important “Third Place”, a location other than work or home where people gather, share ideas, and build relationships.** They are a neighborhood’s living room. For some, this may be their local coffee shop, house of worship, or hair dresser. Libraries create this platform for social interaction, but without an implied donation or purchase and to all equally, regardless of age, income, ethnicity, income or physical limitations.

Uniquely positioned to maintain a support structure where they are needed most, libraries serve as community-builders in low income areas. This is especially important to Cleveland Public Library since more than 35% of residents of the City of Cleveland live below the poverty line² , almost triple the national average³ . As a trusted and invested community institution, the library can and does provide a safe space for connecting people to social services, both within their system and through other partnering institutions who administer critical services, like housing assistance and health care. Through their educational programming and strategic partnerships, libraries seek to level opportunity and create a means for stability and upward mobility.

Even with so many roles, public libraries are first and foremost places of learning. Early literacy programs prepare children for kindergarten, after school and summer programs keep developing minds active and fed all year long, and adult programming empowers skill-building and creativity well after formal education is complete. **Librarians embrace their role as teacher, trusted advisor, and de facto social worker as they guide people through their path of lifelong learning.**

LIBRARY FACTS⁴

- In 2016, there were 1.4 billion in-person visits to public libraries across the U.S., 4 million visits each day
- 84% of libraries offer technology training to patrons on computer software use
- 9 out of 10 libraries offer free access to e-books
- 77% of libraries offer online health resources and 59% provide programs for finding health insurance online
- 73% of public libraries assist patrons with job application and interviewing skills
- A recent study shows that for every dollar spent on Ohio public libraries, Ohioans received \$5.48 in economic value.

If the library isn't there to do all of this, then who is?

REDEFINING THE LIBRARY FOR A NETWORKED SOCIETY

When American industrialist Andrew Carnegie donated much of his vast fortune to help lay the foundation for a national library system, he was doing so in a world where access to information was scarce. Today, we have the opposite problem; there is an overload of information and we need help sorting through and understanding how to use it. In an era of unfiltered content, and even deliberate misinformation, **librarians are trusted advisors who patrons rely on to guide them to the right material and educate them on the technological tools needed to navigate the digital landscape.**

With nine-in-ten American adults reporting that they use the internet in some way, it is commonly thought that ready access to the internet is ubiquitous. However, less than half of people who live below the poverty line have high speed internet access at home and one third of adults over the age of 65 do not use the internet at all⁵. Libraries play a critical role in bridging the digital divide for these disadvantaged populations **by providing technology access and instruction, which develops the necessary skills to thrive in a digitally dependent society.**

Technology has also allowed libraries to change the way they approach their collections. Moving into the digital sphere has allowed the library to expand its reach beyond its walls. Library websites and mobile apps create a sort of virtual branch with 24/7 access to an e-books, music, and movies. Even with physical collection innovations in material management, software allows libraries to use a data-driven approach to collection. This means what is on the shelves is what the patrons look for most, while items unlikely to circulate are stored efficiently off site. **This produces a more curated user experience that frees up valuable space without taking away access to books.** Books are still what people most associate with a library and expect to see them when they walk in the door.



EVOLVING WITH CONSUMER EXPECTATIONS

Though unique in their breadth of services and the democratic manner in which they provide them, libraries increasingly compete for consumers. Commercial providers typically have more focused markets and have set a standard for customers to measure their experience, from downloading an e-book to using the library as you would a local coffee shop.

While people want a quality product, decisions are most often made based on convenience, which drives an **increasing expectation for self-service and flexibility**. This is partly addressed in details like sufficient comfortable furniture or well-placed power outlets, but also requires significant changes in the service model. Libraries continue to expand practices like self-check and online presence, even app creation to tailor the user experience. There is also an expectation that facilities are available nights and weekends. This can lead to extended hours, but many libraries mitigate with limited services, such as after-hours access to meeting rooms or book lockers that allow patrons to collect holds when the library is closed. Ultimately, many of these changes also have the added benefit of freeing up librarians from executing transactions so they can be out on the floor pro-actively assisting people.

Libraries are whatever their communities need them to be.

What patrons expect to see at their local library has expanded drastically. The public still wants to see print media at the library, but there is also an expectation that there are facilities for content creation, like maker spaces and recording studios, as well as an ever-increasing need for meeting and collaboration space. The public library serves as a remote office for many patrons. What comprises a library's physical collection is changing and expanding, as seen in a movement towards the 'library of things' that includes lending items like tools, toys, electronics, or even art. The public has come to expect a one-stop shop that provides the specific resources they need in an active, diverse environment that also sparks curiosity about what they might pursue next.

As public libraries continue to build on their existing resources and let the public's needs lead their development, **they will remain critical centers for learning in the communities they serve.**

WHAT ARE TODAY'S LIBRARIES?



Libraries are **play rooms**



Libraries are **a safe place**



Libraries are **co-working spaces**



Libraries are **online 24/7**



Libraries are **maker spaces**



Libraries are **art galleries**



Libraries are **on your mobile device**



Libraries are **classrooms**

Design Principles

As the Cleveland Public Library enters a decade of profound change, over-arching design principles were identified to support the library's strategic priorities. These principles embrace the importance of community and propel the vision of "The People's University". They will ultimately be reflected not only in the master planning approach, but also in the design of new buildings and renovations executed over the next decade.

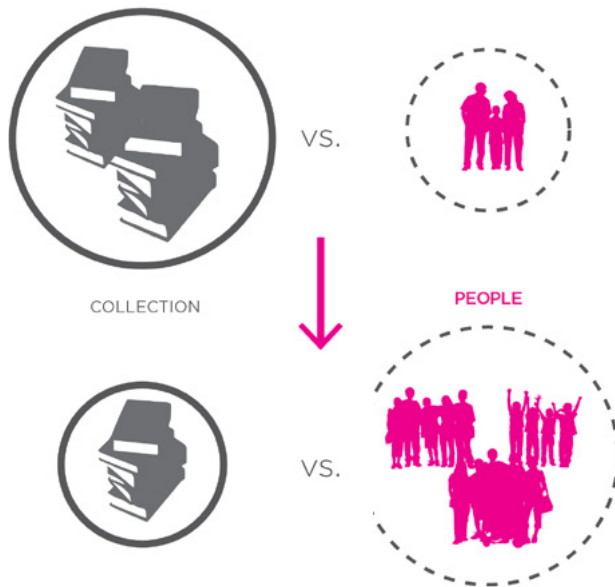
In re-imagining their facilities the library will look to:

Reorganize
Rebalance
Reconfigure
Remove
Reveal
& Retain



REBALANCE

Libraries continue to evolve into technologically rich social environments but their value is no longer defined by the breadth of material collections. The library's greatest resource is its people. Library buildings should facilitate the sharing of knowledge and experiences across diverse populations. In an environment that fosters open communication and collaboration, a visitor can find a wealth of information in their local librarians and neighbors as well as in the pages of a book.



A rebalancing of space from collections to people allows the library to reinforce a sense of community with engaging gathering spaces that promote interaction.

Planning implications:

- Library users have widely expressed the need for more dedicated meeting space
- Small scale meeting space are needed in addition to larger community meeting rooms
- Larger regional branches may serve as grand, civic scale venues that are an asset to the entire city
- The inclusion of unprogrammed, flexible 'soft space' is critical

REORGANIZE

Historically, a library's primary function was transactional in nature; patrons came to the library in search of a book or article and the role of the building was to efficiently direct them to the material. The resulting buildings were repositories of books defined by rows of collections, punctuated by solitary reading spaces. A modern library is a dynamic, civic space that aims to be transformational for its patrons and itself by creating a venue for shared resources and experiences.

Reorganizing buildings to be structured around a central gathering area focuses the spatial configuration of the library on the people rather than the collection.

Planning Implications

- Buildings should be organized around a core of informal gathering space
- All branches should include a 'Neighborhood Living Room' at the heart of the building.
- Collections shift to the perimeter or areas that frame the gathering spaces

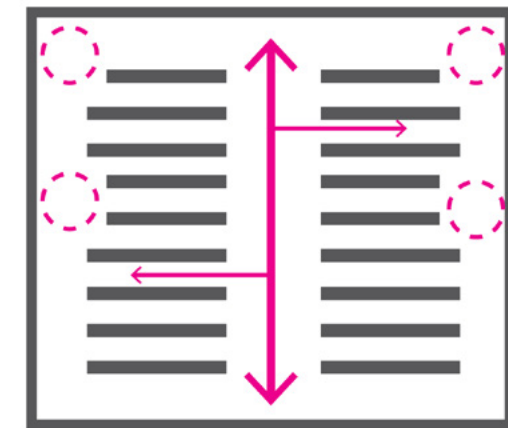
RECONFIGURE

Specific change cannot be easily predicted, but change is a constant. A 21st century library's adapts to rapidly changing needs of the community. Buildings must be designed with the flexibility to evolve with broad societal trends over time and also be nimble enough to adapt to the day to day fluctuation of individual user needs.

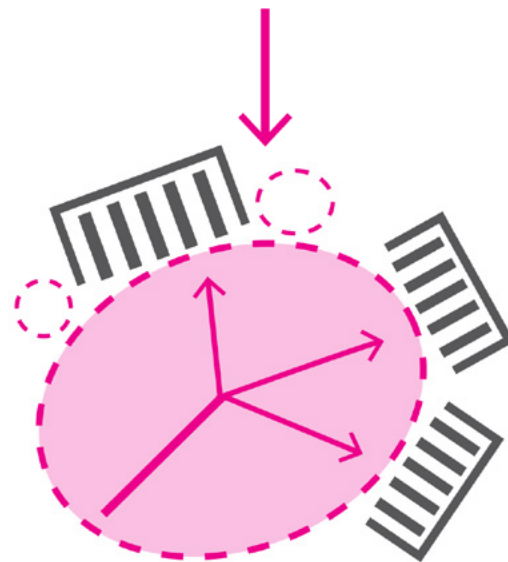
Reconfiguration allows the library to embrace change and continue to find innovative ways to deliver service that supports the shifting needs of the community.

Planning Implications

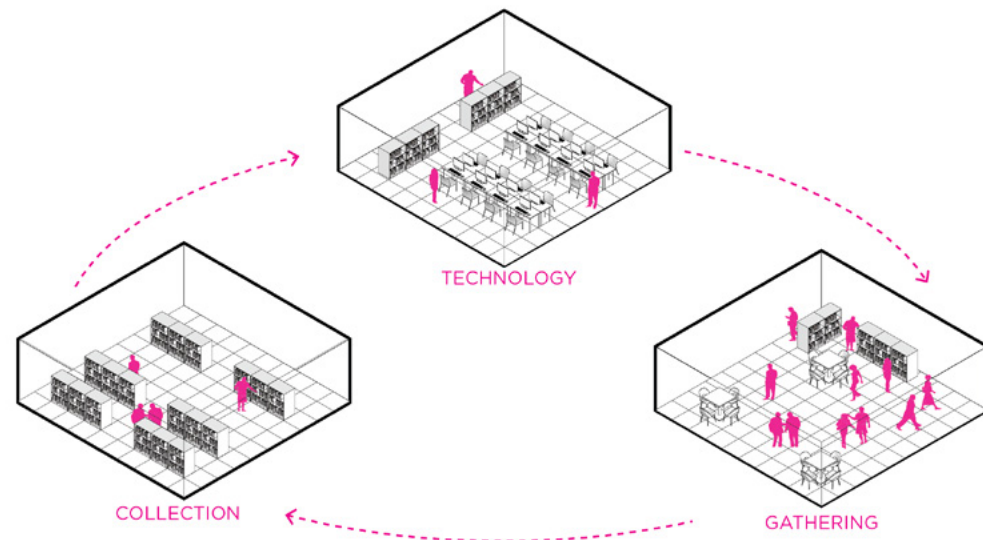
- Spaces should be defined by furniture or mobile partitions when possible
- Consideration should be given to future change when spaces must be defined by walls or building form.
- Providing a variety of spaces with adequate infrastructure (i.e. outlets, technology) can provide flexibility without necessitating moving furniture or partitions



REPOSITORY

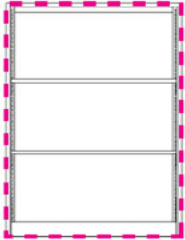


PUBLIC CORE

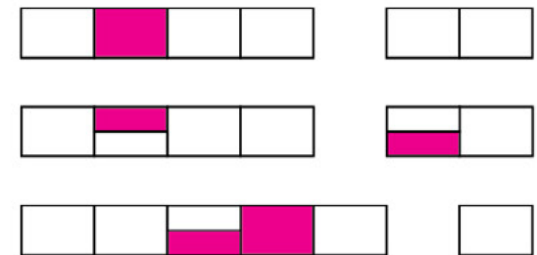
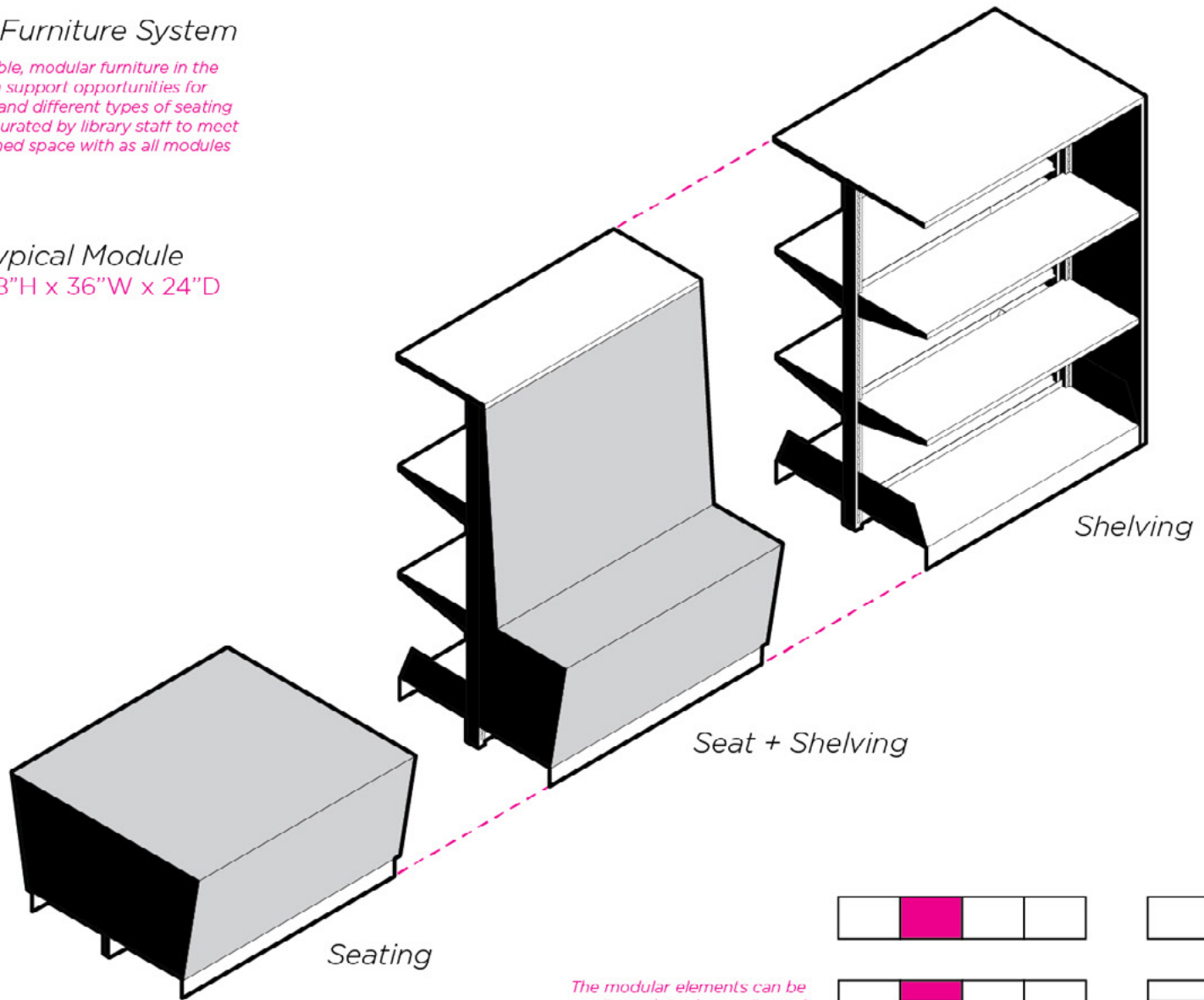


Modular Furniture System

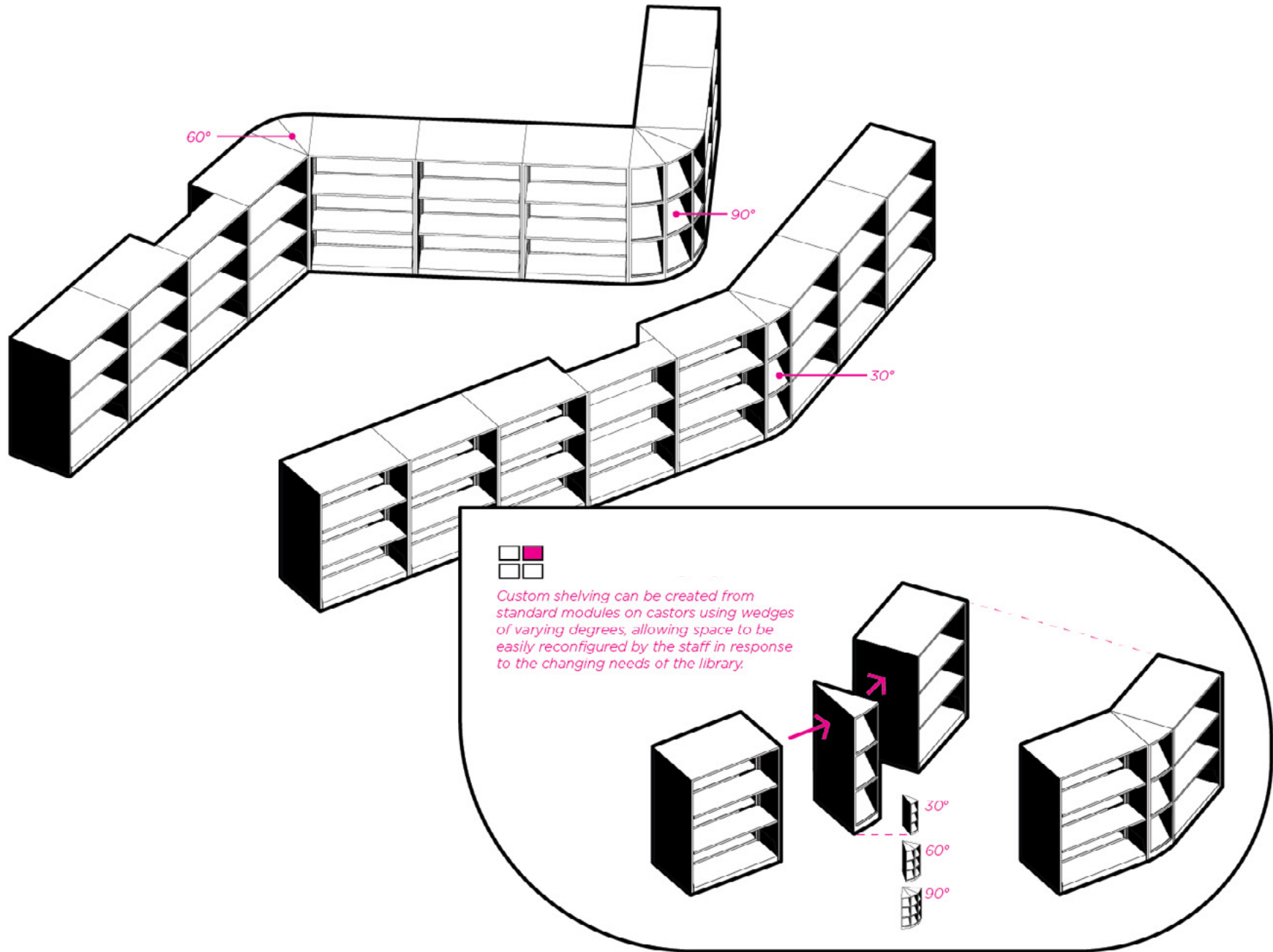
The use of interchangeable, modular furniture in the general stacks area can support opportunities for variation with shelving and different types of seating that can be moved or curated by library staff to meet the needs of programmed space with as all modules are on types on castors.

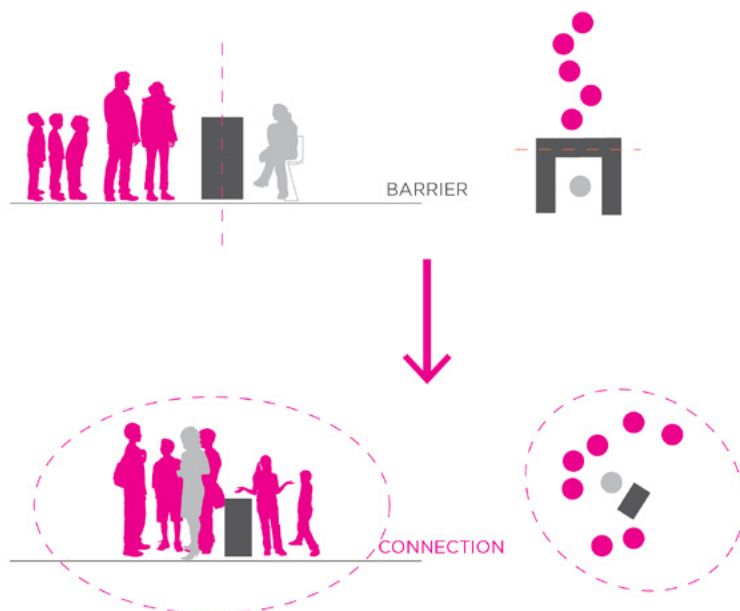


Typical Module
48"H x 36"W x 24"D



The modular elements can be configured (and reconfigured) by library staff to create opportunities for a quick browse of a book, respite, or grouping.





REMOVE

The library should foster an environment that is based on respect, engagement, and equal and broad access of its resources. Minimizing barriers between patrons and staff allows them to speak to people on the same level and interact as members of the community. Providing a free, public access point to technology gives those who need it a means to bridge the digital divide

Removing barriers between people, knowledge, and resources, the library supports inclusive spaces that accommodate learning opportunities for people of all socioeconomic backgrounds.

Planning implications

- Smaller, mobile service points bring make staff more approachable.
- Introducing self-service opportunities for patrons streamlines the borrowing process and frees up librarians to interact with patrons.
- In addition to public computers, but also accommodations for patrons bringing their own devices to with wide distribution of power and data outlets and wi-fi coverage
- Provide technology intensive meeting space support patron needs as well as the libraries educational programming

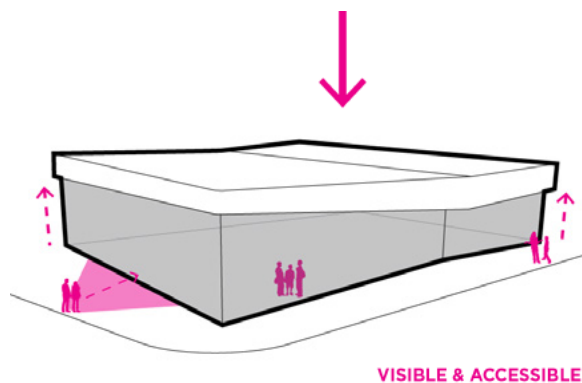
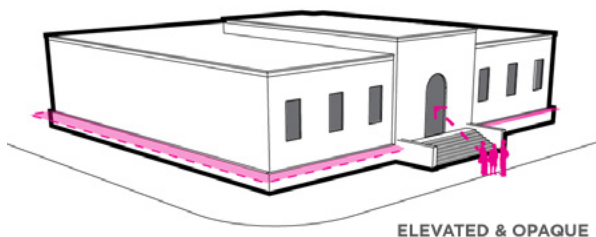
REVEAL

Historic library buildings are often imposing civic structures with protective masonry facades, and grand entrances elevated above the street. While these buildings are beautiful, they present themselves as fortresses, not inclusive public spaces. New libraries should be inviting beacons to the community. This requires a shift from an opaque, monumental aesthetic to designs rooted in transparency and accessibility. The notion of visibility guides both the appearance and location of buildings.

In revealing itself to the community, the library is an equitable environment that promotes access to resources for growth and learning.

Planning Implications

- Branches should be placed on prominent sites near active centers of the communities they serve
- Buildings should allow controlled views inward and a visual connection outward to the neighborhood.
- Expansive glass required to achieve this should be thoughtfully placed and treated appropriately to control natural light.
- Visibility should be a driving force on the interior, prioritizing a sense of openness, optimal sightlines, and visual control by staff.



RETAIN

Like other institutions with a long and storied past, Cleveland Public Library is housed in buildings constructed over the span of more than a century built in styles range from neo-classism to post-modernism. Many are still active in historic Carnegie Libraries and others were designed by renowned Cleveland architects, adding an integral layer to the local historic fabric. The significance of the library's building stock should always be taken into account when determining the path forward for branches.

Retaining the historic character of library buildings preserves a story of the city and neighborhoods across generations.



Planning Implications

- When existing buildings are in good condition, renovation is often the most fiscally and environmentally sustainable approach
- careful consideration should always be given to the existing building's ability to support the future needs; building new will be an appropriate course of action in many cases.
- Additions and renovations should be respectful of historic structures but should be designed to be of their time and place



APPLICATION OF PRINCIPLES

These design principles, grounded in the library's priorities, provide a framework for future building concepts. The principles are adequately flexible to allow the library to adapt them as they refine their new service model and employ information harvested from community feedback and their own experience.

The design process itself should embrace the people-centric approach of the library by employing Human Centered Design practices and truly engaging the community. Human Centered Design is a process focuses on designing with a deep empathy. It starts with the actual building users and ends with solutions tailored to their needs. This is achieved both through extensive outreach and communication with the future users of the building, as well as testing ideas through prototyping. The buildings shaped by this dialogue directly address the community's expressed needs and reflect its local identity.



Section Endnotes

1 Horrigan, John B. "Libraries 2016" Pew Research Center, September 2016

2 US Census Bureau QuickFacts via data collected from American Community Survey retrieved from: <https://www.census.gov/quickfacts/fact/table/clevelandcityohio/IPE120217#IPE120217> (Accessed February 19, 2019)

3 12.3%, Fontenot, Semega & Kollar "Income and Poverty in the United States 2017", US Census Bureau, September 2018

4 "Quotable Facts about America's Libraries", American Library Association, October 8, 2018 retrieved from: <http://www.ala.org/advocacy/quotable-facts> (Accessed February 27, 2019)

5 Pew Research Center "Internet/Broadband Fact Sheet" <http://www.pewinternet.org/fact-sheet/internet-broadband/> (Accessed February 19, 2019)

BUILDING STANDARDS & GUIDELINES

They also serve as the foundation for the library's Building Standards, a more technical guide to what the library requires in its buildings. **These standards provide a means to establish a level of quality for the library's facilities and create consistency throughout the system** in order to simplify maintenance workflows and deliver service efficiently. This document can include everything from space planning guidelines and sustainability goals to performance criteria for specific equipment and procedural requirements for project delivery. They are developed using industry best practices as well as the library's own experience from years of operation and will continue to evolve with that experience over time. Just as there is a need for flexibility in the library buildings themselves the **standards are intended to be a living document that is continually updated as the library's needs change** with the evolution of how they deliver service.

A summary list of major planning guidelines are included here but the full building standards will be useful tool for the library to utilize to achieve a consistent building product while interfacing with different design and construction teams throughout the process.

PLANNING GUIDELINES

- The life-cycle cost of buildings will be considered in addition to first cost, buildings should be designed for longevity in mind using durable materials and efficient mechanical systems
- Buildings shall be designed with sustainable design principles in mind targeting LEED certification
- Community input shall be included in the design process through early engagement as well as prototyping of ideas when possible
- Building façade and layout shall be designed to take advantage of natural light and provide views out
- The interior of the building should be designed to provide a flexible, open space that can be used for proposed library functions without extensive alterations.
- Structural elements should be carefully designed to consider the effects such elements will have upon the future flexibility of the building
- Provide adequate access to power and data and excellent wi-fi coverage throughout the building
- Consider raised access flooring systems or other means of providing for future changes in operational needs and layout
- Ease of supervision of the interior of the building should be given primary consideration with excellent visual control from the main service point
- Furnishing should allow the ability for patrons to reposition them to configure space to meet their needs
- Book stacks should typically be low and mobile
- Service desks should be modular and not tied into the architecture to allow for relocation

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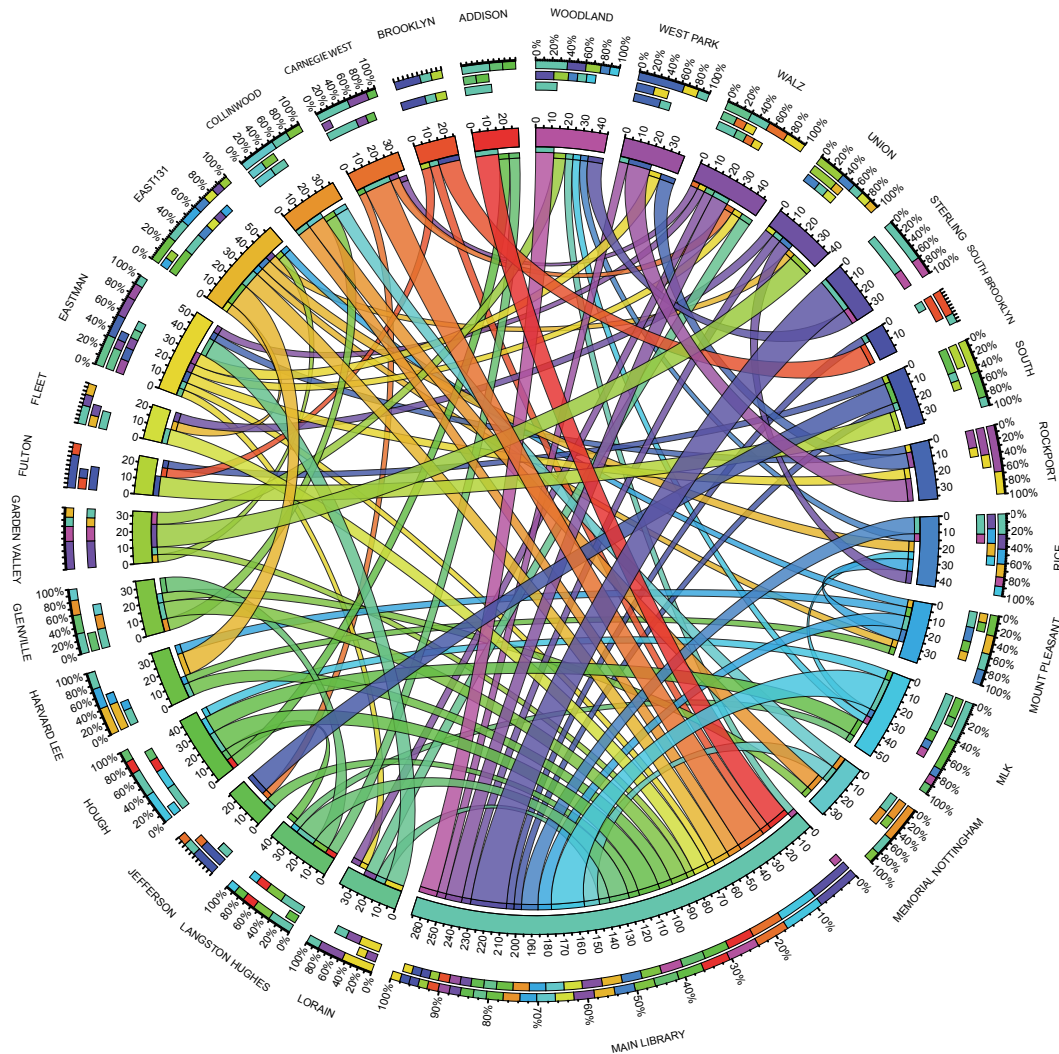
The **only thing** that you absolutely have to know, is the location of the library.

—Albert Einstein

SECTION 3

System Recommendations

System Recommendations



System Usage Diagram identifying the flow of material between branches and users of other service areas illustrates the interdependence of

CURRENT STATE

The Cleveland Public Library’s service area covers nearly 100 square miles with a population of over 400,000 people, though its impact spreads much further. As the founding member of CLEVNET, one of the largest library consortiums in the world, the library lends critical support to 44 other library systems and provides service to 1 million customers across Northeast Ohio. In addition to housing a large quantity of the 12 million items that are available through CLEVNET the Main Library is a destination for researchers from across the region and the world.

While the Library has a significant regional influence, its focus remains on the Cleveland communities it has served for 150 years. The system is comprised of the downtown main campus and 27 branches across the city. Though these unique branches serve diverse communities they operate as one system with patrons able to walk into any library building and get the services they need. Cleveland residents already use the system in this way attending multiple branches to meet their needs, not just the one nearest their home.

The density of the Library’s branch system helps drive the ability to utilize multiple locations. There are few places in Cleveland that aren’t within a mile of a library and many patrons pass multiple locations daily. Growing from a system of Carnegie era community libraries these branches were anchors of walkable urban neighborhoods and most still are today. Unfortunately, the Library’s buildings were built for a different time and mode of service with only two new or substantially renovated buildings in the last twenty years. There is a clear need for system-wide upgrades to enable the library to provide the modern library service the city expects and deserves.

FUTURE VISION

Cleveland Public Library has made a commitment to the city that, **while re-imagining its buildings and service, it will strive to maintain the dense, accessible network of branches supporting its neighborhoods.** This close-knit network is still critical to the city's largely low-income population which relies heavily on public transit and walkability to access services institutions like the library provide. This means the library must seek out ways to extend a higher level of service efficiently and with a broad reach across the city.

HOW BIG IS BIG ENOUGH? The future core library model will be designed to function in a relatively small footprint relying on flexible, adaptable space allowing the branches to deliver a consistently high level of service. This will allow the library to preserve its comprehensive coverage with Neighborhood Branches that serve as a community living room and a place that patrons can go to meet their daily needs. While this core level of service should be delivered consistently it can also be built upon to create a larger branch model allow for expanded services. Select branches can be created as resource centers with a broader scope of service that still has a community focus. These larger Community Hub branches will be located strategically across the system to promote ease of access for all patrons. This allows the library a

means to provide some buildings of approaching the scale its users are accustomed to seeing in surrounding systems where single branches support larger geographic service areas.

The scale of the Cleveland Public Library system affords it the opportunity create locations that provide unique experiences and resources that go beyond the typical library. While still branch libraries, these locations will serve as Regional Anchors and serve as destinations that provide services that support the entire city in addition to their immediate community. These locations may serve as venues for large civic scale events and the buildings themselves should be architectural gems of the library's collection. The anchor branches will be second only to the Main Campus in the breadth and depth of service they can provide.

The Main Campus itself, already a resource for all of Northeast Ohio, is one of the library's greatest assets and a critical part of its identity. Its vast resources maintain Cleveland Public Library's identity as a research institution and "The People's University". As the master plan is implemented the Main Library will lean more heavily on the 'people' aspect of that to reflect their system-wide priorities. The Main Campus will still be a 'Storehouse of Knowledge' but it will work in concert with a new

storage and distribution center that will allow lesser used material to be stored off-site creating opportunity to claim more space for people. This facility would combine the function of portions of the closed stacks space downtown with that of the storage facility at Lakeshore while also expanding capacity. Moving the facility to a central location will allow the library to efficiently distribute circulating collection to its branch libraries and leverage that ability to reduce the amount of space required for collection in all of its buildings. This function will play a crucial role in the service model and is one of the building blocks of the bold changes described in this document.



Neighborhood Branch

MAINTAINING AN ACCESSIBLE NETWORK

Cleveland Public Library maintains a broad reach in the city's urban neighborhoods with a dense network of smaller branches. This provides access to a critical service for the large population of patrons who rely on walking or public transportation to get to their local branch. All branches serve the role of a **Neighborhood Branch** and include its core elements though some will expand from that baseline level of service.

NEIGHBORHOOD BRANCH BUILDING CHARACTERISTICS

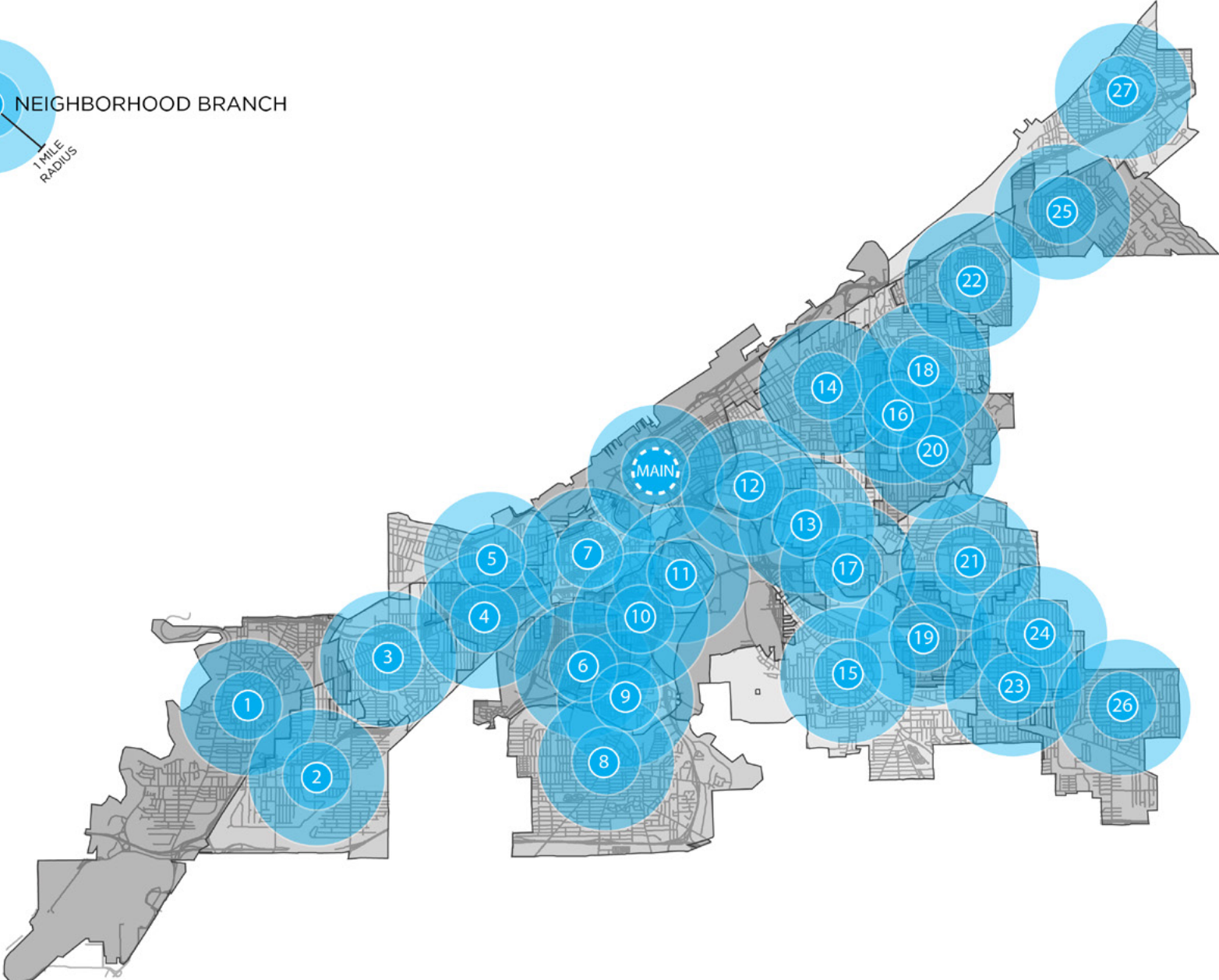
Size: 5,000 - 10,000 sf

- Neighborhood Living Room, a place to go to meet daily needs
- Collection is focused on popular material with a bookstore feel
- Flexible meeting/event room to serve min 40 people, may be converted to general use space when not in use
- Interior space shall be organized around a flexible public gathering area that serves as a 'Community Living Room'
- Public space will be highly flexible with mobile shelving and furniture
- Includes minimum 1-2 small group study rooms or similar defined collaborative spaces
- Dedicated computer area w/ fixed stations and 'laptop bar', basic copy/print function
- Dedicated children's area with small scale interactives area
- Defined Teen area that may be used for other functions during the school day
- Consider 24/7 lobby or book lockers for extended service hours
- These branches will set the baseline level of service that larger branches will build upon

BRANCH LOCATION KEY

[NEIGHBORHOOD BRANCHES **BOLD**]

1. West Park
2. Rockport
- 3. Eastman**
- 4. Lorain**
5. Walz
- 6. Fulton**
7. Carnegie West
8. South Brooklyn
- 9. Brooklyn**
10. South
- 11. Jefferson**
- 12. Sterling**
13. Woodland
- 14. Addison**
15. Fleet
- 16. Hough**
- 17. Garden Valley**
- 18. Langston Hughes**
- 19. Union**
20. Martin Luther King Jr
21. Rice
- 22. Glenville**
23. East 131St Street
24. Mt Pleasant
25. Collinwood
26. Harvard-Lee
- 27. Memorial Nottingham**



Community Hub

EXTENDING SERVICE EFFICIENTLY

A resident of communities served by the Cleveland Public Library should not have to travel more than two miles from their Neighborhood Branch to access a **Community Hub**. These Hub branches are located directly on transit lines to facilitate easier access from the greater community.

COMMUNITY HUB BUILDING CHARACTERISTICS

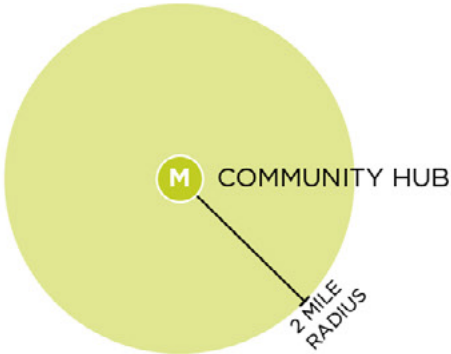
Size: 12,000 - 15,000 sf

- Resource Center, a broader scope of service that still has a community focus
- Collection is still focused on popular material but may have a heavier reference area
- Meeting to serve min 80 people, dividable. Consider after-hours access
- Public space is still organized around a 'Community Living Room' and highly flexible
- Includes minimum 2-3 small group study rooms or similar defined collaborative space
- Dedicated computer area w/ fixed stations and 'laptop bar', business center function
- Dedicated children's area with larger scale interactives area, possibly dedicated children's program area
- Defined Teen area with gaming
- Provide a flexible maker/program space that supports traveling programs, this may occur in the large meeting room
- Extended hours
- These branches should approach what patrons are accustomed to seeing at branches in surrounding county system that serve larger geographic areas

BRANCH LOCATION KEY

[COMMUNITY HUBS **BOLD**]

- 1. West Park**
- 2. Rockport**
3. Eastman
4. Lorain
- 5. Walz**
6. Fulton
- 7. Carnegie West**
- 8. South Brooklyn**
9. Brooklyn
- 10. South**
11. Jefferson
12. Sterling
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- 27. Memorial Nottingham**



Regional Anchors

CREATING AN ICONIC PRESENCE

Identifying select branches as **Regional Anchors** affords the library the opportunity to create locations that provide experience and resources that go beyond the typical library. These locations house special collections in iconic buildings that can serve as venues for larger scale civic events.

REGIONAL ANCHOR BUILDING CHARACTERISTICS

Size: 20,000 - 30,000 sf

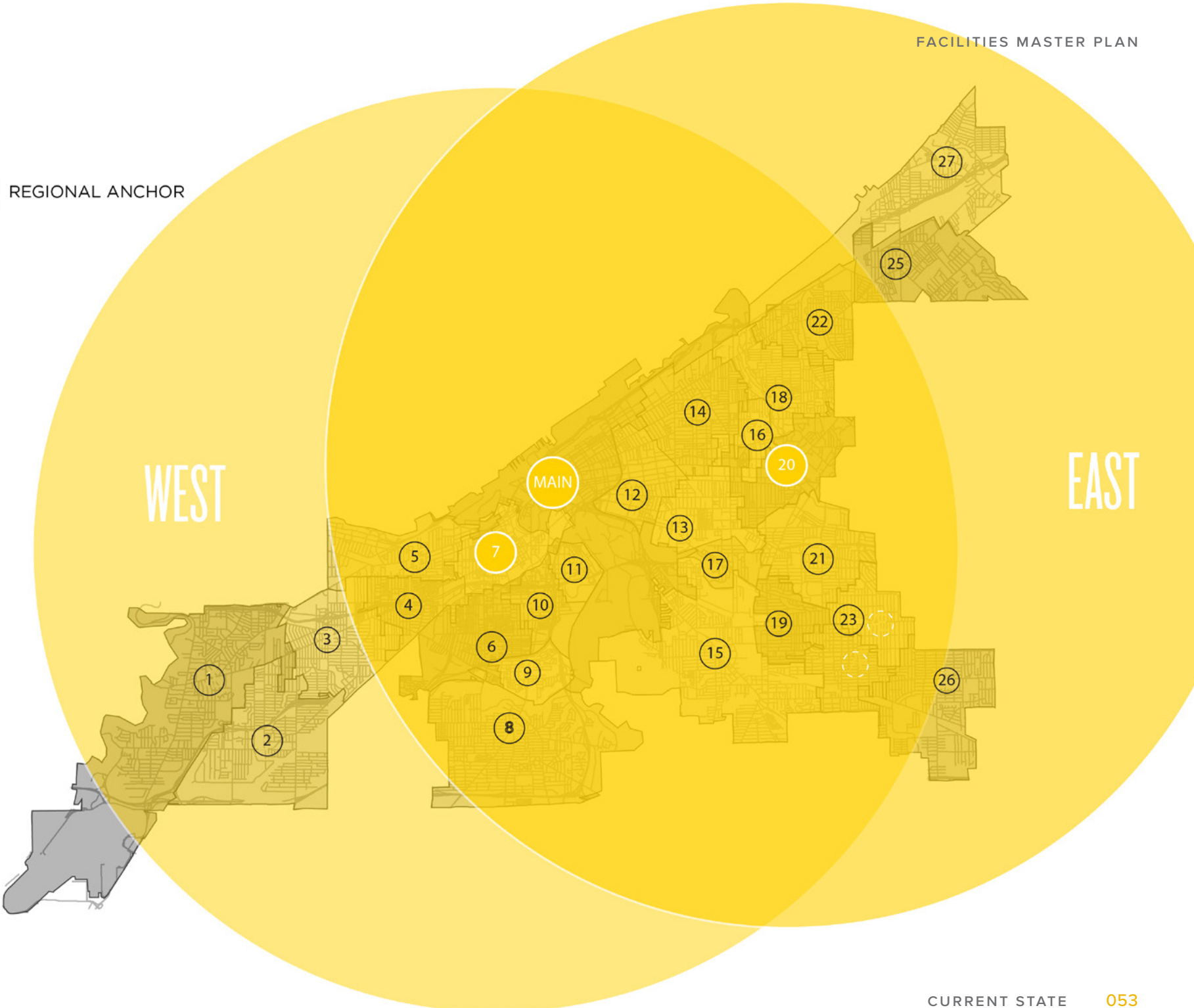
- A Destination, a unique experience and location for large scale civic events
- In addition to popular material there may also be a significant special collection
- Includes a large scale meeting/auditorium space in addition to a more flexible meeting space similar to those located in community libraries
- Public space is still organized around a 'Community Living Room' and highly flexible, the living room concept may be part of a larger public forum at these locations
- Includes minimum 2-3 small group study rooms or similar defined collaborative space
- Dedicated computer area w/ fixed stations and 'laptop bar', business center function
- Dedicated children's area with larger scale interactives area, possibly dedicated children's program area
- Defined Teen area with gaming
- Includes some special collection, exhibit or other unique experience
- Extended hours
- These branches are a destination and provide services that support the entire city in addition to their immediate community.

BRANCH LOCATION KEY

[REGIONAL ANCHORS **BOLD**]

1. West Park
2. Rockport
3. Eastman
4. Lorain
5. Walz
6. Fulton
- 7. Carnegie West**
8. South Brooklyn
9. Brooklyn
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L REGIONAL ANCHOR



Institutional Core

UPHOLDING INSTITUTIONAL IDENTITY

Cleveland Public Library is an institution that serves all of Cleveland and beyond. It's vast collection and reputation as a renowned research institution make it a resource for the entire region. Creation of a new central distribution facility will enhance the library's ability to share material within its own system as well as other libraries in northeast ohio as they continue as a primare storehouse for all of CLEVNET.

INSTITUTIONAL CORE BUILDING CHARACTERISTICS

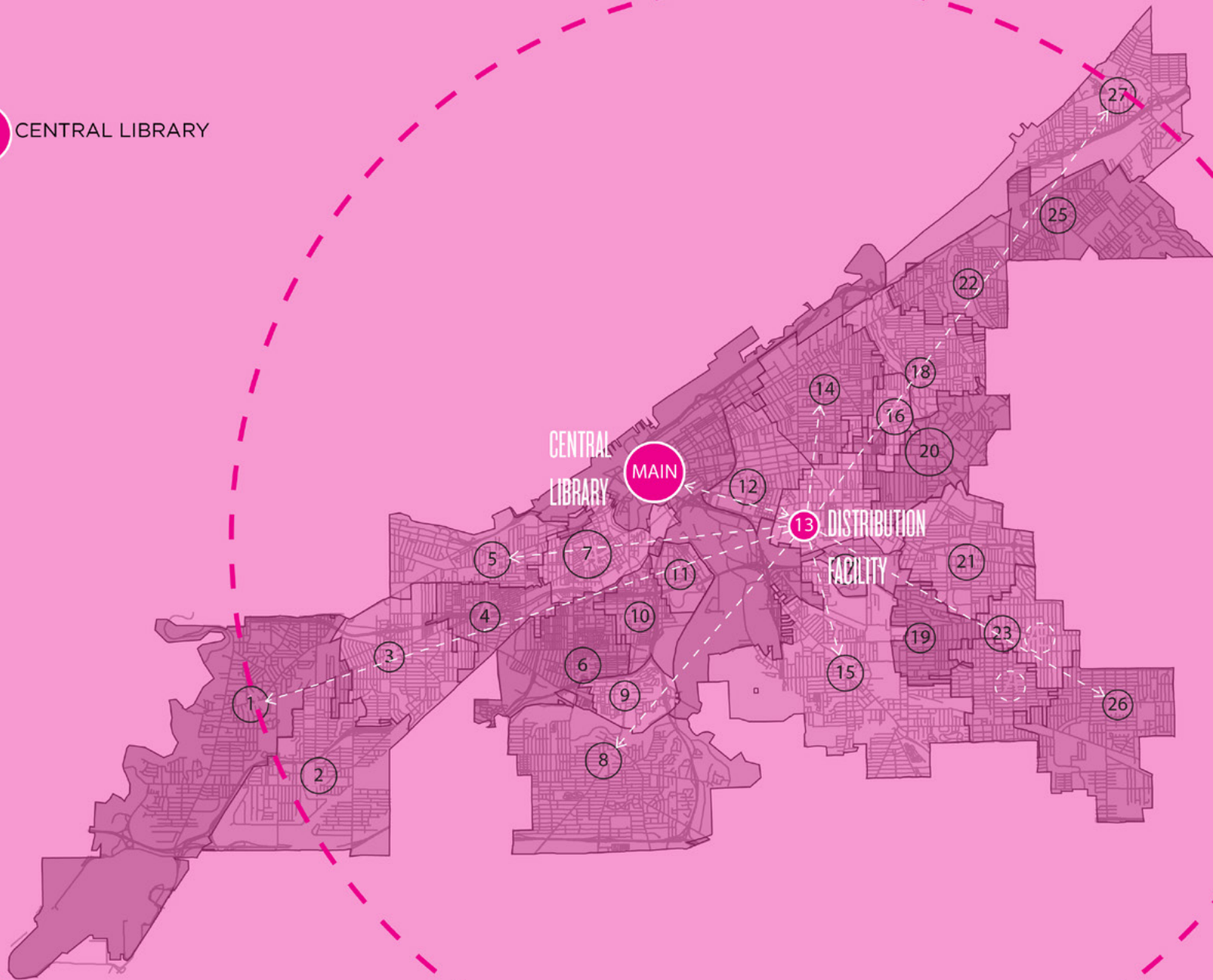
Size: 500,000+ sf

- Storehouse of Knowledge, an institution that serves all of Cleveland and beyond
- Collection maintains CPL's identity as a research institution and "The People's University"
- Includes a large scale meeting spaces including auditorium and a conference center
- Most desireable space in the building focused on public gathering
- Provides large, technology intenvisce maker spaces in addition to public computing
- Dedicated Children's floor with large scale interactives and program rooms
- Extended hours for all or a portion of the library
- The reach of the Main campus extends across the system and out to the region beyond

BRANCH LOCATION KEY

1. West Park
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XL CENTRAL LIBRARY



One Size Does Not Fit All

Creating a branch structure organized around a deliberately planned mix of branch types builds on the resilience of the library's existing system. With all the branches growing from a consistent baseline in the Neighborhood Branch model, a visitor to any location of the Cleveland Public Library should be greeted by the same people-centric spaces. A regular patron of one branch should recognize that structure in another branch across town and feel immediately familiar with it. This promotes ease of use for patrons shifting from branch to branch and creates a consistent brand for the library. That consistent brand should carry through to things like signage and furniture selection as well.

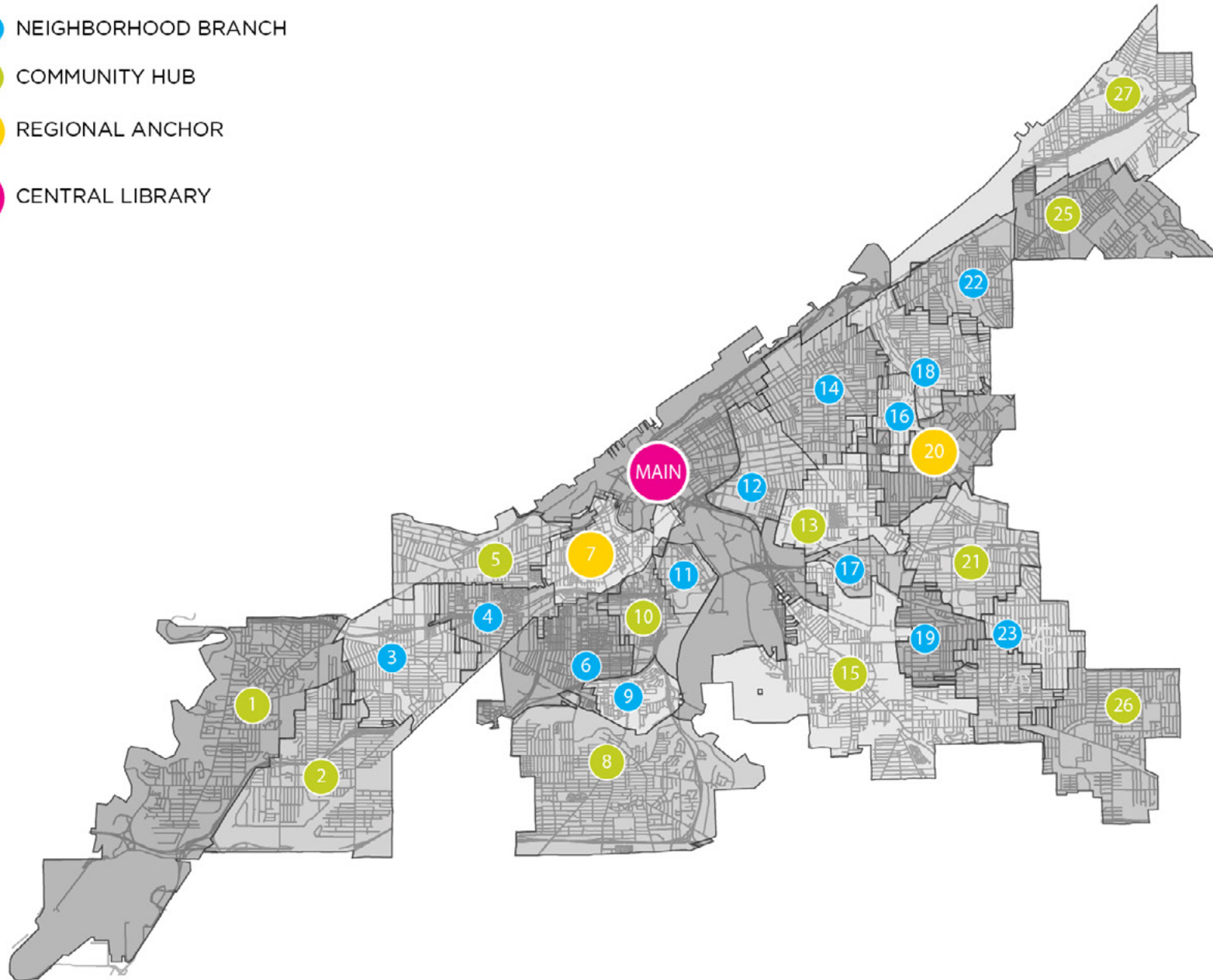
Informed by the library's Strategic Priorities these branch models were the foundation of decisions made in the recommendations for all the buildings in the system. They define a framework that focuses the development of individual branches towards a common goal.



BRANCH LOCATION KEY

1. West Park
2. Rockport
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- S** NEIGHBORHOOD BRANCH
- M** COMMUNITY HUB
- L** REGIONAL ANCHOR
- XL** CENTRAL LIBRARY



“
**We shape our buildings, and afterwards,
our buildings shape us.**

—Sir Winston Churchill

SECTION 4

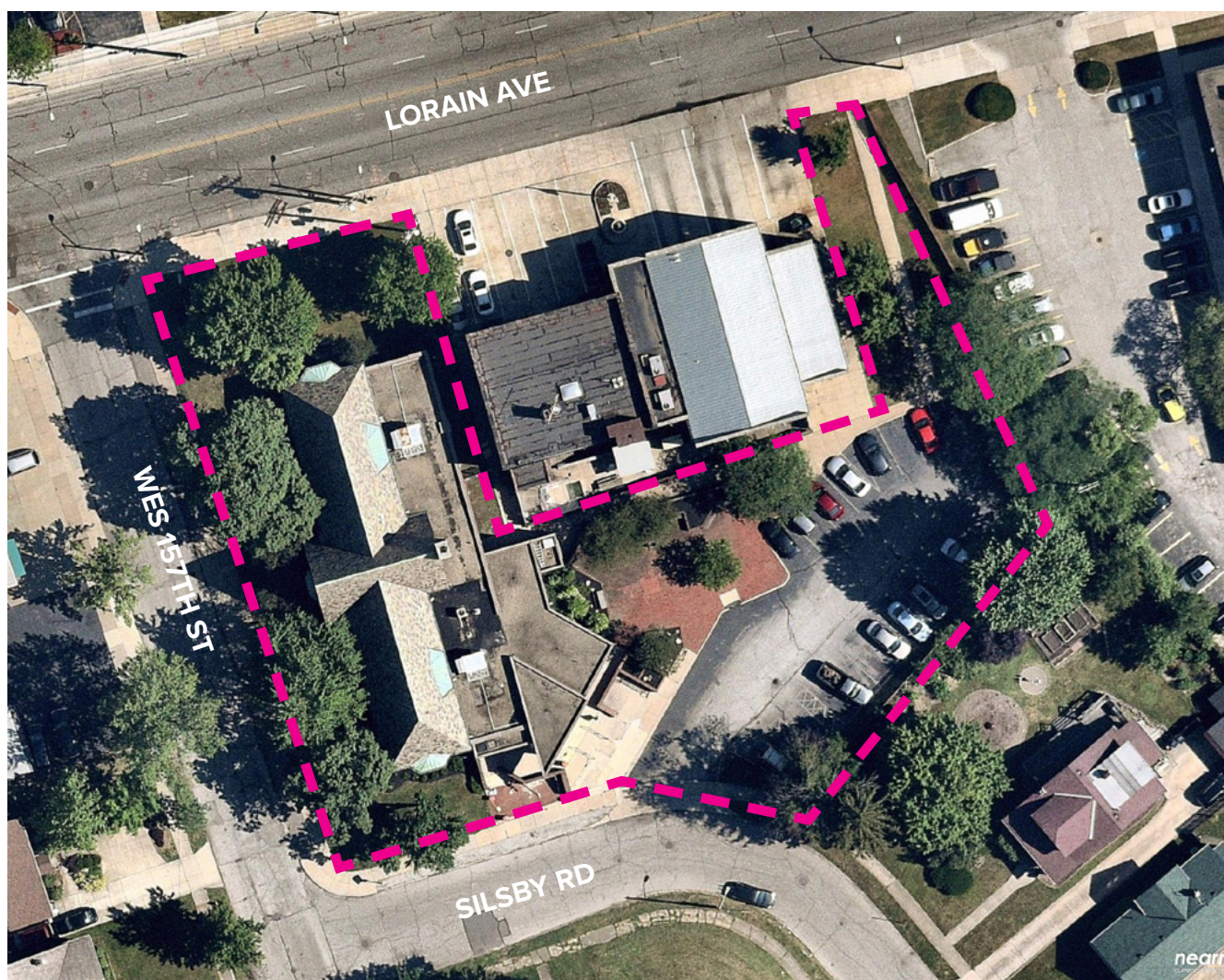
Current State & Future Vision

West Park Branch

West Park Neighborhood



Branch Information



BRANCH STATISTICS

Location: 3805 West 157th St

Year Constructed: 1928 (renovated 1978)

Size: 14,400 sf

Parking: 22 spaces

The Cleveland Public Library, West Park Branch was built in 1928 with an addition housing a new entry and restrooms built in 1978. It is located at 3805 West 157th Street on the city's west side. It is near the corner of 157th and Lorain with the entry and parking in the rear off of Silsby Road. The building is 14,400sf with an occupied basement. Collections, and children's areas are on the first floor with a meeting rooms storage and mechanical spaces in a basement with no elevator access. The original building is clad in red brick with stone trim and a slate roof. The windows are original wood and leaded glass with outboard storms installed. The addition is red brick with a flat roof. The original vaulted ceiling and clerestory windows have been covered by a dropped ceiling

Community Outreach

OUTREACH SUMMARY The two primary concerns for West Park patrons were the deferred maintenance, particularly around the entrance from the parking lot, and the limited parking area. Additionally, though the basement meeting rooms are quite large, lack of accessibility is a barrier for programming them. Meeting attendees were open to the idea of relocating the branch entirely if need be, particularly in collaboration with the nearby YMCA facility. However, a potential alternative would be to remove & rebuild the building addition

from the historic Walker & Weeks building, install a new back entrance to the parking lot, and add an elevator to the basement area. This addition could also provide space for a teen room, which patrons felt was important. Expanding the parking lot is also a top priority, as is improved signage/landscaping for visibility of the branch along Lorain Ave.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)



Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Find opportunities for expanded parking
- Address ongoing maintenance and upkeep issues
- Investigate rebuilding existing addition to address maintenance, entry, and accessibility needs
- Add elevator to make downstairs rooms accessible
- Overhaul front entrance and ramp access
- Explore reopening original entrance on W 157th for pedestrian access
- Create a separate space for teens
- Explore additional types of seating and study areas
- Use “front lawn” area for better signage, landscaping, lighting along Lorain Ave
- Pursue collaborations (and perhaps consolidation?) with YMCA
- Expand programming and events geared to families and seniors
- Explore staying open later on weeknights and on Sundays

1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



86,837 VISITS

CIRCULATION



200,895 ITEMS ↑
1ST HIGHEST OF 27 BRANCHES

SERVICE AREA POPULATION

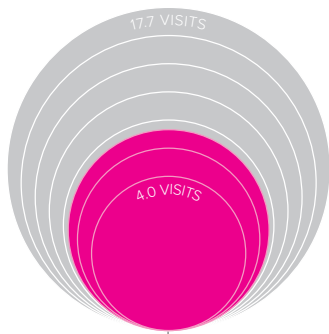


27,814 RESIDENTS ↑
2ND HIGHEST OF 27 BRANCHES

2 OCCUPIED AREA ANALYSIS

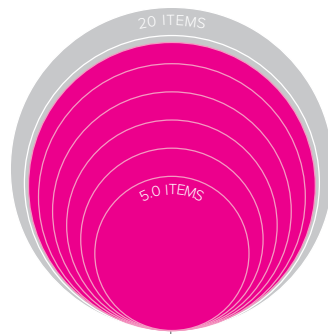
CURRENT OCCUPIED SQUARE FOOTAGE: 12,700 SF

ATTENDANCE

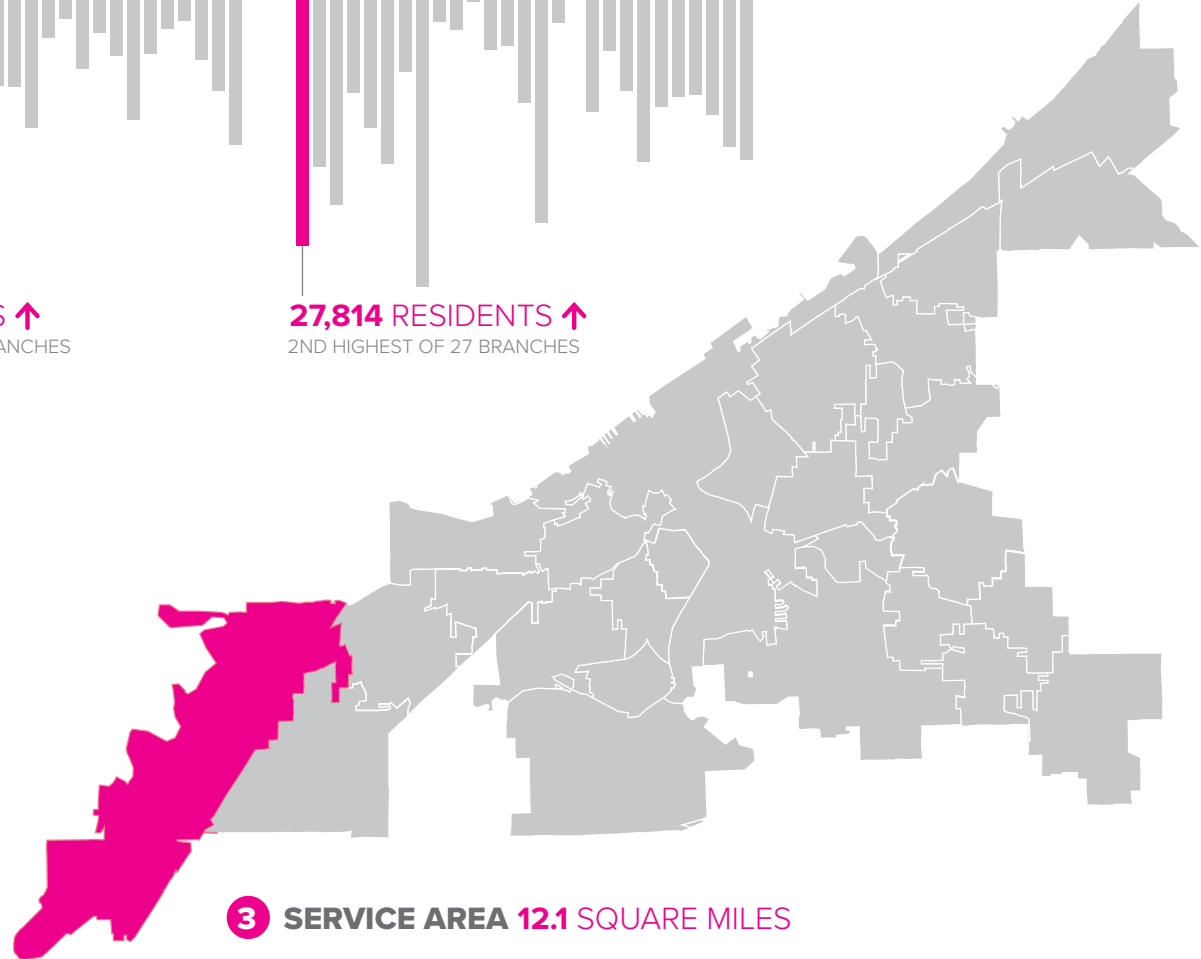


6.8 VISITS PER SF

CIRCULATION



15.8 ITEMS PER SF



3 SERVICE AREA 12.1 SQUARE MILES

KEY

DATA REPRESENTATION

- System Wide
- Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL While the historic structure housing the West Park branch has been reasonably well maintained there are major accessibility issues and some significant building deficiencies that need to be addressed if it is to continue serving its community. The addition of an elevator would be required to make meeting rooms in the basement accessible and the restrooms require major renovation to be brought up to ADA guidelines. There are areas of localized water damage throughout the building, this is anticipated to be primarily resulting from roof leaks but there are also issues in the lower level where the building was added on to. In general, the interiors are functional but are in need of updating.

SITE The library is located on a reasonably sized site with a dedicated parking lot, green space and hardscape plaza. There are site maintenance issues throughout but the brick plaza and associated planters and furnishings is in very poor condition. If the library wishes to maintain it as a usable public space, the plaza requires a significant overhaul.

MECHANICAL The West Park Branch HVAC system consists of three HVAC units. There are two rooftop units that are in poor condition and one single zone air handler in the basement that is in fair condition. There are two 80% efficient boilers. The air handlers and condensing units are close to the end of their service life; they should be replaced within the next five years. The age of the ductwork makes the lining suspect; the ductwork should be replaced. When the units are replaced, consideration should be made to go to a Variable Air Volume system with a Building Automation System for increased system efficiency. One boiler was replaced in 2009 and the other was installed in 2012, and both boilers are in good condition. The three heating water pumps are past their service life and should be replaced. The main gate valves are badly rusted and should be replaced. Insulation at the air handler is in poor condition and should be replaced.



Exterior - 1928



Fireplace - 1928

PLUMBING The West Park Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2000, has reached the end of its useful life, and should be replaced. The expansion tank is not properly supported and should be replaced. Plumbing fixtures are in proper working order. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. Water closets, the urinal, and lavatories are not ADA compliant; they should be reconfigured or replaced. The roof drain strainers are in poor condition and should be replaced. Rainwater is being discharged beyond the gutter system and is collecting on the lower roof. A splash block should be added to the gutter system so that it retains all rainwater from the upper roof.

ELECTRICAL The electrical systems in the West Park branch are aged, but operational. The West Park distribution system contains a variety of code violations including working clearance and absence of appropriate fire stopping for conduit penetrations. Replacement of the existing West Park distribution equipment should be considered due to the age of the equipment and the difficulty in acquiring the appropriate overcurrent devices, which are no longer manufactured. Additionally, due to limited spare capacity in the existing branch panels, any new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to the existing fire alarm system. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The West Park library is absent of site lighting. Exterior pole mounted fixtures should be added to properly illuminate the parking area. The West Park branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$1,938,732



Entryway stair



Computer area

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

- Highest circulation numbers in the system
- Historic entrance is closed off
- No defined teen area
- The building sits back from the street limiting visibility
- Limited visibility and sightlines within the building interior
- No small quiet study spaces
- Meeting rooms located at the lower level are not handicap accessible
- On-site parking is limited
- Changes made during the 1978 addition have concealed much of the historic character of the building interior

Branch Recommendations

RENOVATION AND ADDITION

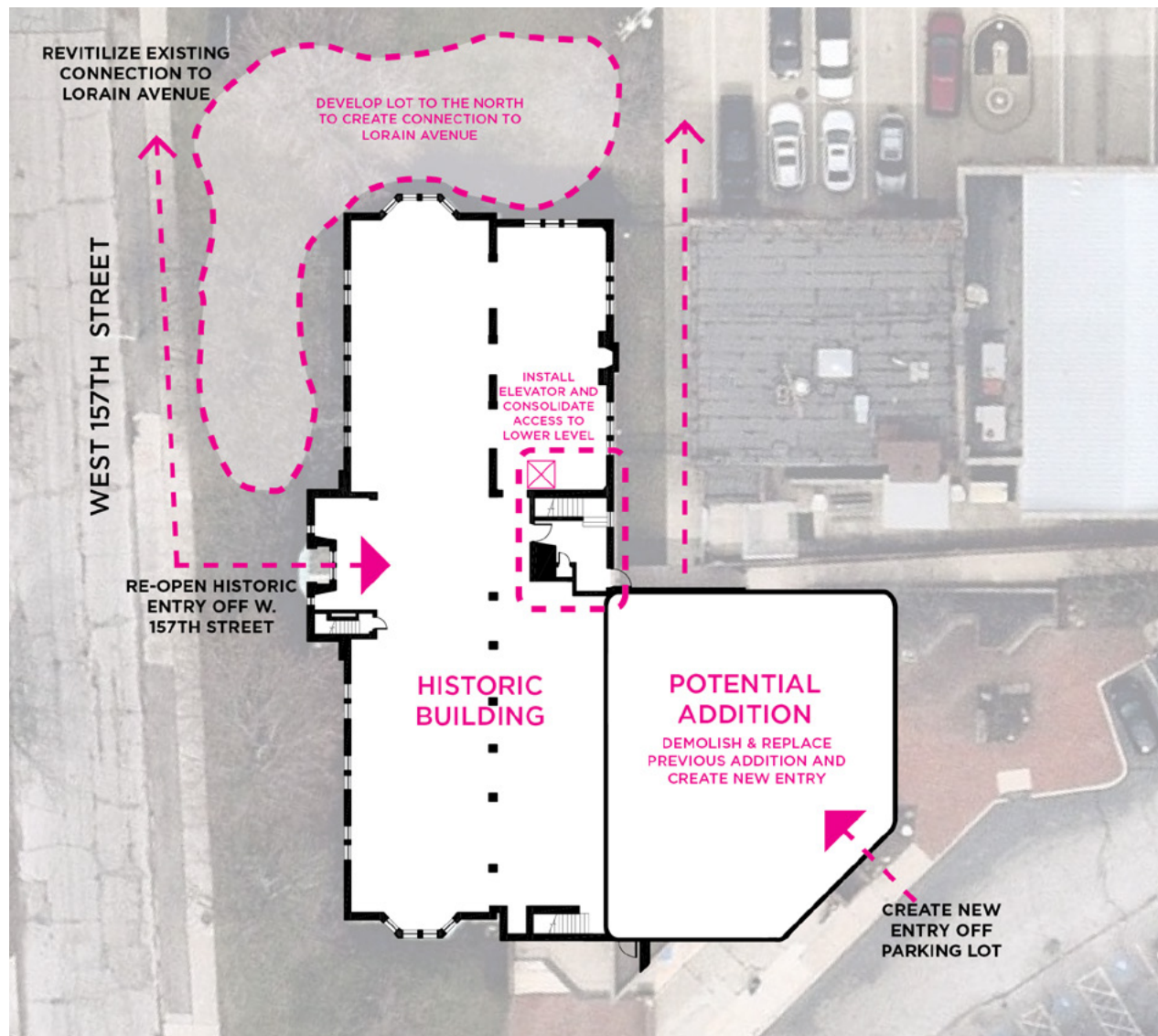
CURRENT STATE This branch is one of three branch buildings designed by renowned Cleveland architects Walker & Weeks. The historic building is unique and retains its historic character with most of the envelope, with the exception of the roof, in good condition. The location of much of the program area in the lower level with no elevator creates significant accessibility problems. The location on the site as well as changes made when an addition was built in 1978 limit the building's visibility from the street as well as sightlines within. West Park is well used with the highest circulation numbers in the system.

FUTURE VISION It is recommended that this branch be substantially renovated, including demolition of the 1970's addition with a new addition of similar size built in its place. The historic building could be retained with the addition of an elevator to access the lower level. Reopening the original entry and removing dropped ceilings to reclaim the historic vaulted ceilings would create a dramatic entry sequence with a more public face. Site work would focus on improving connection to Lorain and the YMCA site as well as adding parking, potentially with a remote lot across Silsby.



Interior Prior to Renovation- 1928

Future Vision

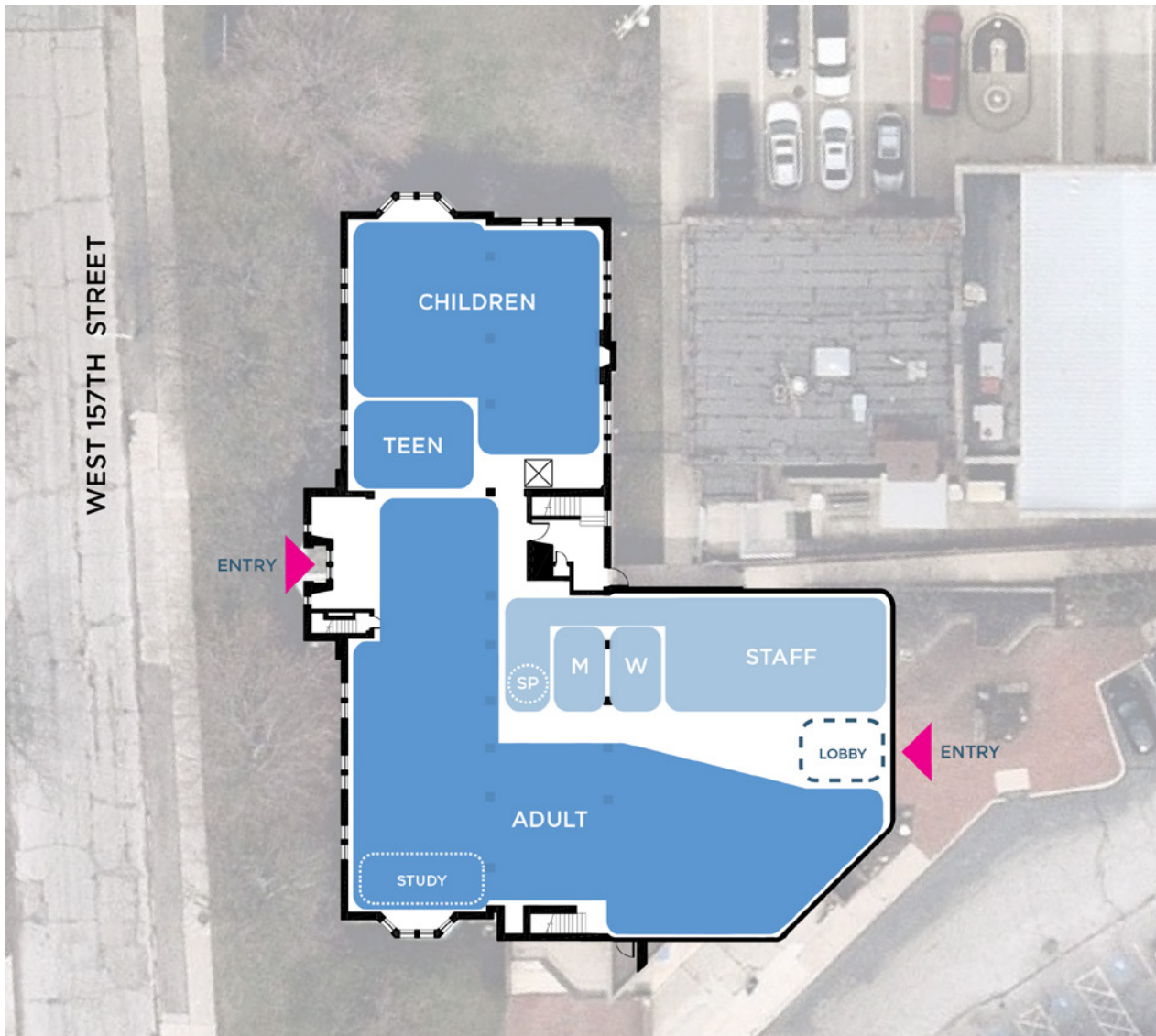


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Demolish 1978 addition at the south side of the building and create new addition
- Re-open historic entrance off of East 157th Street
- Renovate branch to make more efficient use of the space
- Create new reading garden north of the building
- Create a defined teen space
- Improve connection from Lorain Avenue along West 157th Street
- Install elevator to access lower level
- Improve wayfinding
- Create new 'Community Living Room'
- Add small quiet study space near the adult collections
- Improve children's collection with larger interactives area
- Consider an after-hours lobby or book lockers for extended service
- Remove dropped ceilings to reclaim historic vaulted ceilings
- Explore options for creating parking across Silsby

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

RENOVATION AND ADDITION

Total Cost of Implementation: **\$4,700,000**

INCLUSIVE OF DEFERRED MAINTENANCE COSTS

Rockport Branch

Bellaire-Puritas Neighborhood



Branch Information



BRANCH STATISTICS

Location: 4421 West 140th St

Year Constructed: 1964

Size: 9,200 sf

Parking: 30 spaces

The Cleveland Public Library Rockport Branch was built in 1964 and is located at 4421 West 140th Street on the city's west side between Puritas Avenue and Belleshire Avenue. The branch is located near the corner of Puritas and 140th Street. It's sited just north of an empty grass lot which occupies the corner of Puritas and 140th Street. Access to the library is from the sidewalk and parking to the south of the building accessed off 140th Street.

The building is 9,200sf, single story, with collections, reading areas, and staff areas, and a meeting room. The building is clad in brown brick and stone veneer with a hipped, asphalt shingle roof. Floor to ceiling windows at the west elevation along 140th street along with clerestory windows at the north and south elevations allow significant light into the library.

Community Outreach

OUTREACH SUMMARY The Rockport Branch is more than at capacity, especially after school - its location on W 140th, “Education Corridor,” makes this a destination for people of all ages in Bellaire-Puritas. The new Teen Tech Center is popular and well-regarded, but in exchange, the branch no longer has community meeting space, which is needed in the larger neighborhood. Discussion of rebuilding a new, larger building on the corner were generally well-received, though some patrons like

the existing building and find it comfortable, familiar, and friendly, especially the natural light from above. Any expansion or rebuilding should include more parking and at least some exterior green space, in acknowledgement of the existing green space on W 140th/Puritas.

Outreach for this branch was performed as part of the facilities master plan, see Process section for summary of the outreach process.



Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Consider rebuilding branch with front entrance on Puritas, green space on W 140th St
- Create large and small community meeting space(s)
- Provide a range of comfortable, flexible seating & work areas, including quiet work space(s)
- Expand the bike rack - work with local fabricators
- Improve signage and lighting on exterior
- Continue to grow technology programs/identity here
- Provide flexible technology (iPads, laptops) for in-branch use
- Hold senior-specific programs - genealogy, author talks, antiquing

1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



96,452 VISITS

CIRCULATION



180,751 ITEMS ↑
2ND HIGHEST OF 27 BRANCHES

SERVICE AREA POPULATION

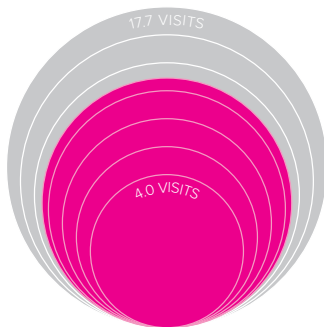


19,896 RESIDENTS

2 OCCUPIED AREA ANALYSIS

CURRENT OCCUPIED SQUARE FOOTAGE: 9,000 SF

ATTENDANCE

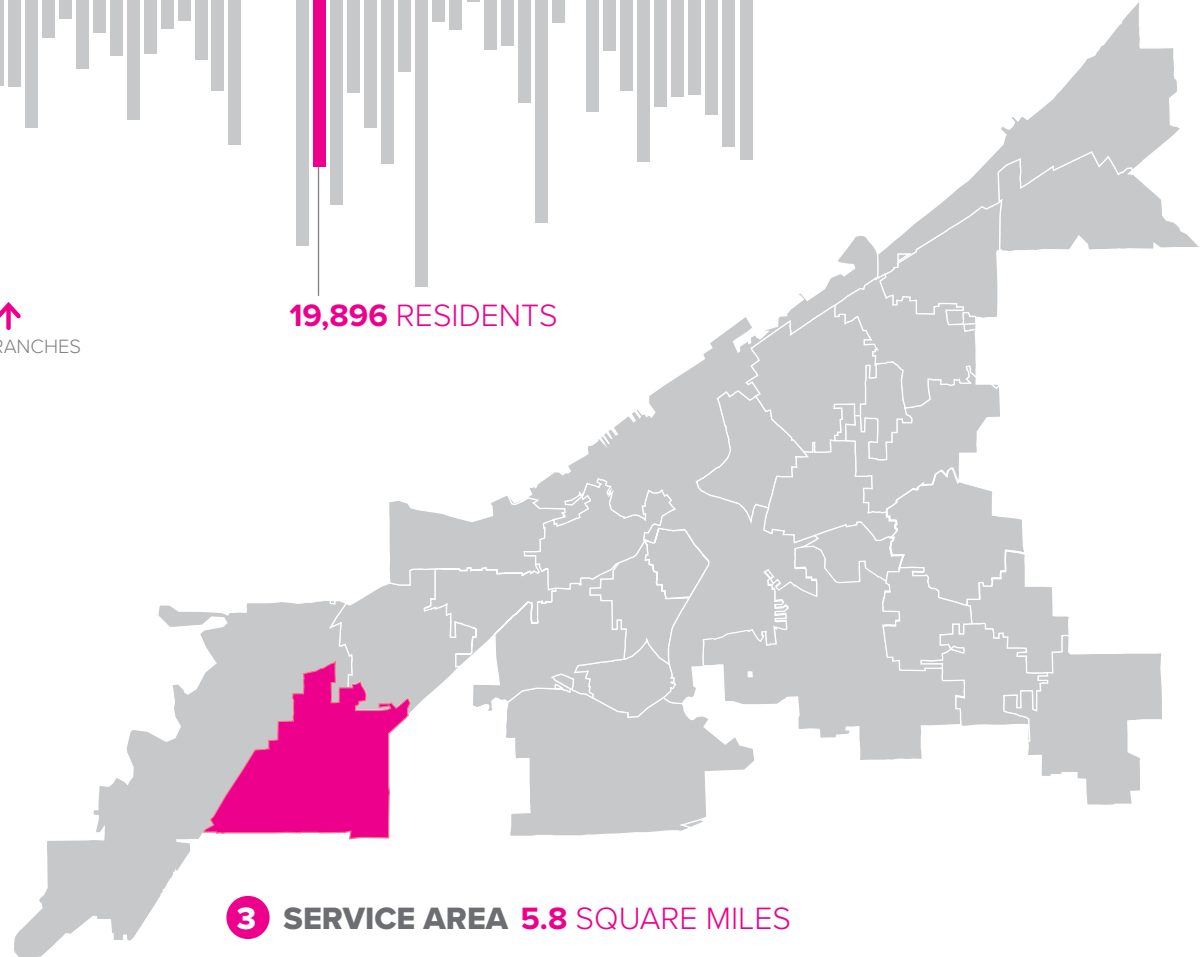


10.7 VISITS PER SF

CIRCULATION



20 ITEMS PER SF



3 SERVICE AREA 5.8 SQUARE MILES

KEY

DATA REPRESENTATION

- System Wide
- Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Rockport branch is in good condition but has accessibility issues. To provide a fully accessible library existing bathrooms will need to be renovated and brought up to current ADA standards. Single pane glazing should be replaced throughout with insulated glazing units. Finishes and millwork are worn and should be replaced in the near future with the exception of the library shelving which is generally in good condition.

SITE The library is located on a flat site with a dedicated parking lot to the south of the building. There are issues relating to the condition of the parking lot which should be repaved and restriped. There are also accessibility issues from the parking lot to the library entrance that should be brought up to current ADA standards.

MECHANICAL The Rockport Branch HVAC system consists of a split-system air handler and two 80% efficient boilers. The split system air handling unit is past the end of its service life and should be replaced. The exhaust system is in poor condition and should also be replaced. When the air conditioning systems are replaced, consideration should be made to go to a Variable Air Volume system with a Building Automation System for increased system efficiency. The two boilers were installed in 1987, are in fair condition and are at the end of their service life. They should be replaced. A secondary heating pump should be added for redundancy.

PLUMBING The Rockport Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was replaced in 2005 and is in fair condition. It has reached the end of its service life and should be replaced. The domestic water piping system is old, in poor condition, and damaged due to a roof leak in some areas. The domestic water piping system should be replaced. There currently exists no backflow prevention device; a backflow prevention device should be installed. Plumbing fixtures are in proper working order. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. Water closets, the urinal, and lavatories are not ADA compliant;



Rockport under construction - 1963

they should be reconfigured or replaced. The existing sewer and storm drainage system appears to be in working condition without issue. The gutter downspouts and elbows are old and in poor condition; they should be replaced.

ELECTRICAL The electrical systems in the Rockport branch are in average condition. The Rockport branch main distribution equipment and corresponding branch circuit panels do not have any spare capacity for future loads. Replacement of the existing Rockport distribution equipment needs to be considered due to the age of the equipment and the difficulty in acquiring the appropriate overcurrent devices, which are no longer manufactured. Additionally, due to limited spare capacity in the existing branch panels, new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to fire alarm and emergency egress lighting coverage. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Rockport library uses surface mounted wallpacks and a utility pole mounted HID fixture for site lighting. The existing wall mounted exterior fixtures and utility pole mounted HID fixture are in average/poor condition. The older burned out fixtures should be replaced, while the newer wallpacks should be maintained. In addition to this, additional exterior fixtures should be added to appropriately

illuminate the parking lot per IES recommendations. The Rockport branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

**TOTAL COST OF DEFERRED
MAINTENANCE ITEMS: \$823,234**

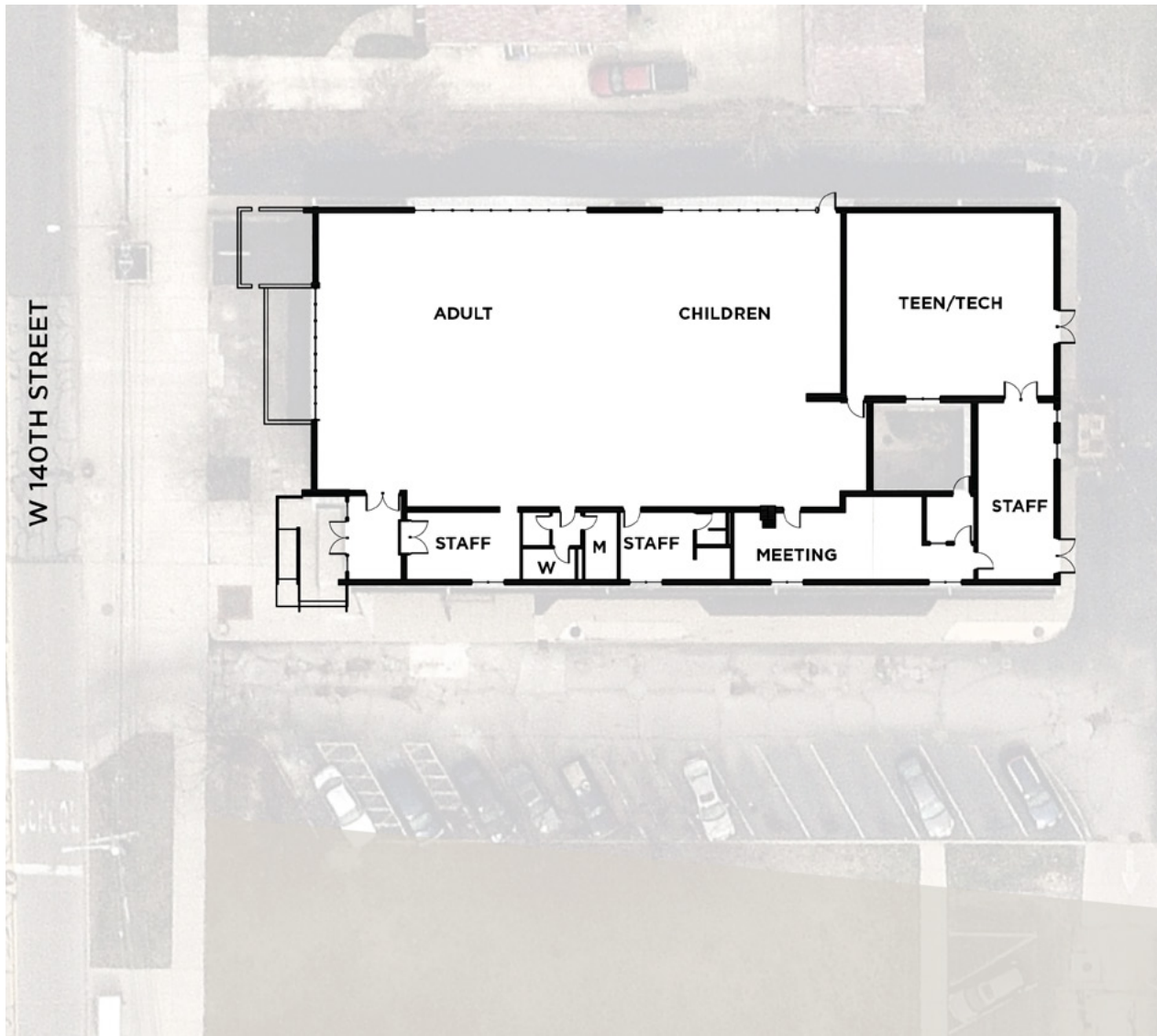


Branch Interior



Historic Eastman Garden

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

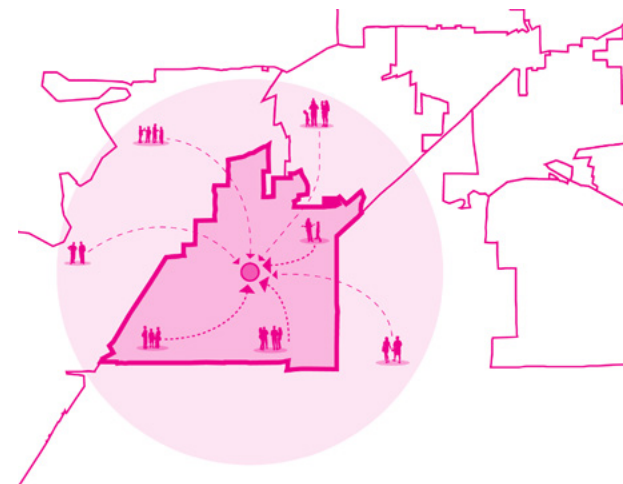
- The building lacks transparency
- Building interior is divided into distinct spaces, limiting program flexibility
- Historic Eastman Garden is appreciated by the community
- Library is centrally located and is co-located with important social and educational amenities
- Building is set back from the intersection of Puritas Ave and West 140th Street, limiting visibility
- One of the highest circulating branches in the system
- Significant maintenance and accessibility issues
- Building's design and layout do not take advantage of the site's prominent position
- Interior layout does not have good sightlines throughout and does not meet the goals of the library's service model
- Meeting room was recently turned into a teen room, leaving the community without a large meeting room.
- No defined teen area
- Staff spaces are broken up and aren't efficiently organized to best serve the community

Branch Recommendations

NEW BUILDING ON EXISTING SITE

CURRENT STATE This branch is on an excellent site but the building's design and placement does not take advantage of the prominence it provides. Located at the north end of the site with parking and undeveloped greenspace fronting the south edge the building has poor visibility from Puritas. While one of the highest circulating branches in the system the building has no dedicated meeting rooms after the creation of a new teen space, limiting its use for the community. The building has multiple maintenance and accessibility issues.

FUTURE VISION It is recommended that a new larger branch be built on the undeveloped greenspace at the corner of Puritas and 140th Street. A new, larger branch located at the corner of the site would create prominent visibility for the library and contribute to a new gateway to the 140th street education corridor. The size and location of the site as well as the heavy use of this branch set it up to become a new Community Hub branch.



Community Hub Diagram

IMPLEMENTATION COST

NEW BUILDING ON EXISTING SITE

It is recommended that the Rockport branch be built new on the same site. The facility will become a Community Hub Branch.

TOTAL COST OF IMPLEMENTATION

\$6,500,000



ARTEMUS
WARD

BELLSHIRE AVENUE

BIRCHWOOD
SCHOOL OF
HAWKEN

CHRIST
LUTHERAN
CHURCH

WEST 140TH STREET

ROCKPORT
BRANCH
LOCATION

PURITAS AVENUE



Rockport Branch

CONCEPT DESIGN

INTENT OF CONCEPT DESIGNS

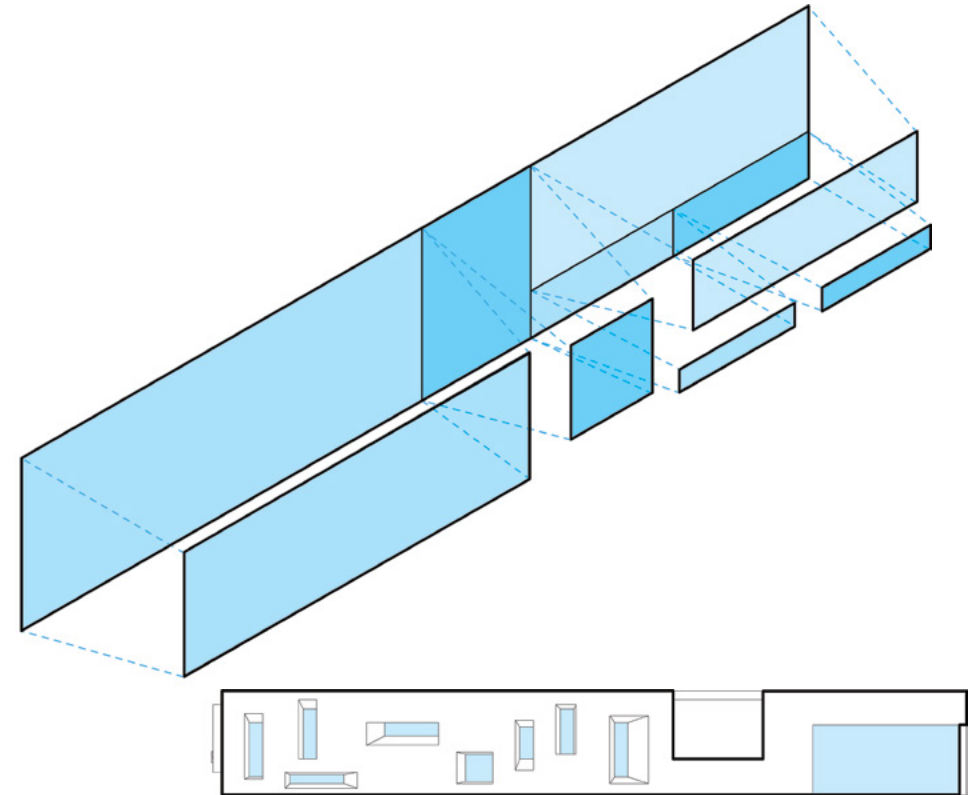
The specific branch concept designs and drawings introduced in this document are not final building designs, but outlines for how the library may choose to move forward as the plan is realized over the next ten years.

Design Inspiration

COLLABORATION The Rockport Branch is a site of collaboration within the community where individuals come together to create a statement of collective identity. The building's design visibly engages the streetscape inviting the neighborhood in, while offering a wide range of space types to facilitate after-school studying, accessing technology, or hosting larger community classes or forums.



Context Diagram - Figure Ground Study

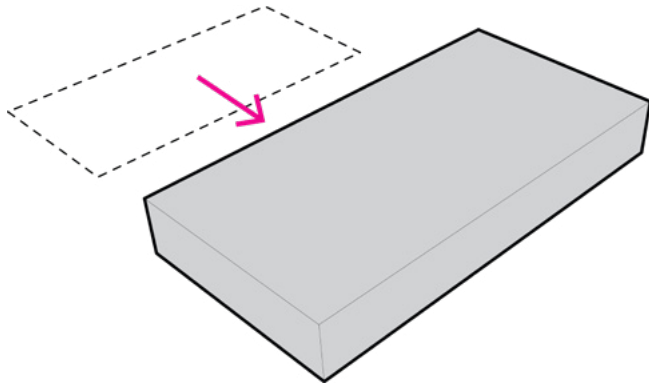


Patchwork Facade Organization Diagram

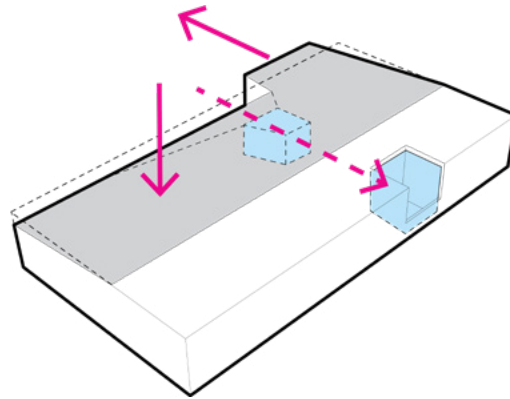


View from Puritas looking Northeast

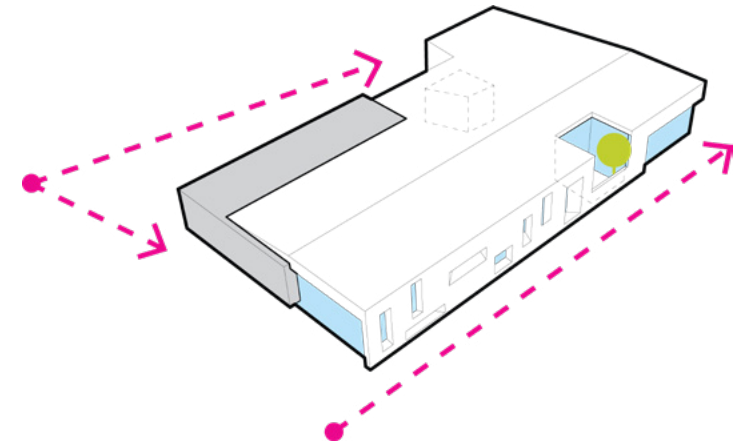
Creating Form



1. New Building Mass



2. Public Access and Soften Mass

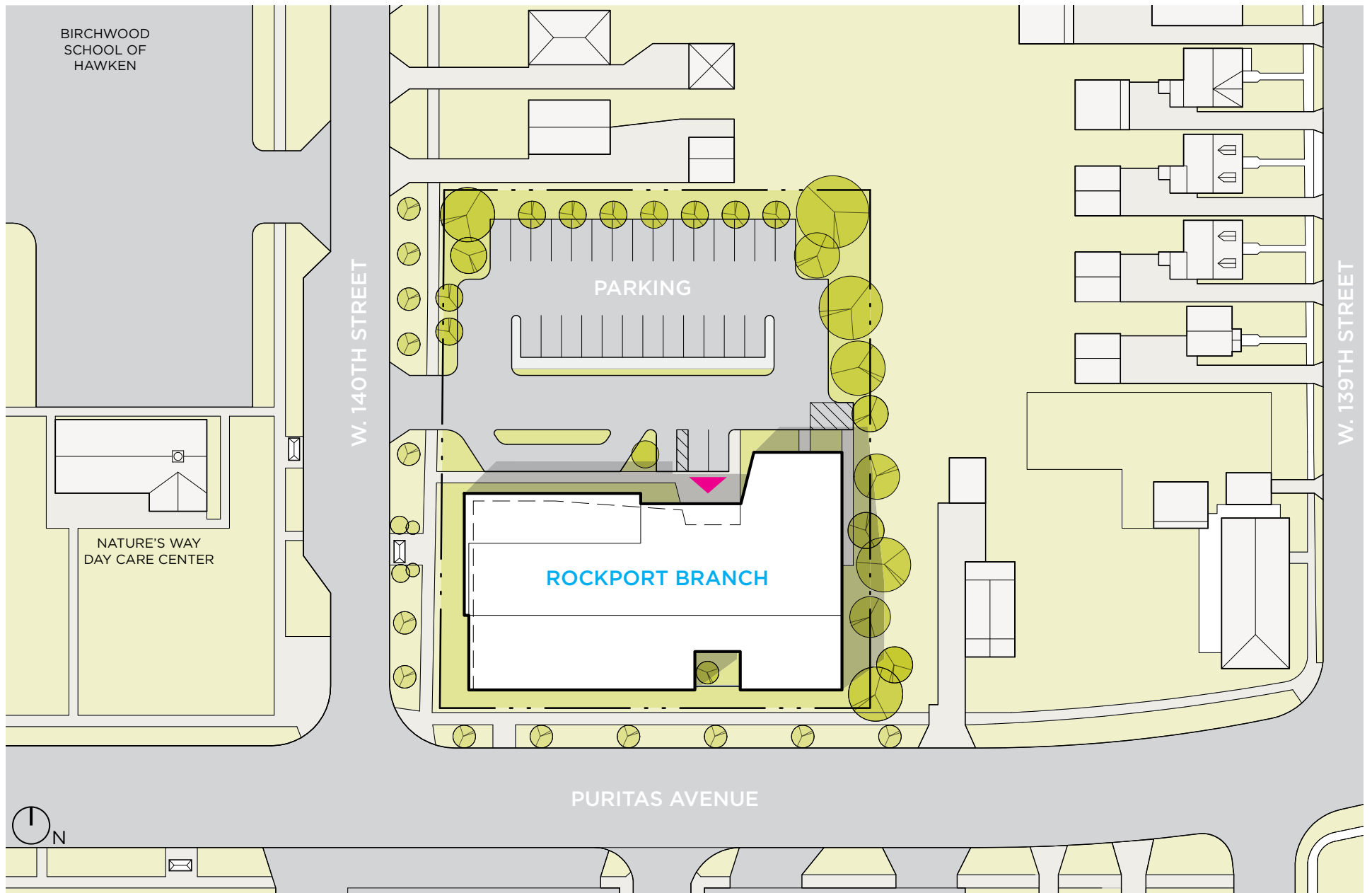


3. Activate Facades

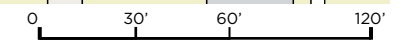
The new library's siting directly on the corner of Puritas Avenue and West 140th Street deliberately makes it more visible to the community with its mass engaging the pedestrian and street. The building is then softened by sculpting both roofscape and entry to highlight public access and entry sequence terminating in a reading garden reminiscent of the outdoor space in the former branch accessed internally. Finally, the facades embody the branches collaborative spirit through the patterning of the building skin, while the thickness of the southern facade on Puritas provides unique opportunities for collections and study niches on the interior to enrich the overall experience.

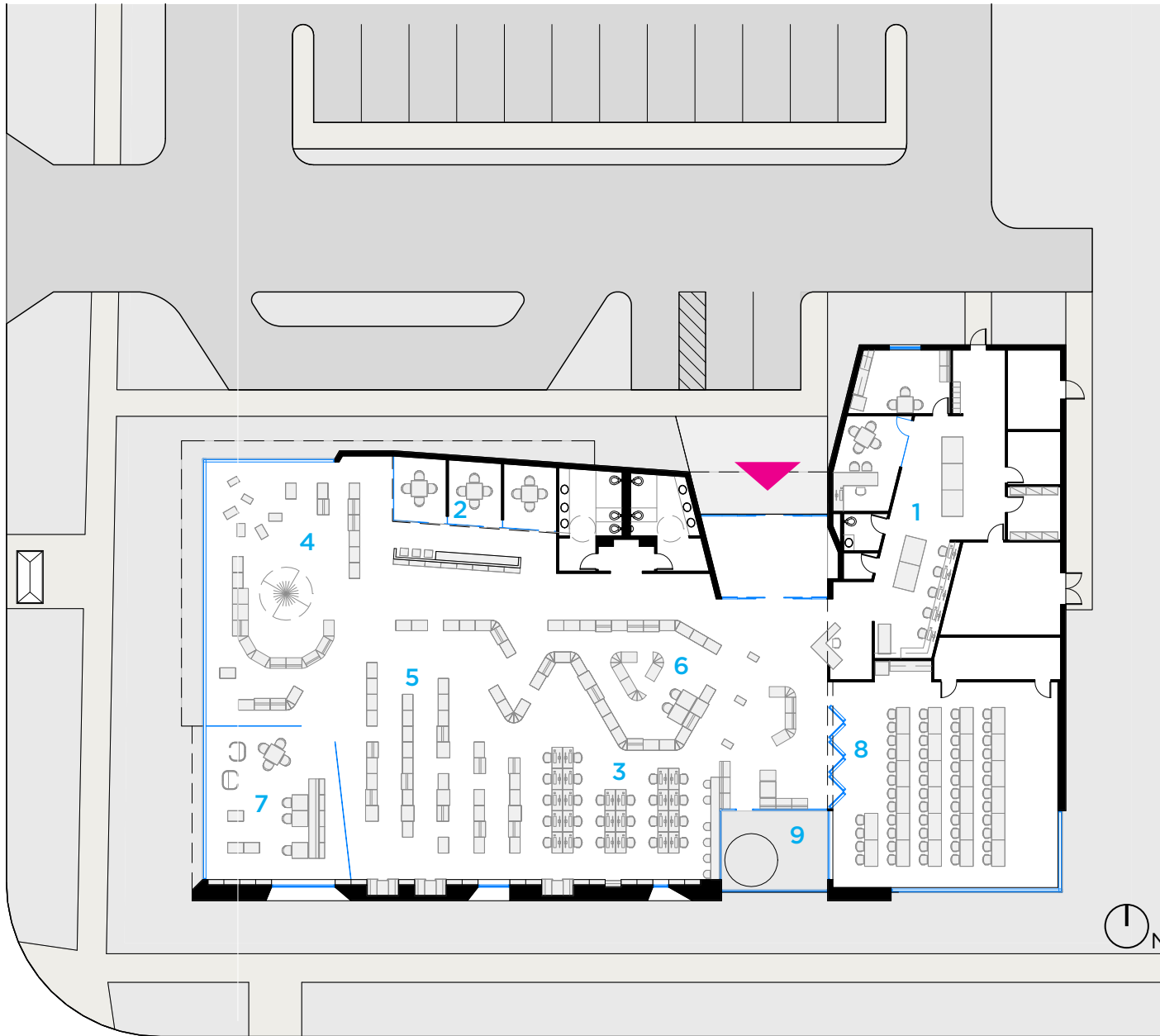


View from W. 140th looking Southeast



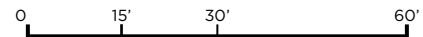
SITE PLAN





- 1 Staff Area
- 2 Small Meeting Rooms
- 3 Computers
- 4 Children's Area
- 5 Adult Collection
- 6 'Living Room'
- 7 Teen/Tech
- 8 Meeting Room
- 9 Eastman Reading Garden

FLOOR PLAN



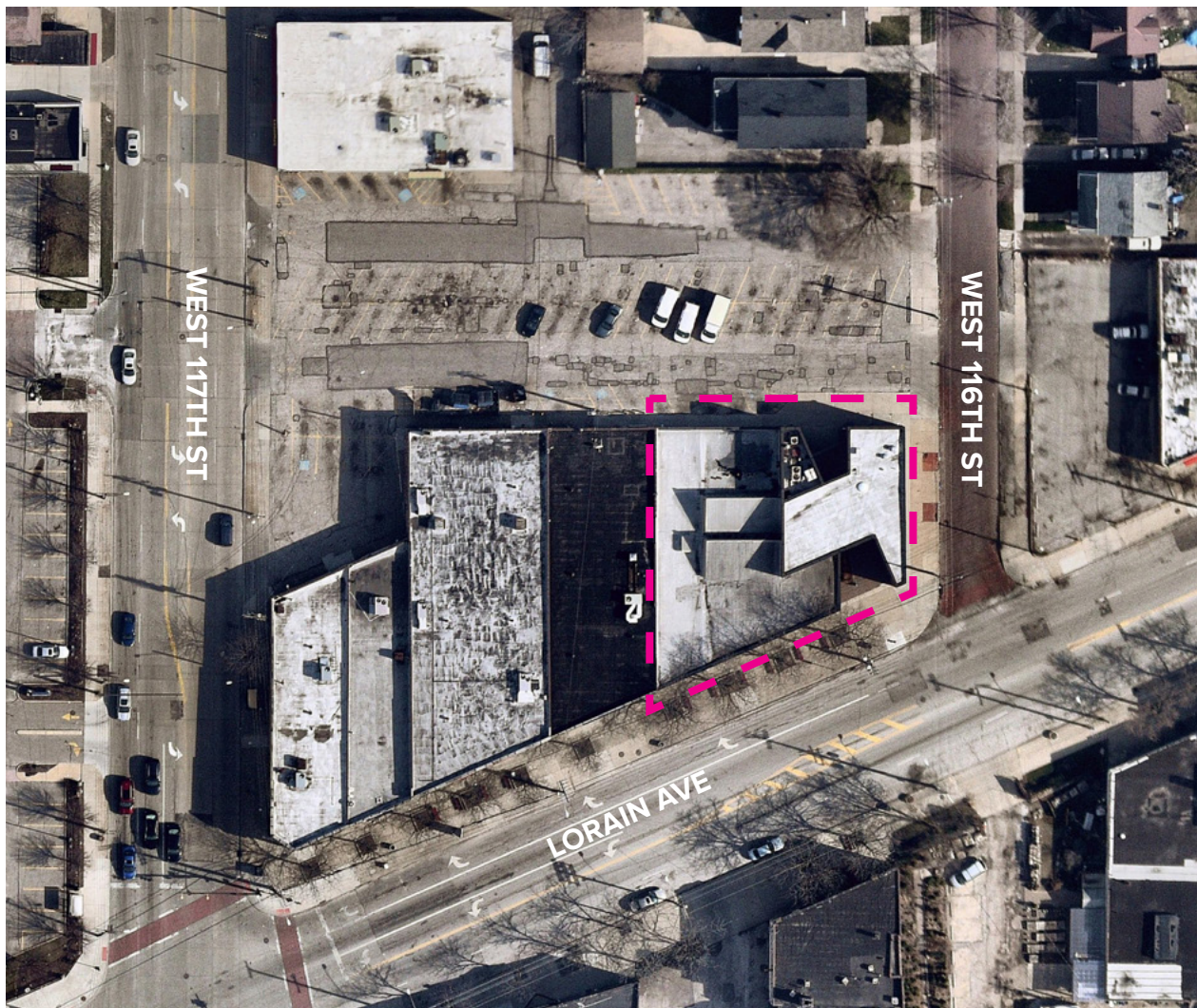


Eastman Branch

Cudell Neighborhood



Branch Information



BRANCH STATISTICS

Location: 11602 Lorain Ave

Year Constructed: 1980

Size: 12,000 sf

Parking: Shares shopping center parking lot

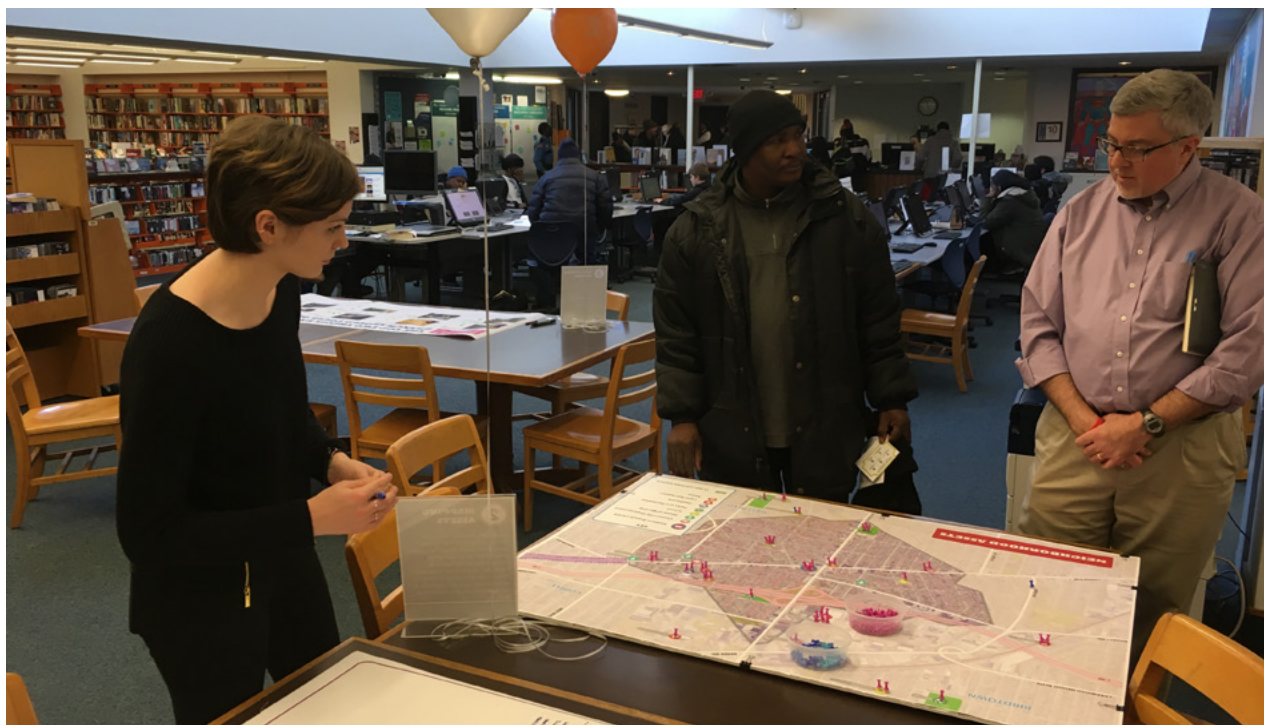
The Cleveland Public Library Eastman Branch was built in 1980 and is located at 11602 Lorain Avenue on the city's west side at the corner of Lorain and East 116th streets. It is located on a tight corner site on a major road. It shares its parking lot with the adjacent shopping center. The building is 12,000sf over two stories with collections and reading areas on the first floor and a large meeting room and staff spaces on the second floor. The building is clad in a buff brick and has few windows but large roof monitors allow light into the collections space.

Community Outreach

OUTREACH SUMMARY Though the Eastman branch currently has no usable exterior space, its central location and well-designed layout seem to function well for its neighborhood. Some small tweaks to the existing building – opening up the north wall, utilizing the landing gallery space, using the upstairs meeting room – would be welcomed to refresh the branch. The library should also work with the local CDC and the City to address the streetscape in front of the branch, especially with lighting, seating, landscaping, and signage.

Patrons enjoy the diversity and heterogeneity of their neighborhood and are proud that their library reflects this in its collection and programming; additional programs to celebrate diversity and the multi-national character of the Lorain/W 117th community would be welcomed.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)



Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Explore allowing upstairs to become a quiet reading room (when not in use)
- Find opportunities for more natural light on interior
- Reuse landing space for unique programming
- Find opportunities for outdoor seating, landscaping, and colorful lighting
- Improve signage on building exterior to draw attention
- Improve bike rack
- Work with parking lot owner to install directional signage, improve paving condition, improve lighting
- Redevelop Lorain Ave streetscape in front of library
- Improve information display, both paper and digital
- Highlight local diversity through multicultural displays & talks
- Explore staying open later, or alternative forms of after-hours access
- Encourage collaborative programming in conjunction with the Variety Theatre, local arts programs

1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



118,387 VISITS ↑
3RD HIGHEST OF 27 BRANCHES

CIRCULATION



180,473 ITEMS ↑
3RD HIGHEST OF 27 BRANCHES

SERVICE AREA POPULATION

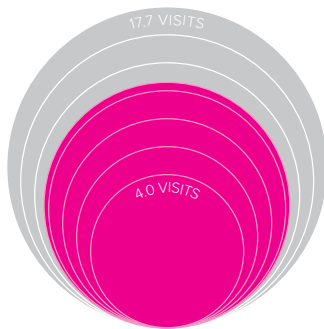


23,674 RESIDENTS

2 OCCUPIED AREA ANALYSIS

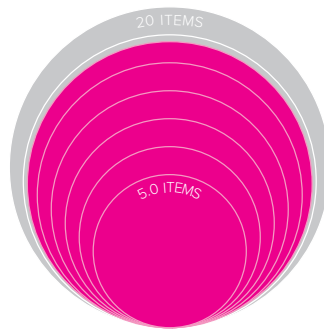
CURRENT OCCUPIED SQUARE FOOTAGE: 11,400 SF

ATTENDANCE

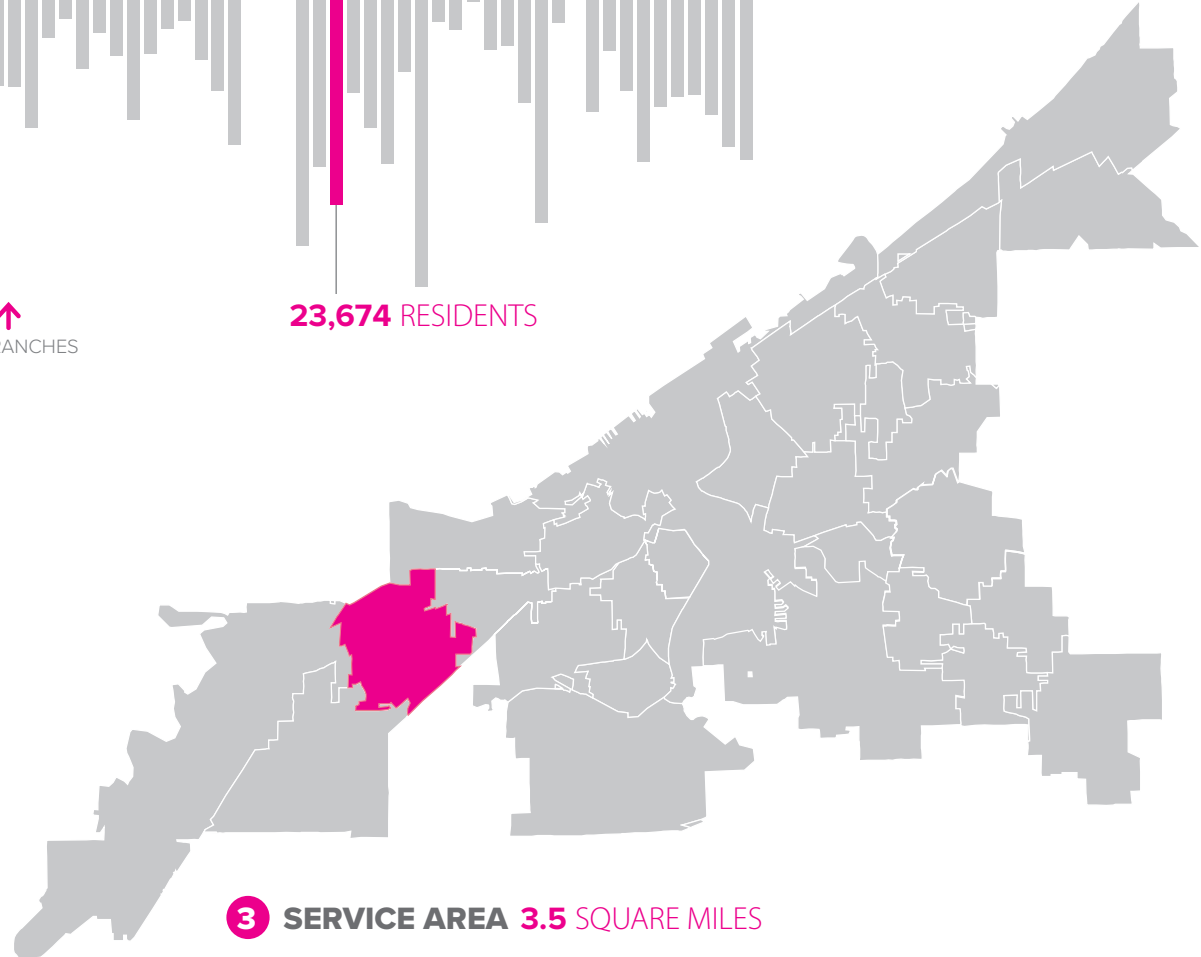


10.4 VISITS PER SF

CIRCULATION



15.8 ITEMS PER SF



3 SERVICE AREA 3.5 SQUARE MILES

KEY

DATA REPRESENTATION

- System Wide
- Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Eastman Branch building is generally in good condition but with some accessibility and life safety concerns that need to be addressed. The gates in the mezzanine stair are a potentially dangerous life safety concern because it does not swing in the direction of egress and does not have the required panic hardware. A previously noted leak in the skylights should continue to be monitored, though repairs appear to have at least temporarily corrected the issue. Public restrooms have been updated to comply with ADA, but the door hardware is non-compliant. Some minor masonry repairs are required at the base and windows. The finishes and millwork are showing signs of age and should be updated throughout.

SITE The library is on a small site and is primarily bounded by sidewalks that are in fair condition with damage in localized areas. The limited plantings and site furnishings require attention and there are areas where new planting could improve the streetscape.

MECHANICAL The Eastman Branch HVAC system consists of two constant volume split system HVAC units and two 80% efficient boilers. The split system air handlers and condensing units are in working order but are close to the end of their service life, they should be replaced within the next five years. They also utilize R-22 refrigerant which is currently not allowed for new installations and will be illegal to manufacture or import by 2020. When the units are replaced consideration should be made to go to a Variable Air Volume system with a Building Automation System for increased system efficiency. One of the two boilers was replaced in 2011 and is in good condition, the other was installed in 1997 is in fair condition and should be replaced within the next 10 years. The primary and secondary heating water pumps are past their service life and should be replaced.



Children's Area - 1980

PLUMBING The Eastman Branch plumbing system consists of a domestic water heater, automatic flush valve water closets and automatic sensor faucets. The domestic water heater was installed in 1997, is past its useful life and should be replaced. Most plumbing fixtures were in proper working order with the exception of the drinking fountain which should be replaced. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. There were a few cracked roof drain strainers which should also get replaced.

ELECTRICAL The electrical systems in the Eastman branch are aged, but operational. Replacement of the existing Eastman distribution equipment needs to be considered due to the age of the equipment and the difficulty in acquiring the appropriate overcurrent devices, which are no longer manufactured. Additionally, due to limited spare capacity in the existing branch panels, new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to the existing fire alarm system. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Eastman branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

**TOTAL COST OF DEFERRED
MAINTENANCE ITEMS: \$1,468,157**

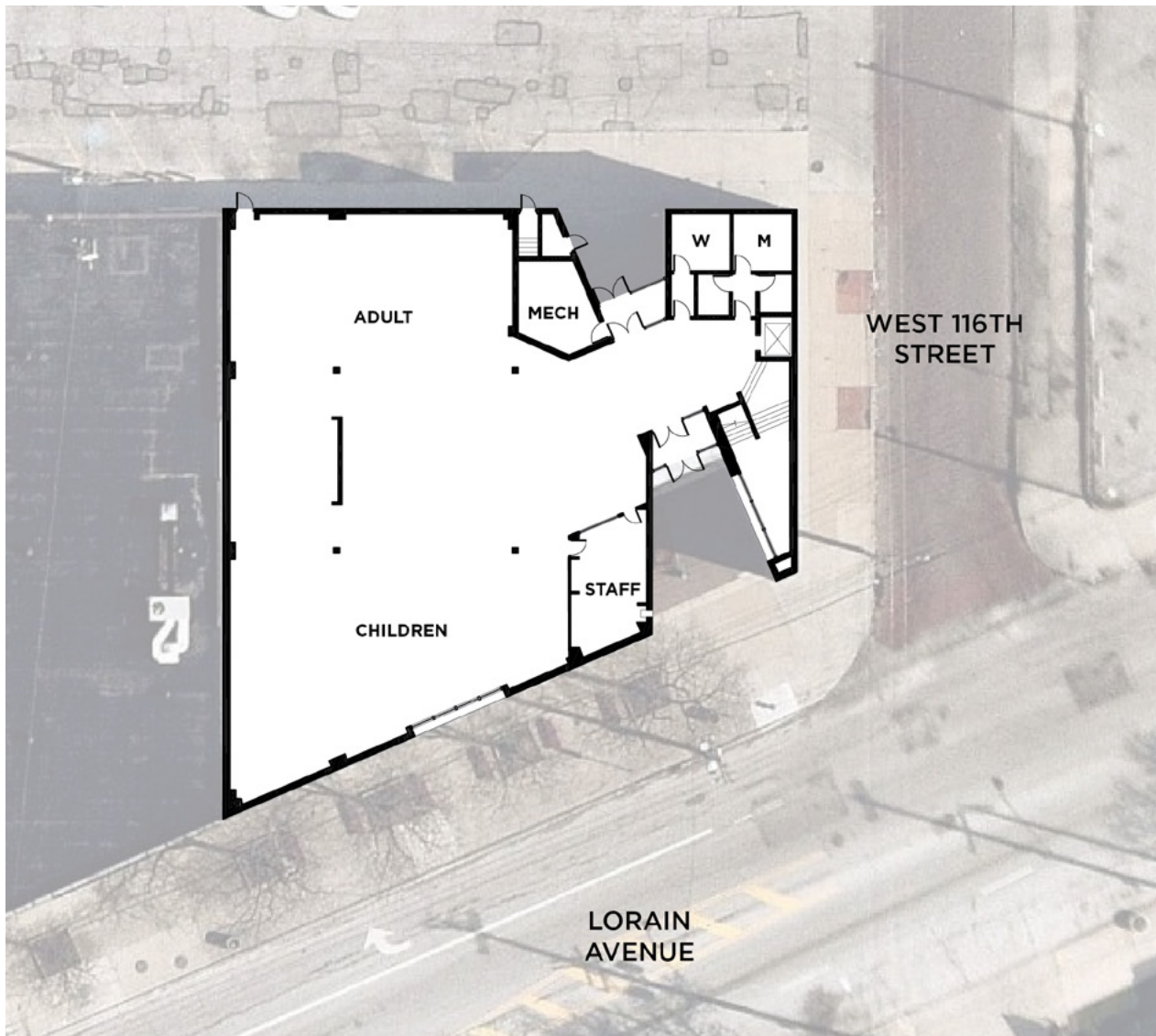


Interior (Service Point and Shelving)



Lorain Avenue Entrance

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

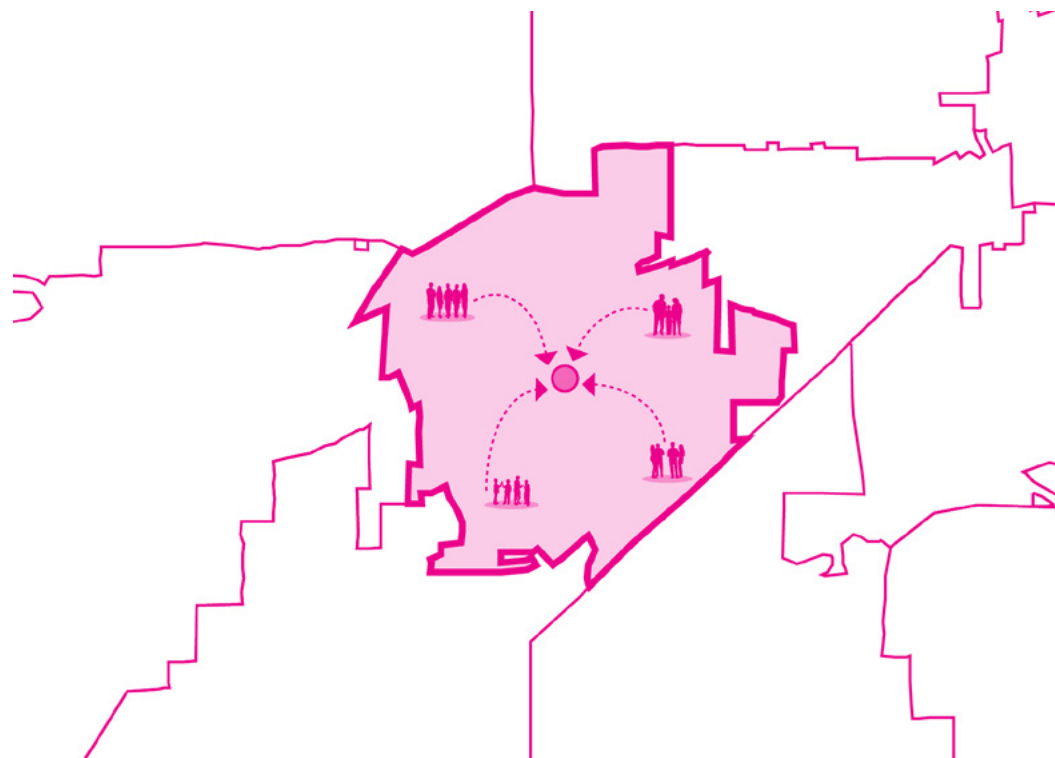
- One of the most attended and highest circulated branches in the system
- Small site severely limits opportunity for expansion
- Located in a highly trafficked area
- No defined teen area
- Building is imposing and lacks transparency
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- No small quiet study spaces
- Small gallery within the stair is underutilized
- Deeply recessed entries limit street activity

Branch Recommendations

RENOVATION

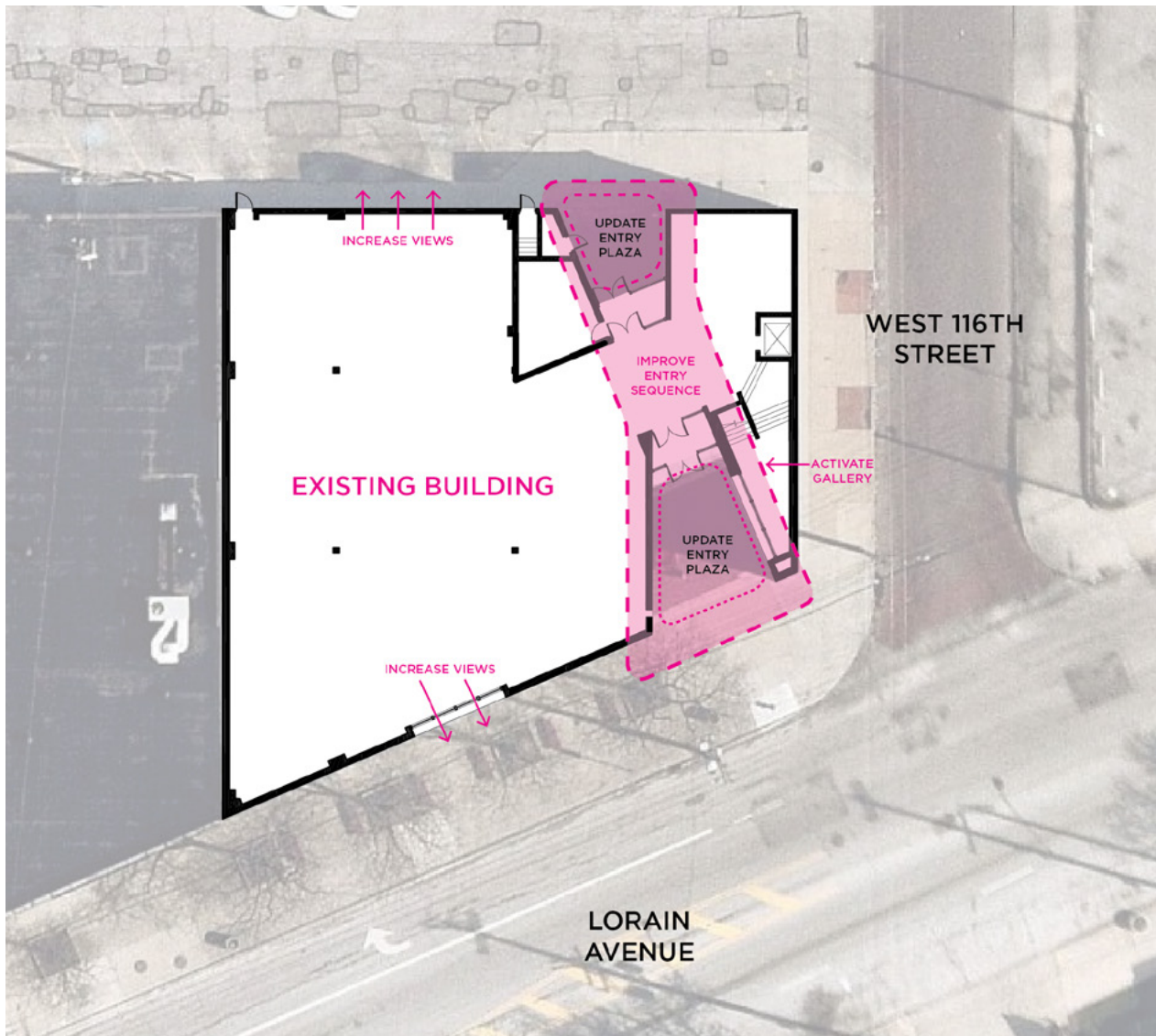
CURRENT STATE The Eastman branch is one of the most attended and highest circulating branches in the system. Its location in a heavily trafficked area and larger size relative to many in the system likely contribute to its popularity. However, the small site severely limits opportunity for expansion and the building's design is imposing and introverted with minimal visibility in from the street. The deeply recessed entries pull activity off the street and are potential security concerns.

FUTURE VISION It is recommended that the building be renovated to update the interior throughout while maintaining much of the current spatial configuration. Additional study and teen spaces will improve service. Consideration should be given to small additions or site improvements in the space created by the recessed entries to increase available building space and enliven the street. Opportunities to improve visibility and street presence by modifying or re-cladding portions of the exterior should be studied, particularly the East façade. Based on the location and limitations of expansion, it is recommended this building remain a Neighborhood Branch.



Neighborhood Branch Diagram

Future Vision

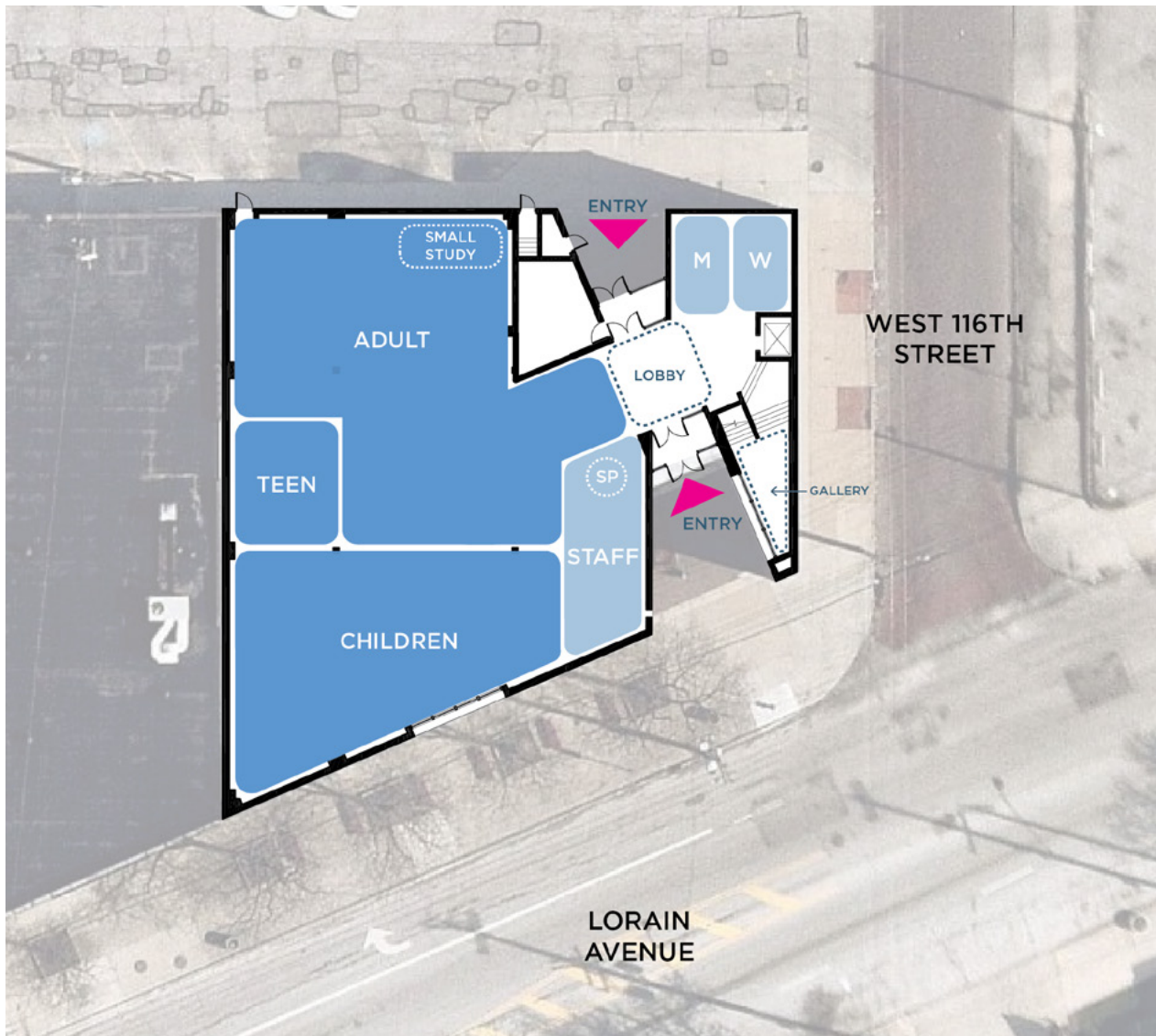


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Consider creating small additions at one or both of the entries
- Consider creating a small interior reading garden at the entry off of Lorain Avenue
- Activate gallery space
- Renovate branch to make more efficient use of the space
- Create a defined teen space
- Improve wayfinding
- Create new 'Community Living Room'
- Improve views into and out of the building
- Add small quiet study space near the adult collections
- Improve children's collection with larger interactives area
- Consider an after-hours lobby or book lockers for extended service

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

RENOVATION

Total Cost Of Implementation: **\$2,500,000**

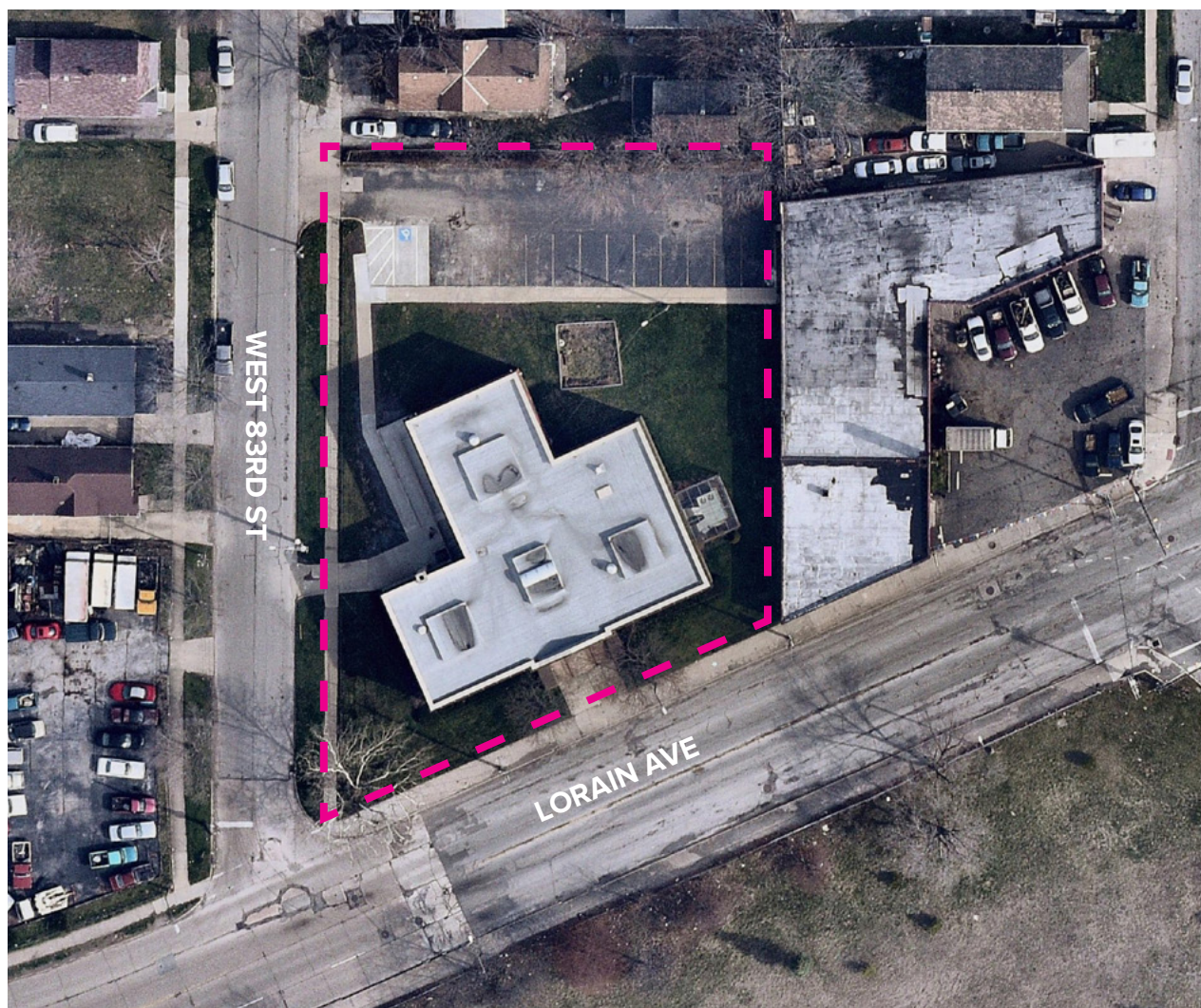
INCLUSIVE OF DEFERRED MAINTENANCE COSTS

Lorain Branch

Detroit-Shoreway Neighborhood



Branch Information



BRANCH STATISTICS

Location: 8216 Lorain Ave

Year Constructed: 1912 (renovated 1984)

Size: 8,400 sf

Parking: 9 spaces

The Cleveland Public Library Lorain Branch opened in 1912 and is located at 8216 Lorain Avenue on the city's west side between West 81st and West 83rd streets. It is located at the corner of Lorain Avenue and West 83rd Street with access from the sidewalk and parking in the rear accessed off West 83rd Street. The building is 8,400sf over three stories with collections, reading areas and multi-purpose on the first floor, staff area on the second floor and mechanical spaces in a lower level. The building is clad in buffed brick with stone trimmings on the East, South, and West side and red brick on the north side. The roof is a flat roof with membrane roofing. Large windows on the south elevation and windows and clerestory windows on the east and west elevations allow significant light into the first floor but limit views.

Community Outreach

OUTREACH SUMMARY Most of the community concerns at Lorain Branch were not about the facility, but about the crime and security issues around the branch. Regarding the building, patrons like how spacious it feels, but want to see a brighter, more colorful, and more modern interior, with flexible seating/work options and more meeting space. Exterior signage/lighting was also seen as

a need, in order to increase visibility and safety. Community programs intentionally inviting in a diversity of local neighbors were popular with participants.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)



Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Refresh paint, lighting in interior spaces overhead lighting, task lighting, colorful finishes & furniture
- Integrate more comfortable/flexible seating throughout
- Expand kids' playroom
- Consider expanding into back yard area for meeting room access; include small, comfortable study/work rooms
- Reconfigure exterior ramp for better access from parking lot
- Add bike rack
- Repair front fence & side gate
- Add better signage/lighting for visibility from Lorain Ave
- Create more targeted programs for using 3d printer, sewing machines, etc
- Host more cross-cultural programs to invite in new residents

1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



77,254 VISITS

CIRCULATION



81,754 ITEMS

SERVICE AREA POPULATION

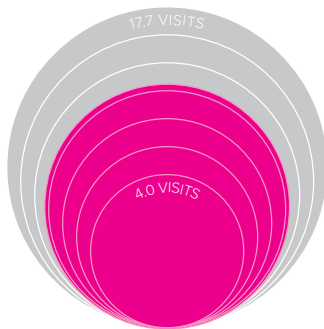


12,588 RESIDENTS

2 OCCUPIED AREA ANALYSIS

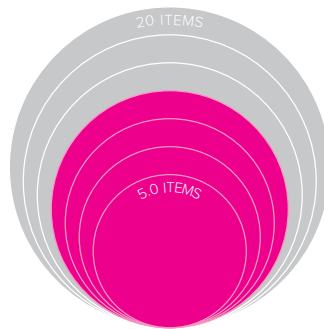
CURRENT OCCUPIED SQUARE FOOTAGE: 7,500 SF

ATTENDANCE

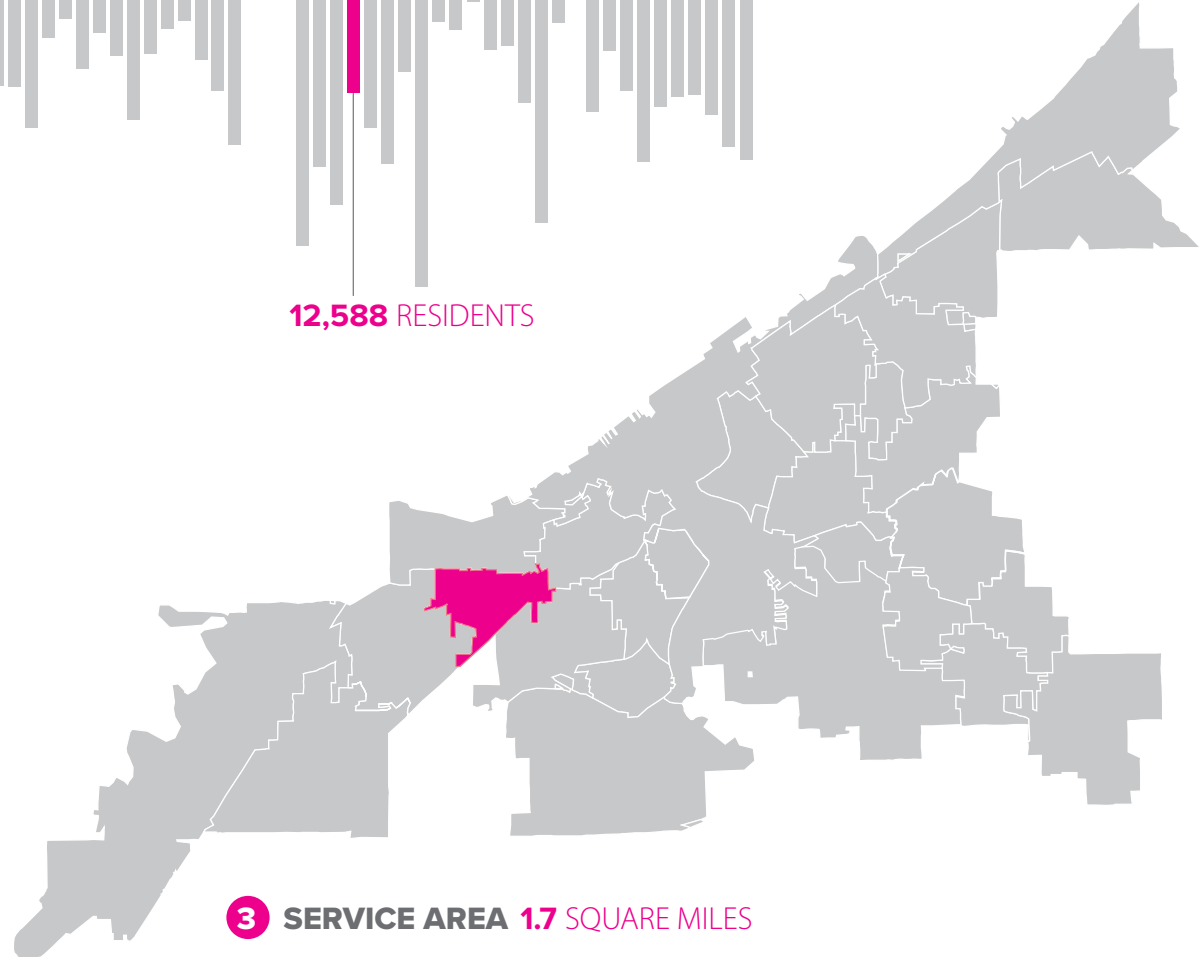


10.3 VISITS PER SF

CIRCULATION



10.9 ITEMS PER SF



3 SERVICE AREA 1.7 SQUARE MILES

KEY

DATA REPRESENTATION

System Wide
Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Lorain branch is in good condition but has a potential accessibility issue. The staff restrooms and staff lounge are on the second floor. To provide reasonable accommodation to a disabled employee, the workroom would need to double as the staff lounge, as it is on the ground floor. The public restrooms would need to serve as staff restrooms for a disabled employee. The roof should be replaced with additional insulation. Finishes and millwork are worn and should be replaced in the near future with the exception of the wood library shelving which is generally in good condition.

SITE The library is located on a flat site with a dedicated parking lot behind the building. The parking lot surface is in poor condition. Access to the building has been brought up to meet current ADA standards. The overall site and furnishings are in good condition with repairs to portions of the metal fence and main entry stairs necessary.

MECHANICAL The Lorain Branch HVAC system consists of one rooftop unit located on grade and two 80% efficient boilers. The rooftop unit is nearing the end of its service life and should be replaced within the next ten years. The building is currently controlled by a Variable Air Volume system with a Building Automation System and DDC controls; the building temperature control system is in fair condition and may remain in service. The two boilers were manufactured in 1994 and are in fair condition. They should be replaced within the next 10 years. The heating water pumps were recently replaced and are in excellent condition.

PLUMBING The Lorain Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2018 and is in good condition. Plumbing fixtures are in proper working order. All of the public hand washing sinks were equipped with ASSE 1070 mixing valve for tepid water. All of the public water closets, lavatories, and the urinal are ADA compliant; they may remain in service. The existing sewer and storm drainage system appears to be in working condition without issue. The strainers for the roof drains are in poor condition and should be replaced.



Building Interior - 1912

ELECTRICAL The electrical systems in the Lorain branch are in fair condition and should be maintained. The Lorain branch main distribution equipment and corresponding branch circuit panels have limited spare capacity for future loads. Additionally, due to limited spare capacity in the existing branch panels, new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to the emergency egress lighting coverage. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Lorain library uses surface mounted wallpacks and a utility pole mounted HID fixture for site lighting. The existing wall mounted exterior fixtures and utility pole mounted HID fixture are in good condition and should be maintained. The Lorain branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

**TOTAL COST OF DEFERRED
MAINTENANCE ITEMS: \$427,073**

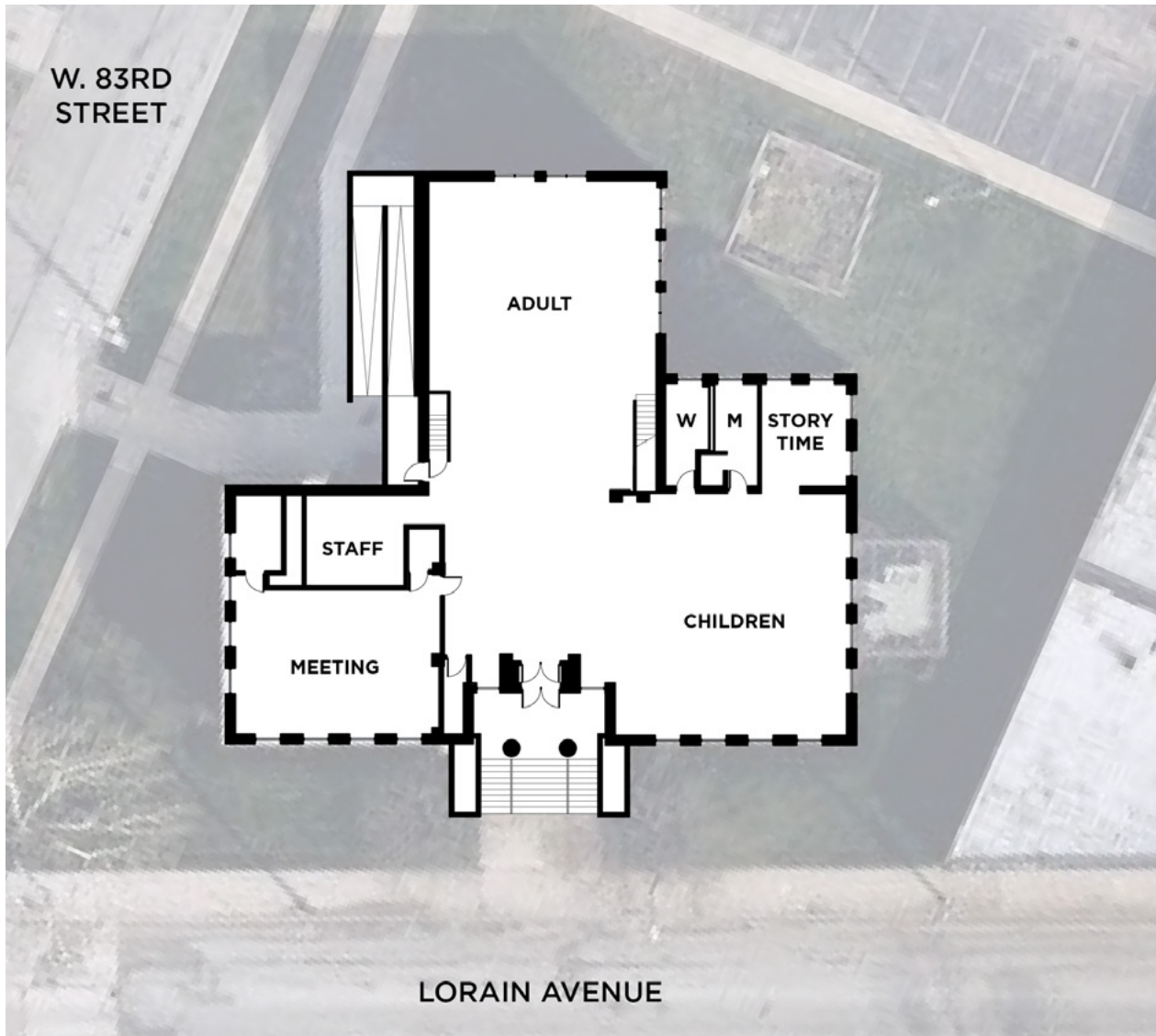


Building Interior



Building Exterior

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

- Iconic historic character
- Highly visible location
- Site not co-located with important social or cultural amenities
- There is ample room for building expansion
- No defined teen area
- Staff spaces are broken up and aren't efficiently organized to best serve the community
- Interior layout does not have good sightlines throughout and does not meet the goals of the library's service model
- Original entry off of Lorain Ave. is still open, but patrons typically enter from a ramp leading from the parking lot
- On-site parking is limited, and there is not room to expand the current lot
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- No small quiet study spaces
- The building lacks transparency

Branch Recommendations

RENOVATION AND ADDITION

CURRENT STATE As a Carnegie branch the building was one of the first branches in the system and much of that historic character is intact on both the exterior and the interior. Though it is not co-located with other institutions it is in a highly visible location and is well used by its service area. While the original entry off Lorain is still open, the access from the parking lot via a long side ramp to a service door has become the entry experience for many patrons coming to the library. The building has room to expand on site to the north and east though on-site parking could not be increased.

FUTURE VISION It is recommended that the Lorain branch be renovated with a new addition built to the north of the building. The new addition would provide the opportunity to create a new entry into the building that serves as an additional public face rather than having the appearance of a service entrance. With the addition, the size of the branch will be able to expand its services however based on the location and limitations of parking it is recommended this remain a Neighborhood Branch.

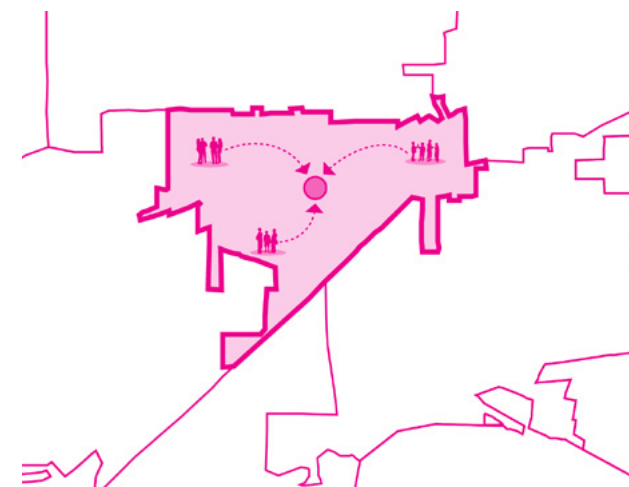
IMPLEMENTATION COST

RENOVATION AND ADDITION

It is recommended that the Lorain branch be renovated with a new addition. The facility will remain a Neighborhood Branch.

Total Cost of Implementation: **\$3,100,000**

INCLUSIVE OF DEFERRED MAINTENANCE COSTS



Neighborhood Branch Diagram

CLEVELAND PUBLIC LIBRARY

HOPE
COMMUNITY
GARDEN

WEST 89TH STREET

WEST 85TH STREET

WEST 83RD STREET

WEST 81ST STREET

LORAIN
BRANCH
LOCATION

LORAIN AVENUE

I-90 WEST

I-90 EAST

CLARK AVENUE



SOCIAL SECURITY
ADMINISTRATION

Lorain Branch

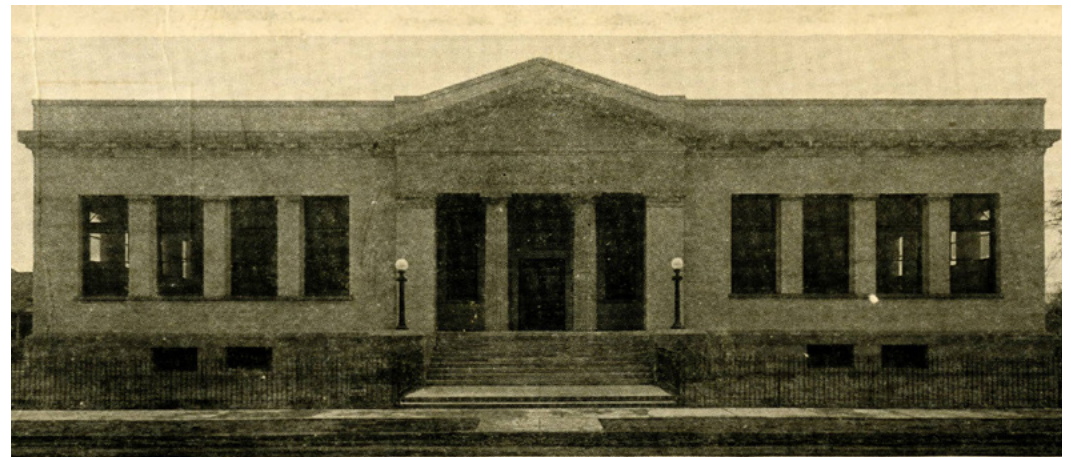
CONCEPT DESIGN

INTENT OF CONCEPT DESIGNS

The specific branch concept designs and drawings introduced in this document are not final building designs, but outlines for how the library may choose to move forward as the plan is realized over the next ten years.

Design Inspiration

EQUITY The Lorain Branch is one of seven historic Carnegie Libraries still in use in the CPL system. With funding seeded by Andrew Carnegie roughly 10 years prior, the new branch opened in 1912 to serve residents of Cleveland's fast growing west side. The proposed renovation and addition honors the historic legacy and spirit of the Carnegie Libraries through a thoughtful restoration and addition. With a new welcoming and accessible south entrance the building addresses the community will ensure patrons can enjoy another 100 years of equitable access to life long learning.



Lorain Branch, Cleveland Public Library—The Gift of Mr. Andrew Carnegie



Context Diagram - Figure Ground Study



1912-era Interiors

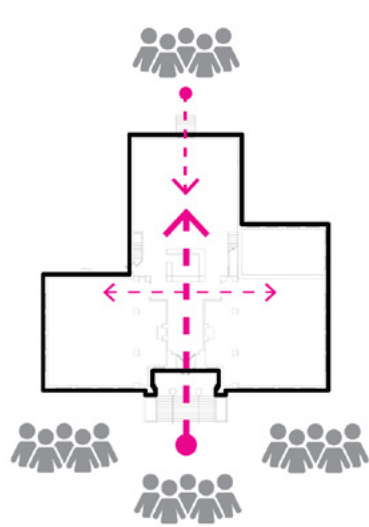


1980s Post-Modern Renovation

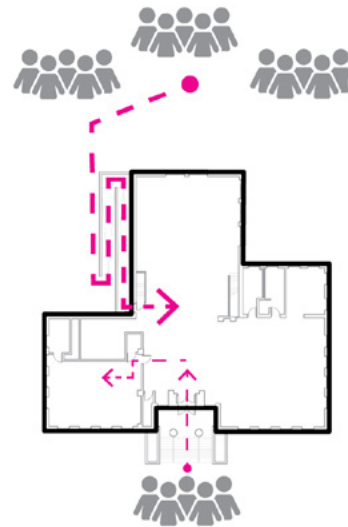


View from West 83rd looking Southeast

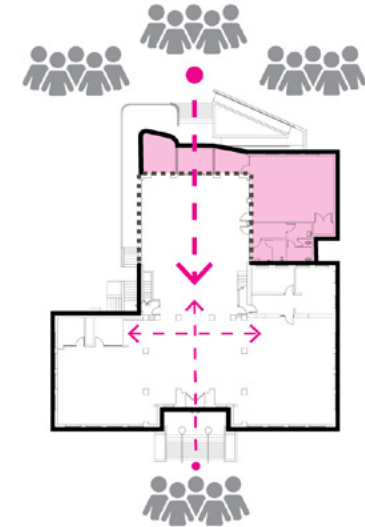
Creating Form



1912: Axial and Street Facing



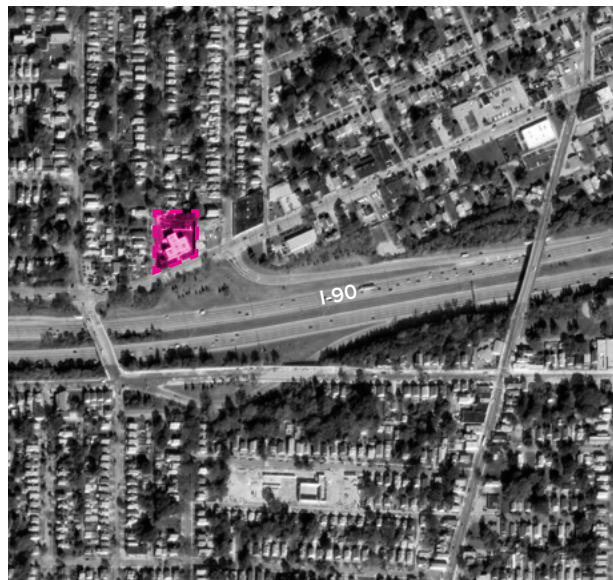
1984: Dissociated Entrances



Future: Equitable and Community Facing

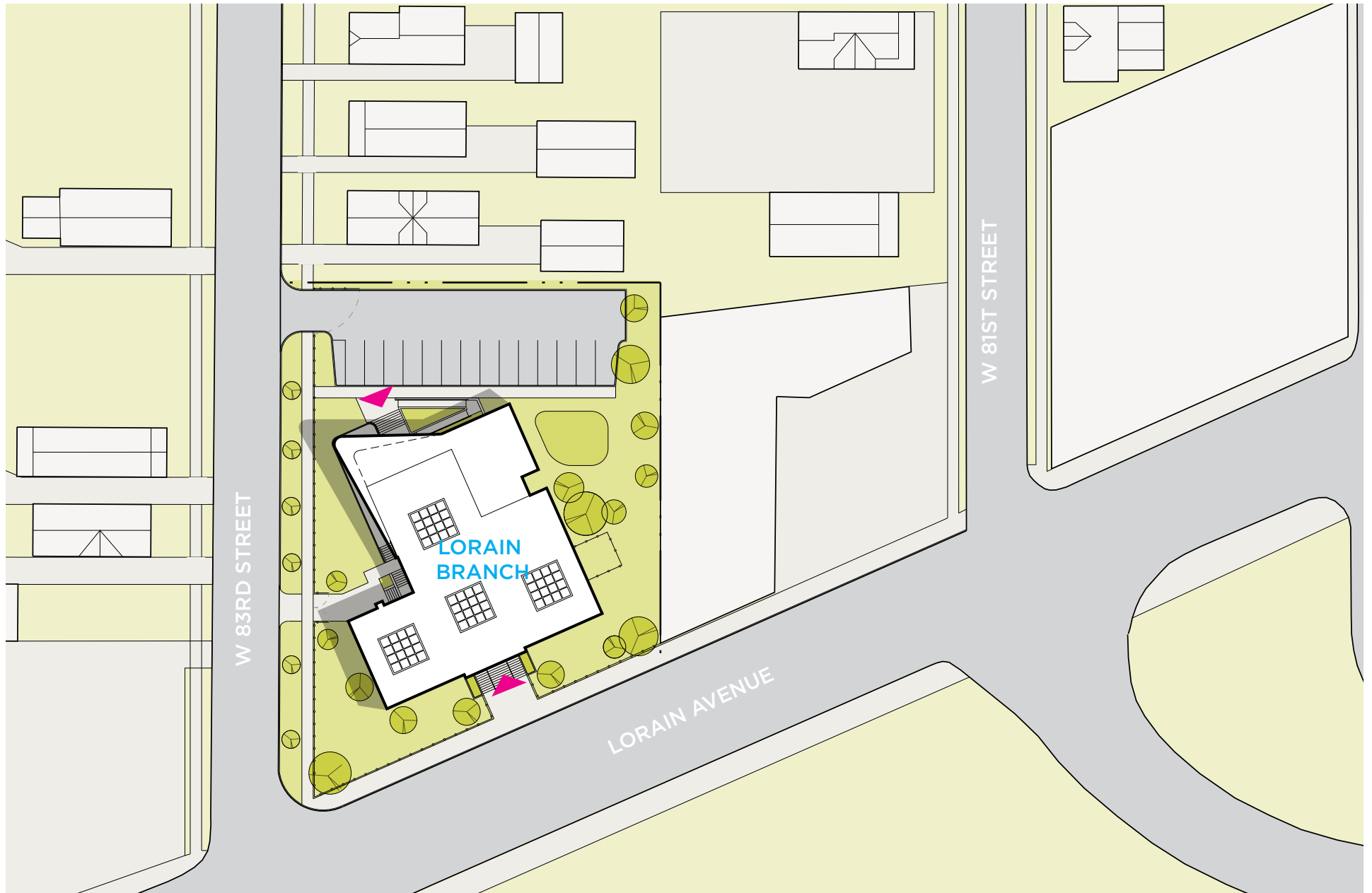


Aerial Map - 1950's

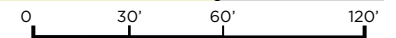


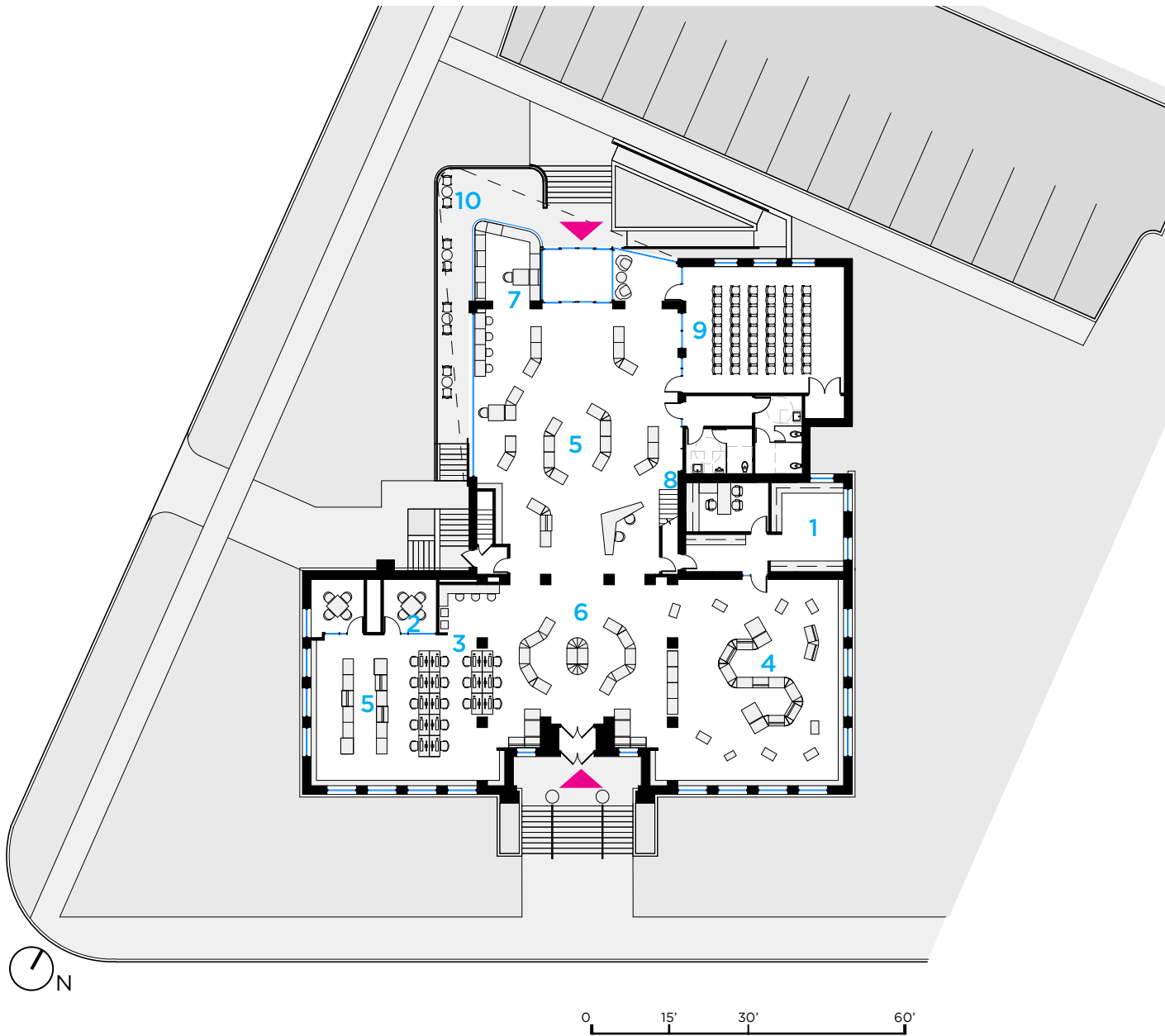
Aerial Map - 1980's

An analysis of the building's original design and subsequent renovations in context of Cleveland's urban growth provides the roadmap for a renovation that is sensitive to the building's history while being responsive to changes in the neighborhood. An addition to the south presents the community with a more welcoming face than the undignified side access currently used by most patrons. The addition reopens an original entry to the building and works in concert with a respectful renovation of the historic interior, including re-installing four original skylights, to re-invigorate the main axis of the building. Applying the functional logic of the original building to the proposed new work enables the Lorain Branch to honor its historic past in a contemporary solution that will support its patrons through the next century of use.



SITE PLAN





- 1 Staff Area
- 2 Small Meeting Rooms
- 3 Computers
- 4 Children's Area
- 5 Adult Collection
- 6 'Living Room'
- 7 Cafe/Teen
- 8 to Staff Area (above)
- 9 Meeting Room
- 10 Community Porch (exterior)

FLOOR PLAN

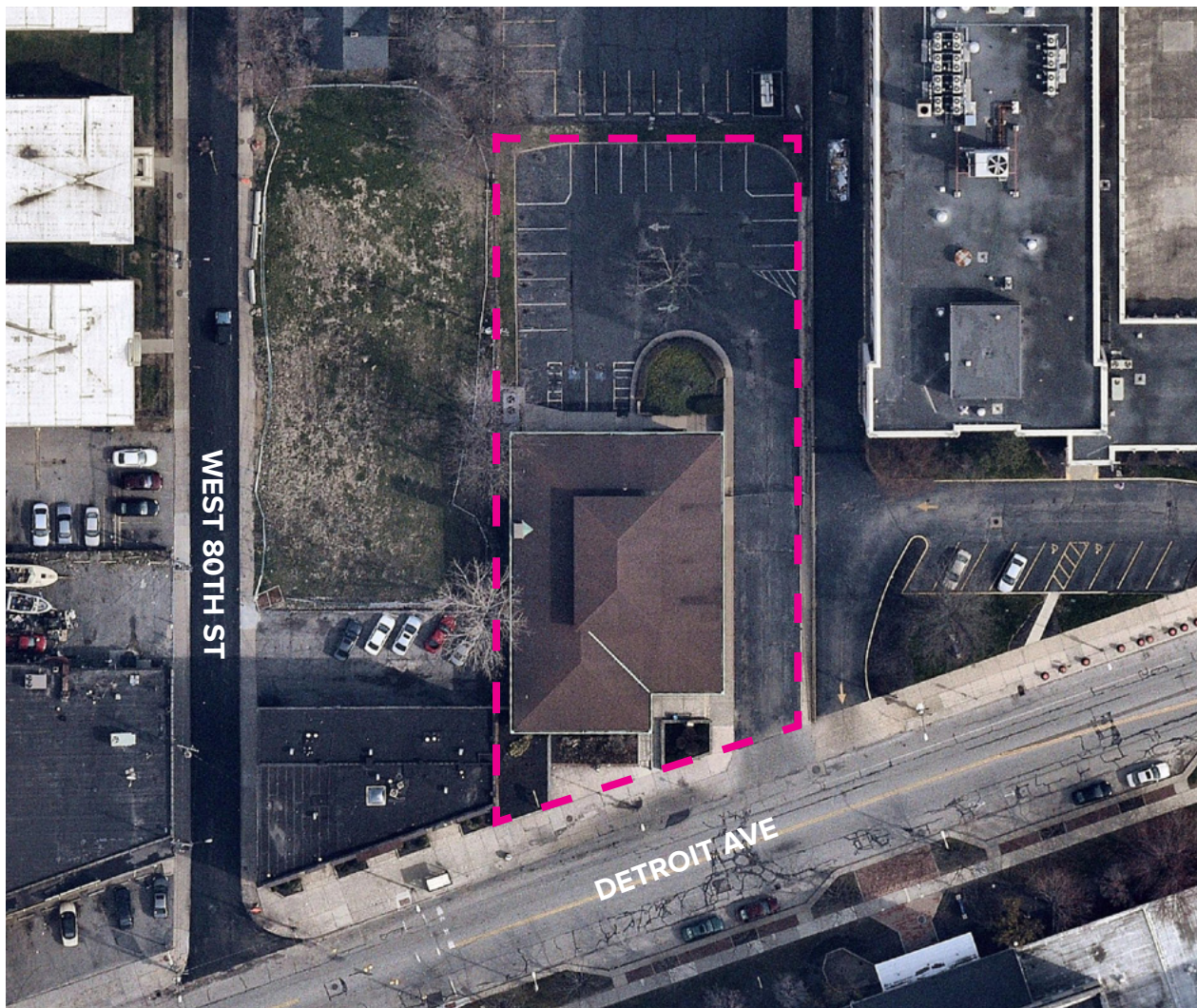


Walz Branch

Detroit-Shoreway Neighborhood



Branch Information



BRANCH STATISTICS

Location: 7910 Detroit Ave

Year Constructed: 1967

Size: 9,600 sf

Parking: 18 spaces

The Cleveland Public Library Walz Branch was built in 1967 and is located at 7910 Detroit Avenue on the city's west side at between 80th and 78th streets. It is located mid-block with access from the sidewalk and parking in the rear accessed off Detroit. The building is 9,600sf over two stories with collections and reading areas on the first floor, at street level, and a meeting room, staff and mechanical spaces in a walk-out lower level. The building is clad in red brick with a hipped, asphalt shingle roof. Clerestory windows allow significant light into the first floor but limited views.

Community Outreach

OUTREACH SUMMARY Walz Branch is generally well-located just west of Gordon Square, but the facility is too small for its patrons' needs, and the lack of accessible restrooms on the main floor is an issue for users. The topography of the site would make a potential addition difficult. A branch rebuild and/or relocation was tentatively supported, although residents in the neighborhood to the west of the branch were unsure whether a geographic shift east towards Gordon Square would make access more difficult. However, a new facility could considerably improve visibility from Detroit Ave, an issue with the current nondescript building. From a service perspective, a majority of Walz patrons want their branch to become a “technology hub,” with youth- and adult-oriented technological access and programs.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)



Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Add more comfortable seating and flexible workspace options
- Provide accessible bathroom(s) on the main floor (and/or add elevator to access downstairs meeting rooms)
- Find space for “quiet work areas” AND teen room
- Reconfigure tall central space into a “tech hub”
- Update interior with more modern color, lighting
- Work with local fabricator/artist to build new bike rack
- Improve front garden with signage, lighting, landscaping
- Explore converting the front lobby for after-hours access
- Explore possibilities for expansion through back or front addition
- Find opportunities for expanded parking
- Strengthen Wifi for after-hours access
- Add more technology options and training
- Work with the City to improve street lighting, safety
- Hold neighborhood “block party” events to deepen social ties
- Work with neighborhood arts & theater groups to create unique programming on-site and off, especially for kids

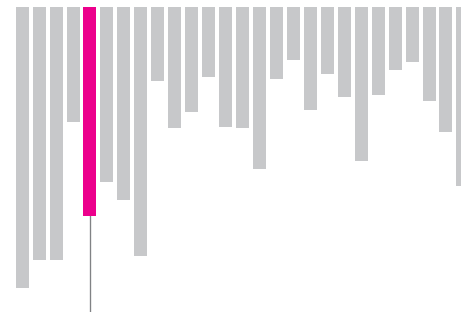
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



96,409 VISITS

CIRCULATION



149,395 ITEMS

SERVICE AREA POPULATION

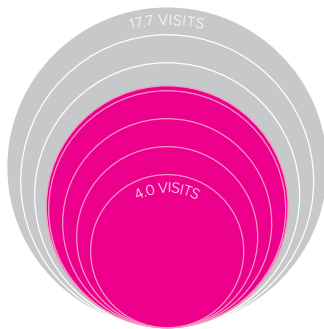


16,063 RESIDENTS

2 OCCUPIED AREA ANALYSIS

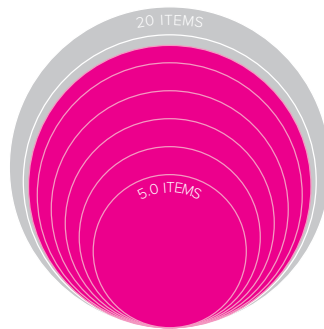
CURRENT OCCUPIED SQUARE FOOTAGE: 9,600 SF

ATTENDANCE

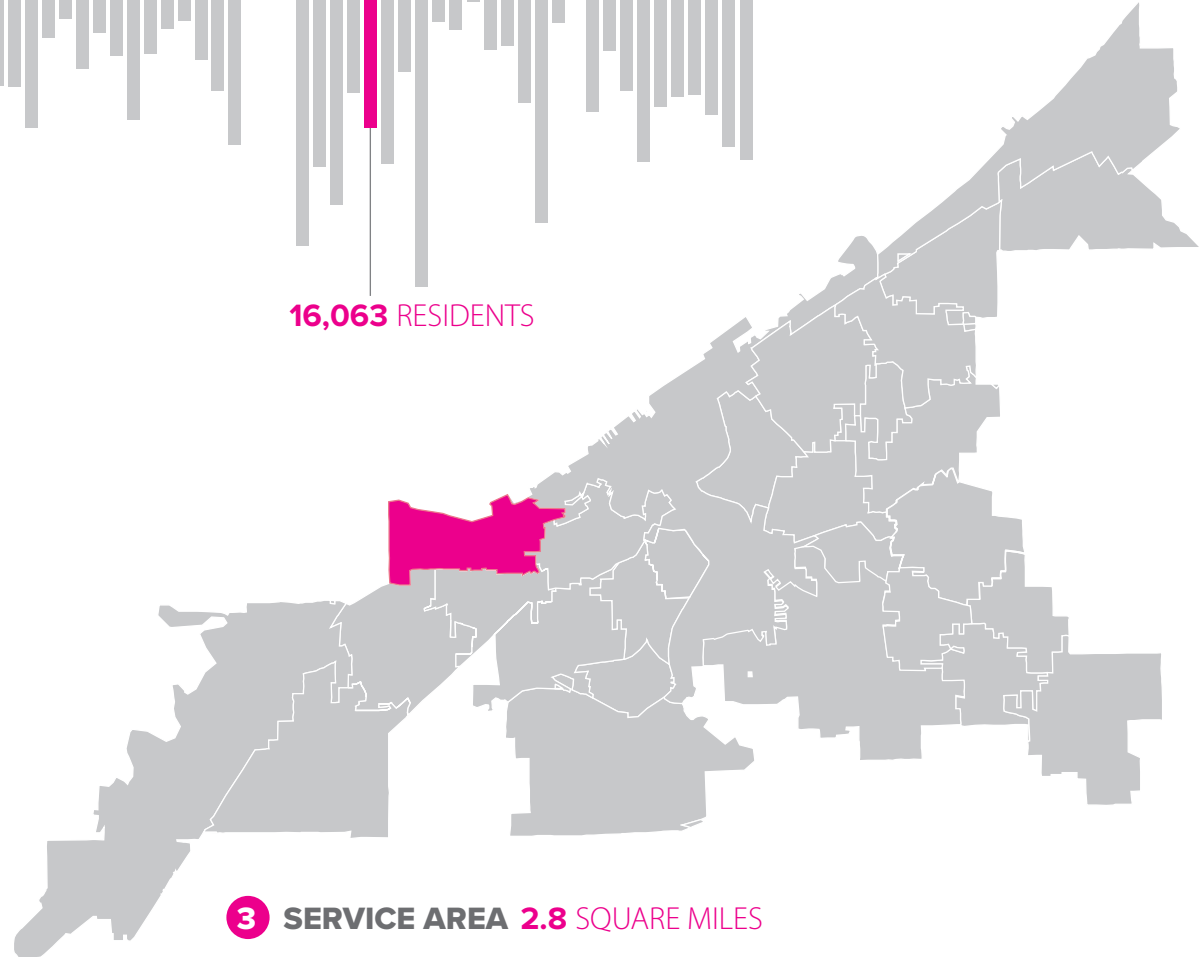


10 VISITS PER SF

CIRCULATION



15.6 ITEMS PER SF



3 SERVICE AREA 2.8 SQUARE MILES

KEY

DATA REPRESENTATION

System Wide
Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Walz branch is in fair condition but has major accessibility issues. To provide a fully accessible library and elevator will need to be added and new bathrooms built. roof should be replaced with additional insulation. Single pane glazing should be replaced throughout with insulated glazing units. Finishes and millwork are worn and should be replaced in the near future with the exception of the wood library shelving with is generally in good condition.

SITE The library is located on a steeply sloped site with a dedicated parking lot behind. There are significant issues relating to site drainage that are degrading the building and site in areas and requires immediate attention. The rapidly failing site walls are should also be a priority for repair.

MECHANICAL The Walz Branch HVAC system consists of one multi-zone air handling unit and two 80% efficient boilers. The air handler and condensing unit are in working order but are close to the end of their service life; they should be replaced within the next five years. The ductwork should be replaced due to age and questionable condition. When the air conditioning units are replaced, consideration should be made to go to a Variable Air Volume system with a Building Automation System for increased system efficiency. The two boilers were replaced in 1997 and are in poor condition. They should be replaced within the next 10 years. The primary and secondary heating water pumps are past their service life and should be replaced.



Walz Exterior - 1967

PLUMBING The Walz Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2016 and is in good condition. Plumbing fixtures are in proper working order. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. Water closets, the urinal, and lavatories are not ADA compliant; they should be reconfigured or replaced. The existing sewer and storm drainage system appears to be in working condition without issue. The strainers for the roof drains are in poor condition and should be replaced.

ELECTRICAL The electrical systems in the Walz branch are aged, but operational. The Walz distribution system contains a variety of miscellaneous code violations such as providing the appropriate working clearances. The existing Walz distribution equipment can be maintained as long as it is regularly serviced. Due to limited spare capacity in the existing branch panels, any new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to the existing fire alarm system. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Walz branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$1,255,386

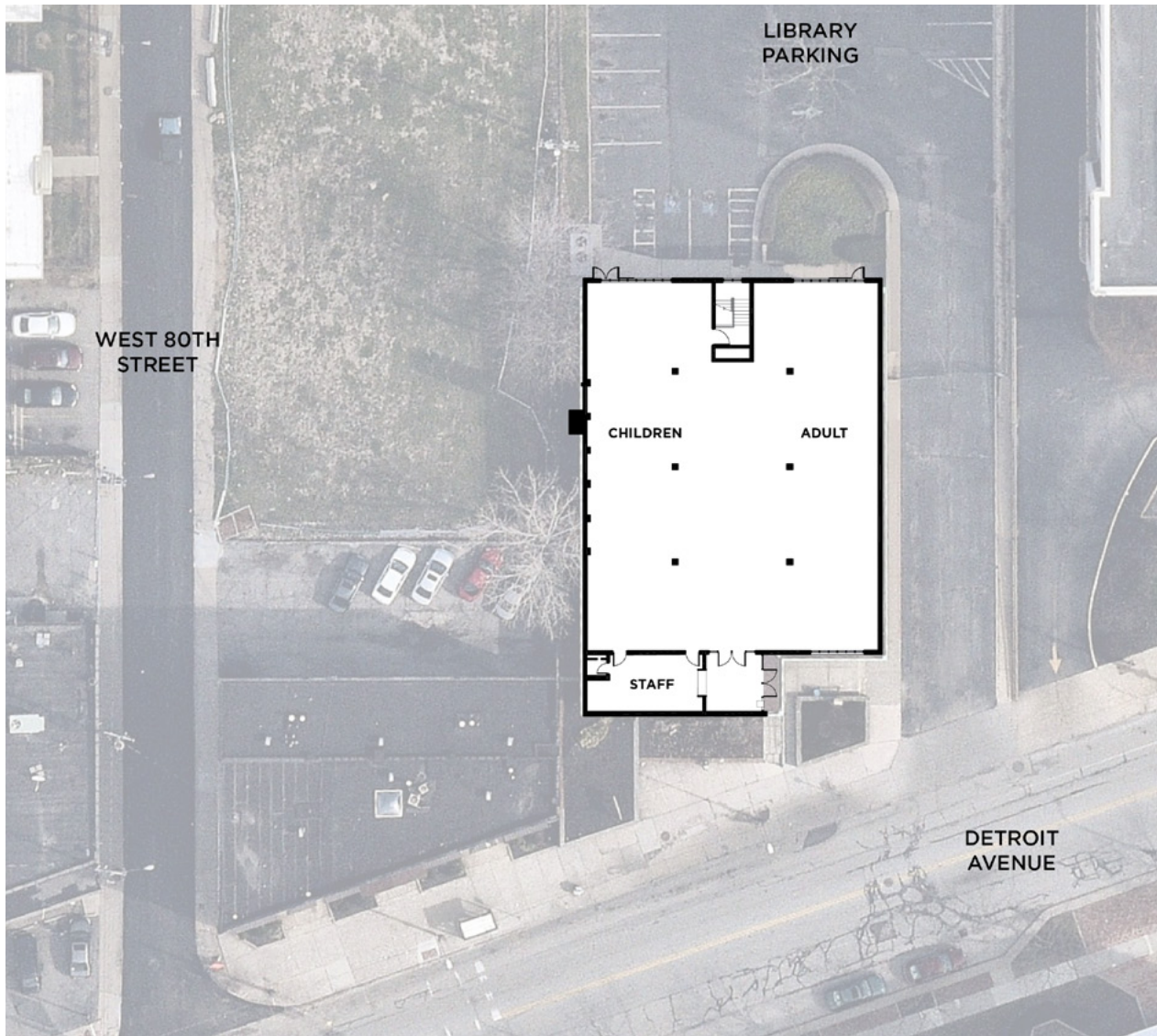


Building Interior



Exterior Signage

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

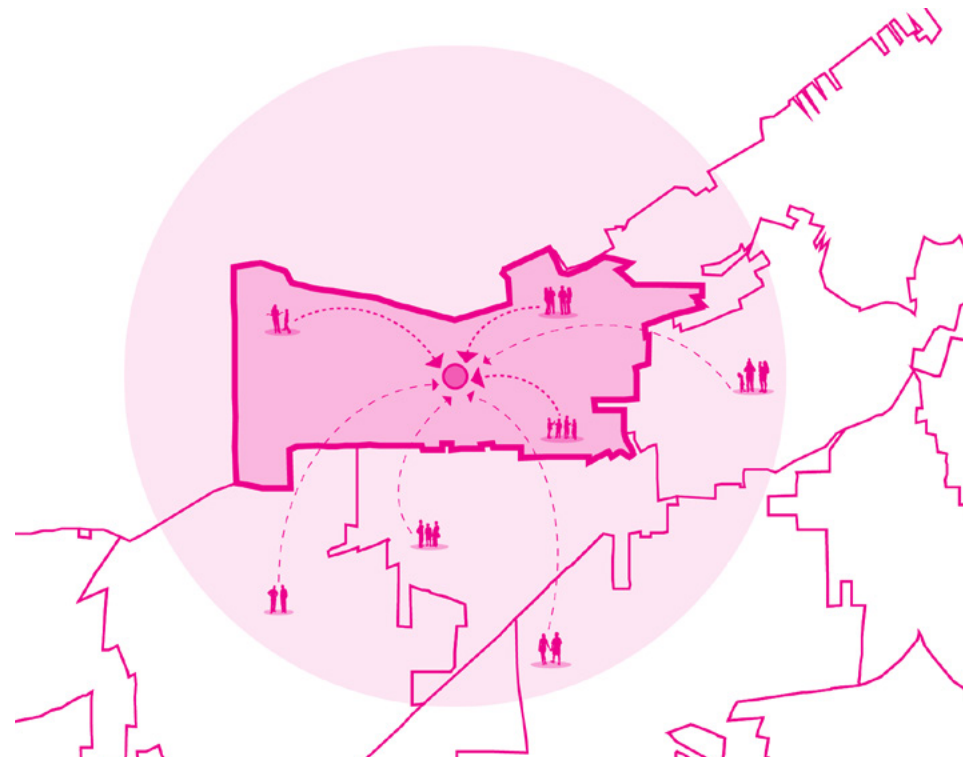
- Located on a steeply sloped site
- Branch is located on two levels with no elevator
- Issues with accessibility & sightlines
- Limited signage & wayfinding
- Building is set back on the site with limited street presence
- Lack of dedicated teen space
- Building has a low profile and lacks transparency
- Parking is limited on site
- Building layout is inefficient

Branch Recommendations

NEW BUILDING ON EXPANDED SITE

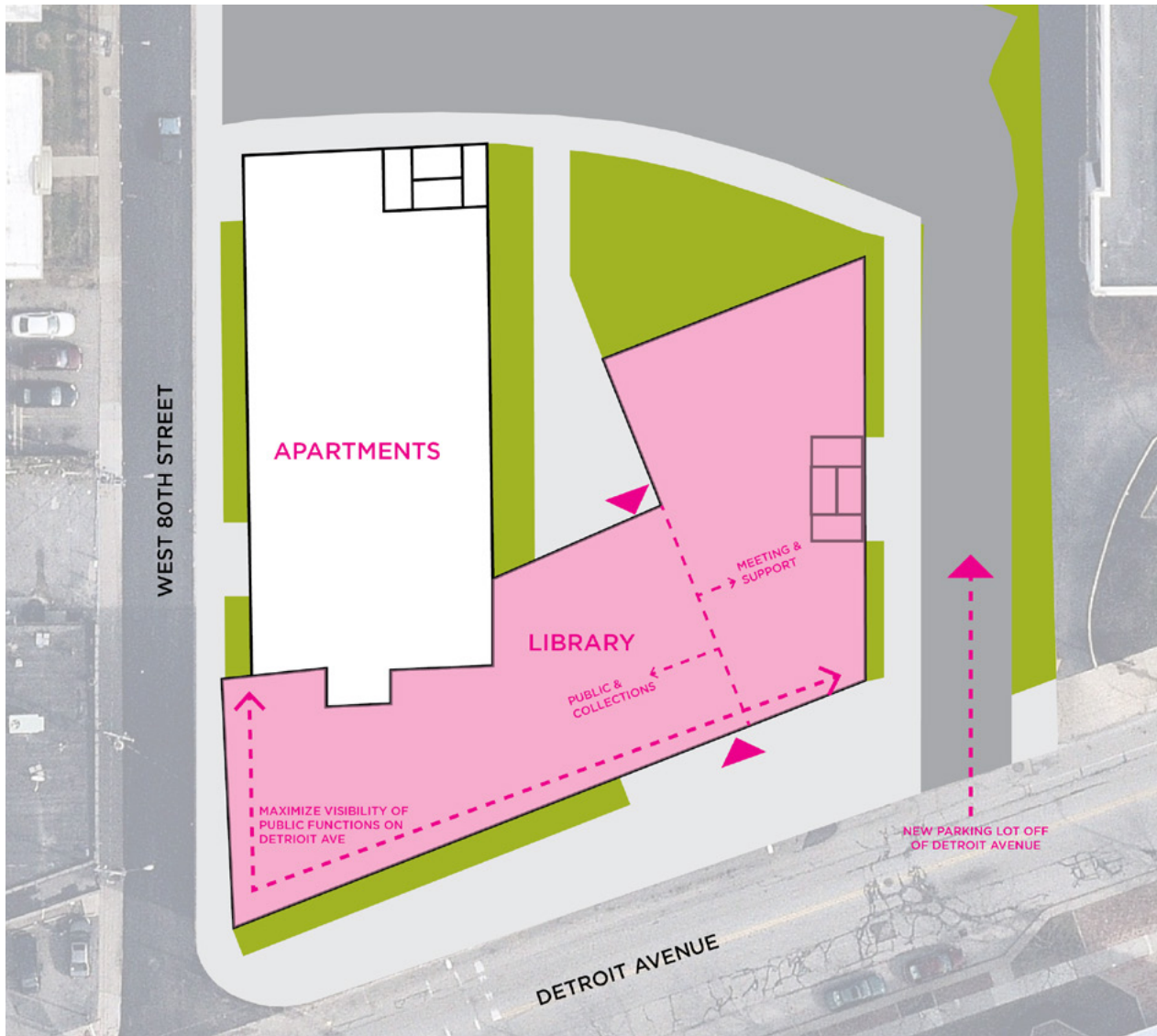
CURRENT STATE The Walz branch is located on a small, steeply sloped site that necessitated a multi-level building. The two-story layout has created issues with accessibility and sight lines that could be mitigated, but not fully solved, by adding an elevator. The building's location on the site, low profile and lack of transparency have resulted in many area residents not even being aware of its existence. In addition to upgrades necessary to make the building accessible there are multiple significant maintenance issues that require attention if the building is to remain.

FUTURE VISION It is recommended that a new branch be built with an expansion of the current site. Partnering with the Detroit Shoreway Community Development Organization on a new mixed use building anchored by the library would provide the means to maintain and expand the site in an active development area where there are few lots available. A new branch would provide the level of flexibility and visibility that could not be achieved with the limitations of the current building with the goal being to expand it to accommodate the program of a Community Hub branch.



Community Hub Diagram

Future Vision

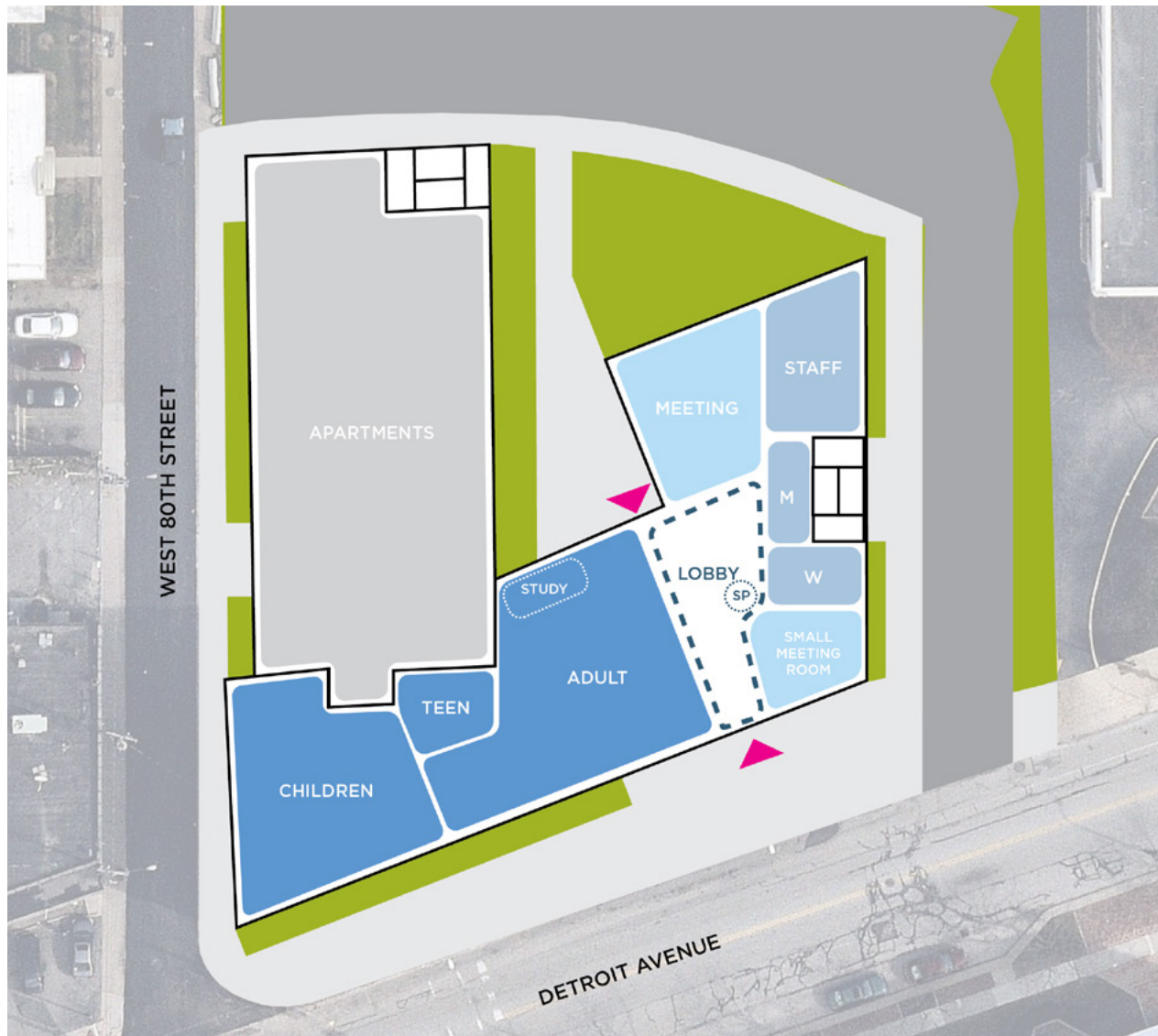


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Pursue collaboration with the Detroit Shoreway CDO to create a new library on the first floor of a new mixed use building
- Push active public uses to the streetfront
- Maximize visibility of the public functions on Detroit Avenue
- Add small group study space or other collaborative space
- Create designated teen area
- Create designated children's area w/ small scale interactives
- Improve wayfinding
- Create new 'Community Living Room'
- Create a designated computer area with fixed stations and a 'laptop bar'
- Utilize spatial configuration to break up active and quiet spaces

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

NEW MIXED-USE BUILDING

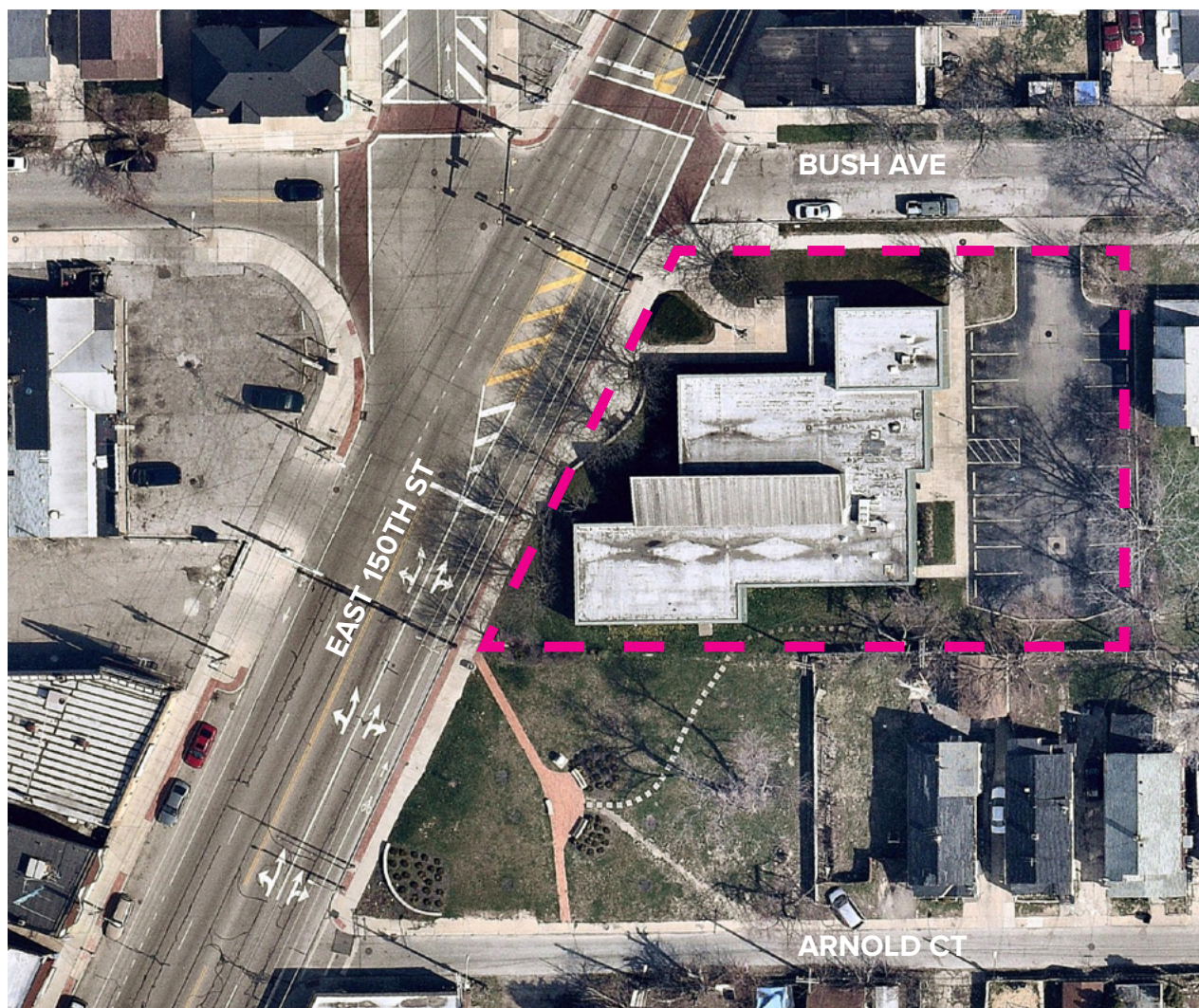
Total Cost of Implementation: **\$6,500,000**

Fulton Branch

Fulton Neighborhood



Branch Information



BRANCH STATISTICS

Location: 3545 Fulton Rd

Year Constructed: 1983

Size: 8,200 sf

Parking: 20 spaces

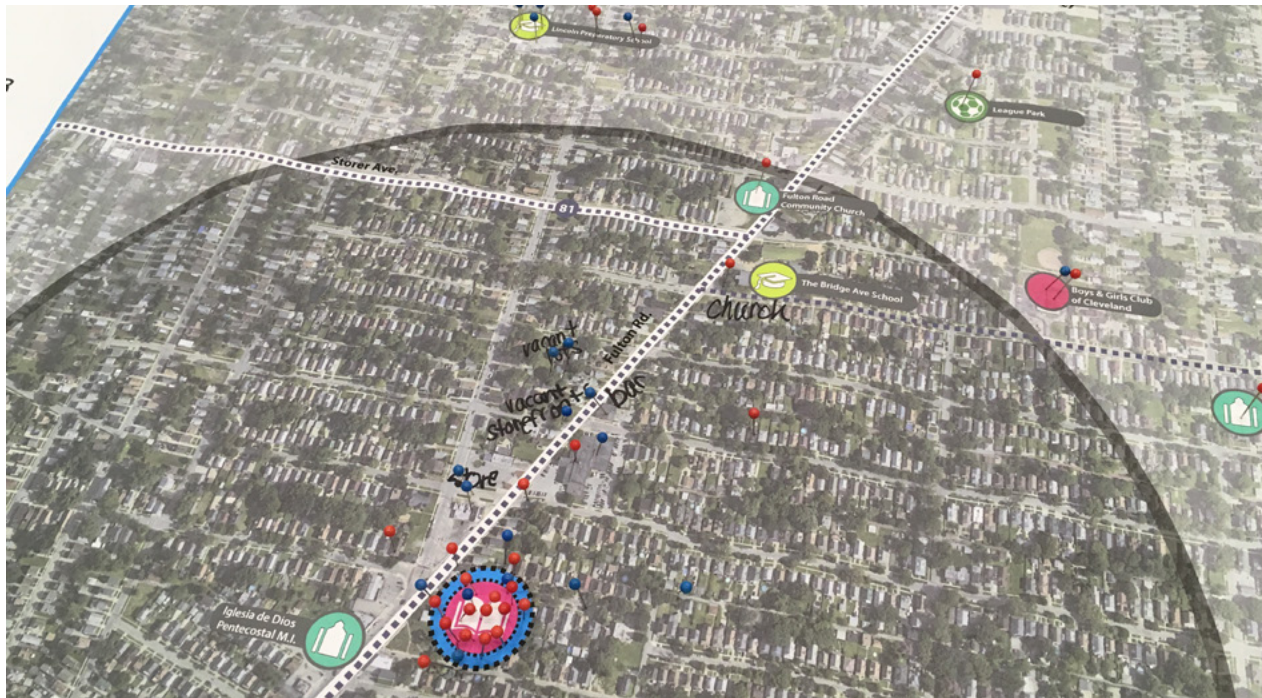
The Cleveland Public Library Fulton Branch was built in 1983 and is located at 3545 Fulton Road on the city's west side. It is located between Arnold Court and Bush Avenue along Fulton Road with the main entry off Fulton accessed from the sidewalk. Parking is located east of the branch with entry off of Bush Avenue. A second building entry is located off the parking lot. The library site includes the building and a small landscaped area to the north and west of the building. There is also a park like empty lot to the south that is not owned by the library. The single-story building is 8,200 sf with a meeting room, collections, reading areas, a computer area, and a children's reading area. The building is clad in slate stone veneer with a flat roof on the majority of the building.

Community Outreach

OUTREACH SUMMARY The primary community concerns for Fulton Branch are tied to its exterior, which is dark, closed-off and overgrown with trees. The adjacent garden was also a primary concern for patrons. Recommendations for quiet work spaces, flexible work areas, laptop bars and increased glazing facing Fulton Rd were all well-received, as were ideas about improved exterior lighting, signage, and landscaping. Many patrons have concerns about wider safety and maintenance in the neighborhood; MetroWest CDC should be a

strong partner to address these needs, particularly regarding street lighting and sidewalk maintenance. Additionally, MetroWest would be a good partner for the redevelopment of the neighboring garden area, which patrons definitively want improved and maintained, ideally in connection with library expansion.

Outreach for this branch was performed as part of the facilities master plan, see Process section for summary of the outreach process



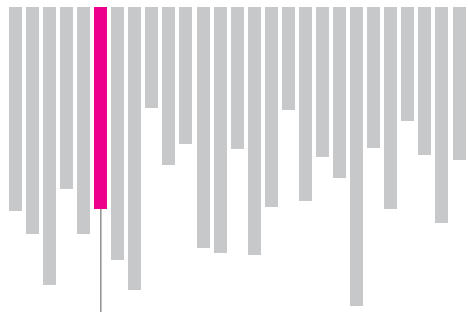
Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Improve lighting, color, & furnishings on interior
- Retrofit entry doors for accessibility
- Open up the existing facade with glazing, add a laptop bar
- Create separate quiet study/meeting rooms
- Add improved signage, exterior lighting, landscaping in front plaza
- Work with neighbors, MetroWest to redevelop reading garden
- Work with RTA to develop a library-themed Transit Waiting Area
- Work with MetroWest, City to maintain street lighting/sidewalks
- More programming - language, after-school, music/art, adult jobs training, technology, etc.

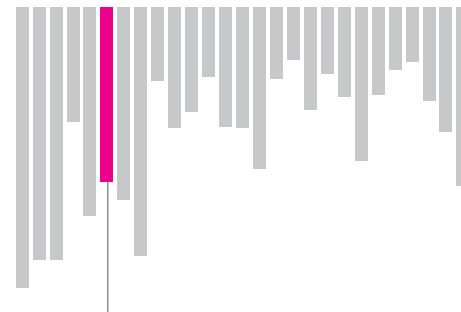
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



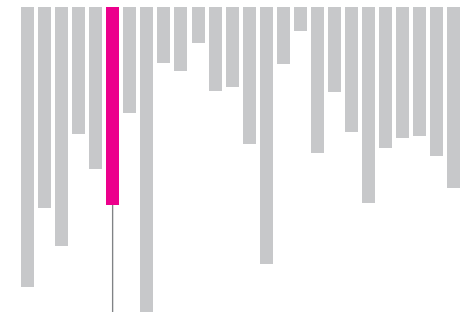
85,714 VISITS

CIRCULATION



124,556 ITEMS

SERVICE AREA POPULATION

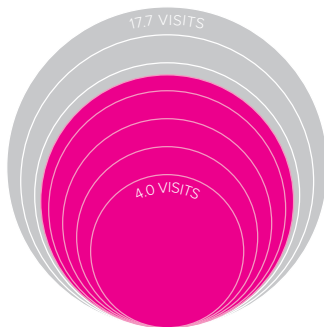


19,647 RESIDENTS

2 OCCUPIED AREA ANALYSIS

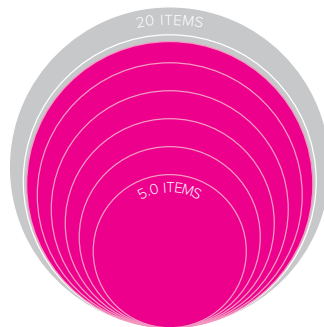
CURRENT OCCUPIED SQUARE FOOTAGE: 7,800 SF

ATTENDANCE

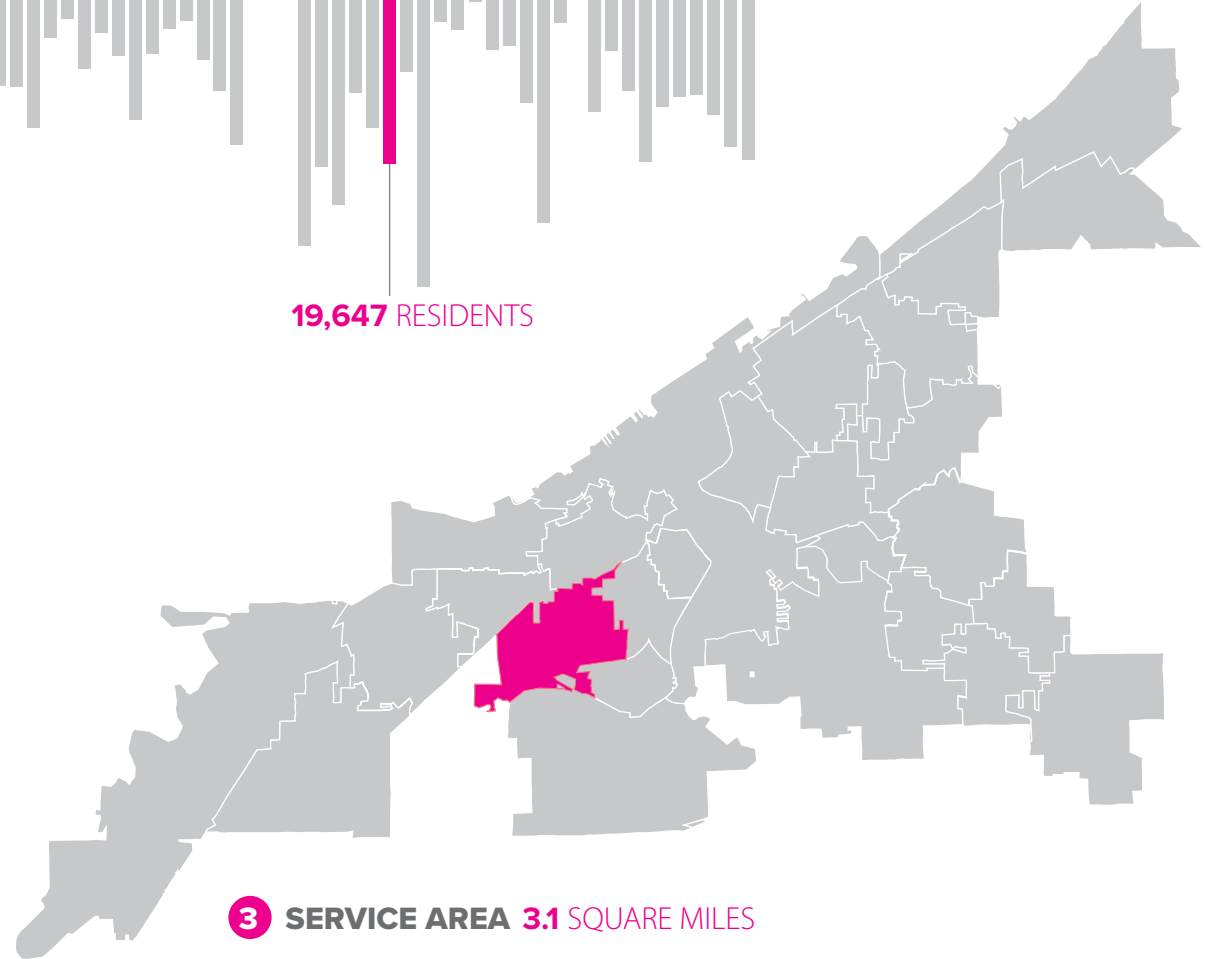


11 VISITS PER SF

CIRCULATION



16 ITEMS PER SF



3 SERVICE AREA 3.1 SQUARE MILES

KEY

DATA REPRESENTATION

- System Wide
- Current Branch

- 1** Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.
- 2** Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.
- 3** Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Fulton branch is generally in good condition on the interior and the single-story layout eliminates many of the accessibility issues from other branches. The branch has recently been updated for accessibility in public areas. A new roof was installed in 2018 along with other minor envelope repairs. Finishes and millwork are worn and should be considered for replacement as part of any significant renovation.

SITE The library has on grade access with no steps or ramping required to access the building from the lot or the street and only minor repairs are required. The landscape and site furnishings are typically in fair condition though in need of some maintenance.

MECHANICAL The Fulton Branch HVAC system consists of a 15-Ton air handling unit, a 3-Ton air handling unit, baseboard radiation, unit heaters, and two boilers. The air handling units, baseboard radiation, unit heaters, and boilers were replaced in 2018 and may remain in service. The building's temperature control system consists of electric thermostats that may also remain in service. The only recommendation of action for the mechanical system is to replace two rooftop centrifugal exhaust fans.

PLUMBING The Fulton Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2018 and is in good condition. Plumbing fixtures are in proper working order and in compliance with ADA standards. All of the public hand washing sinks are equipped with ASSE 1070 mixing valve for tepid water. The storm and sanitary sewer systems are in proper working condition, and the strainers for the roof drains were recently replaced.



Outdoor Sculpture - 1983

ELECTRICAL The electrical systems in the Fulton branch are in fair condition and should be maintained. The Fulton branch main distribution equipment and corresponding branch circuit panels do not have spare capacity for future loads. As a result, any new/additional work will result in a new branch circuit panel. The library's existing fire alarm system and emergency egress lighting provide the appropriate coverage and should be maintained. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. Some devices, however, have reached the end of their service lives and should be replaced. The Fulton library uses surface mounted wallpacks and 6" downlights for site lighting.

The existing wall mounted exterior fixtures and downlights are in good condition and should be maintained. The parking lot of the Fulton library is illuminated by a pole mounted utility fixture. The existing pole mounted fixture is in good condition and provides the appropriate coverage to the parking lot. The Fulton branch is absent of automatic lighting control and relies too heavily on manual control and daylighting. The library has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

**TOTAL COST OF DEFERRED
MAINTENANCE ITEMS: \$661,262**

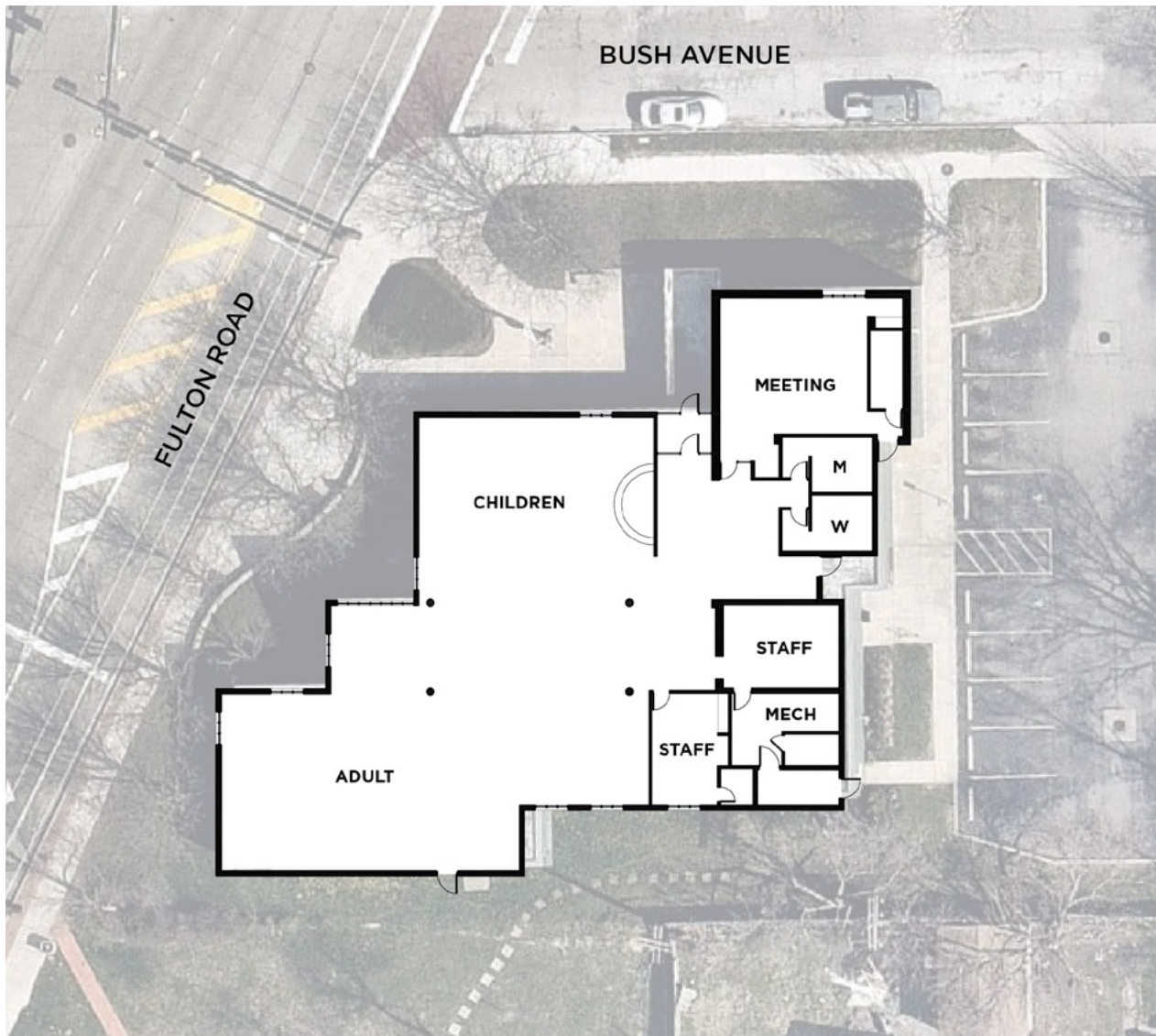


Building Exterior



Building Interior

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

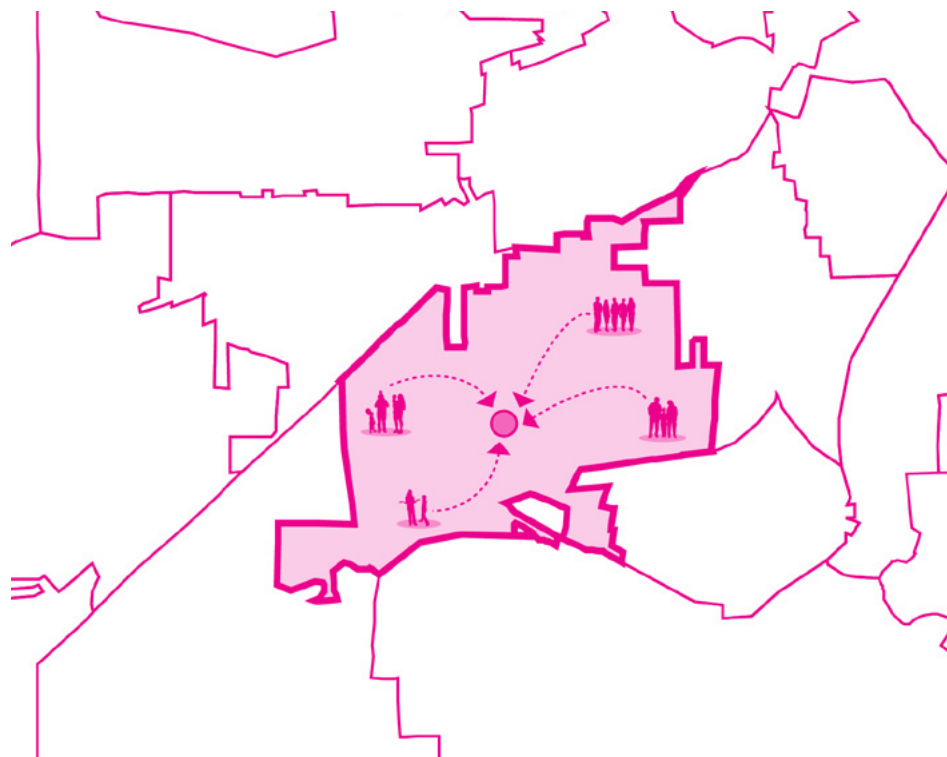
- The building lacks transparency
- Limited street presence
- Main entrance is treated as a secondary entrance
- No defined teen area
- Limited connection to neighboring garden
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- No small quiet study spaces
- Limited wayfinding & signage
- Parking is correctly sized
- Simple, open floor plan lends to flexibility and reorganization

Branch Recommendations

RENOVATION WITH MINOR ADDITION

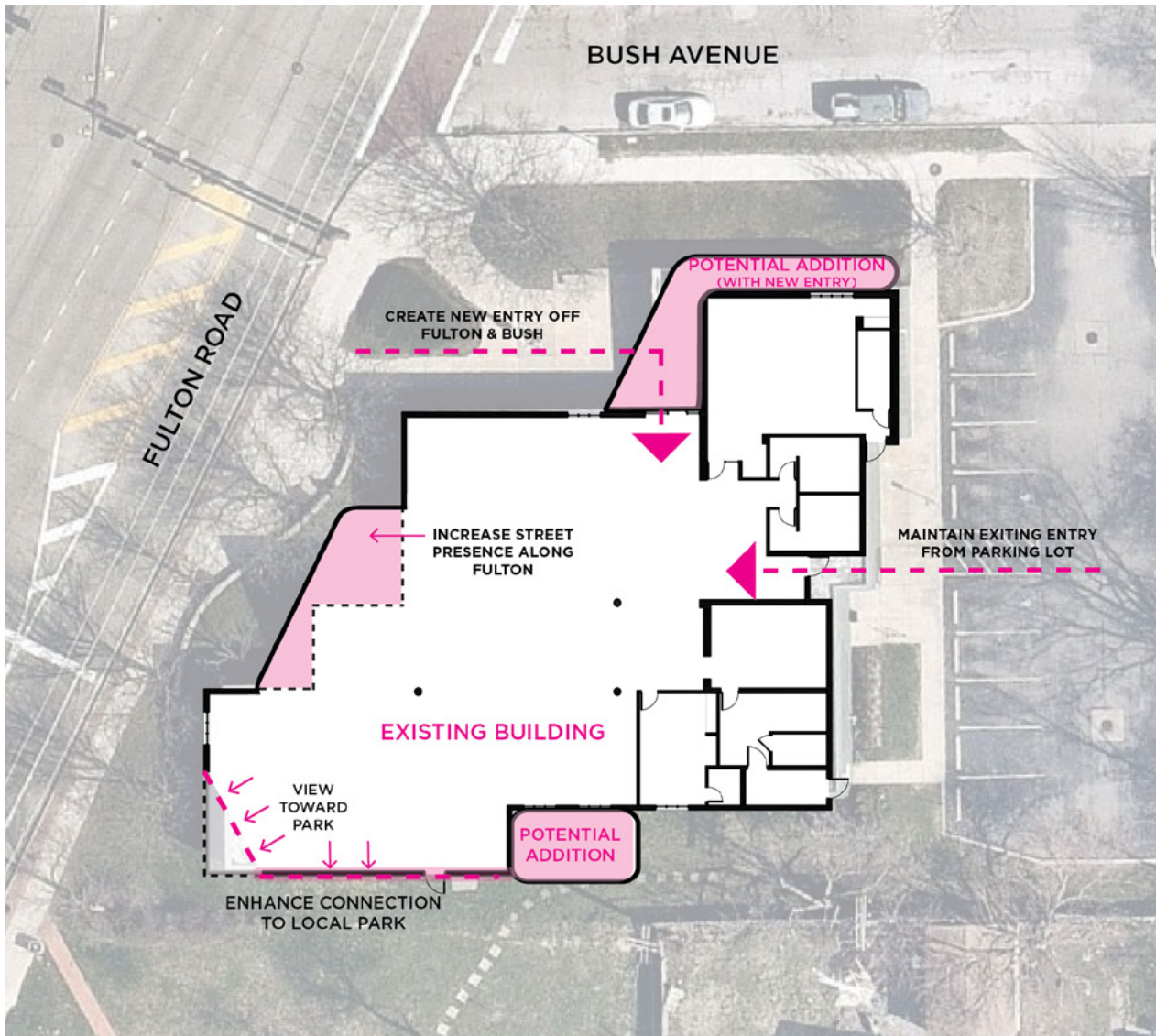
CURRENT STATE This branch is generally in good condition with an open, single story layout that lends itself to more flexibility without major reconfiguration. The building's design offers little transparency and, though located at the corner of the site, has limited street presence. The branch is well used and serves a large community.

FUTURE VISION It is recommended that this branch be renovated with minor expansion in multiple locations to improve service and visibility in the community. A small addition to the north would provide additional meeting space and give more prominence to the entry while small additions or façade modifications on the west and south would substantially increase street presence. If the Library chose to acquire the lots to the south, which it already maintains, it would allow for an addition that could expand the collections space and substantially increase the street presence approaching from the south while maintaining much of the existing park-like space at the corner. Based on the needs of the community and its proximity to other branches, it is recommended this building remain a Neighborhood Branch.



Neighborhood Branch Diagram

Future Vision

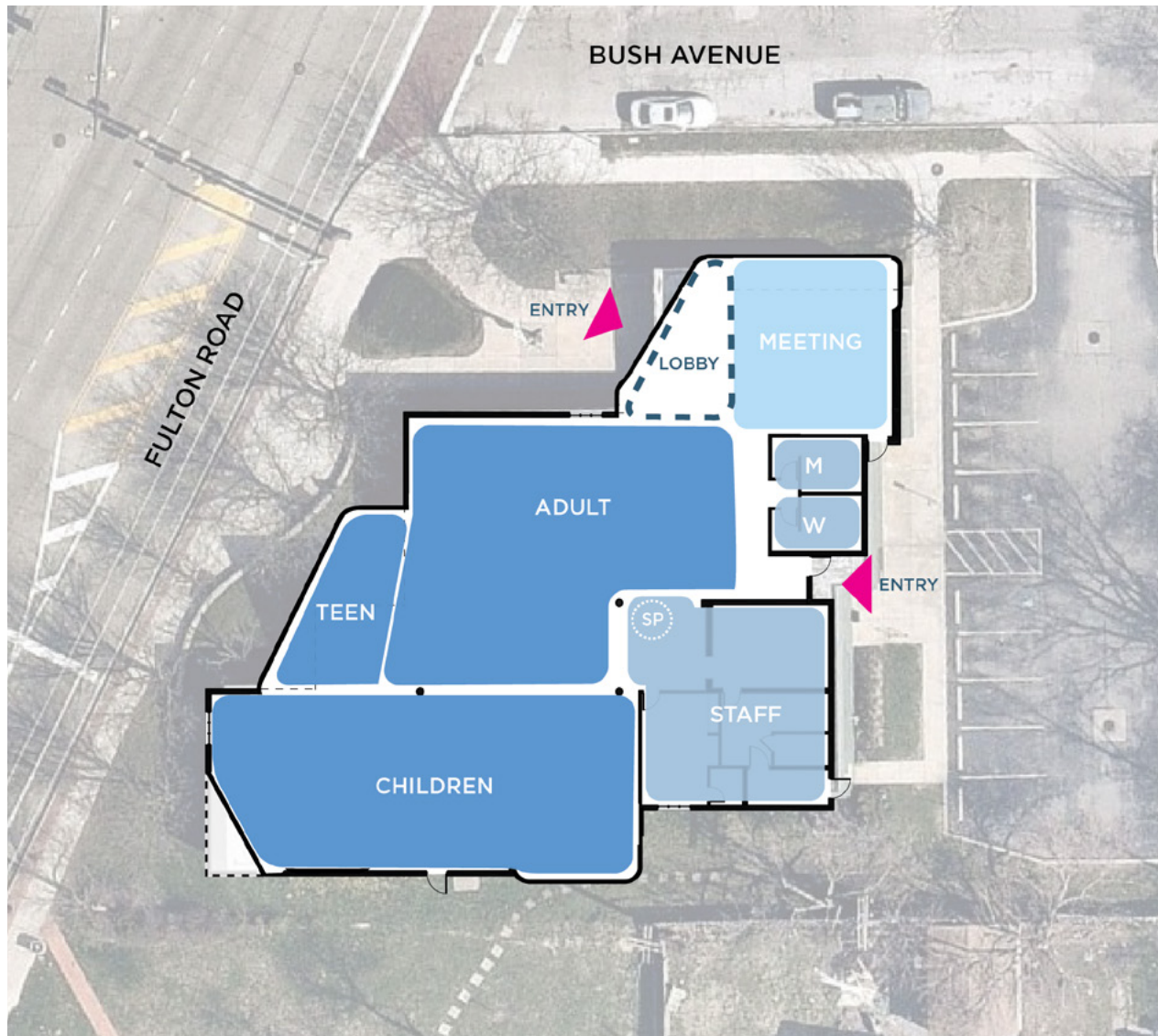


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Create several small additions to improve entry sequence and to give the building greater street presence along Fulton Avenue
- Create new entrance addressing the corner
- Renovate branch to make more efficient use of the space
- Maintain existing entrance from the parking lot
- Create a defined teen space
- Improve connection between the library and the local park
- Open meeting room up to provide increased flexibility
- Improve wayfinding
- Improve views into and out of the building
- Add small quiet study space near the adult collections
- Improve children's collection with larger interactives area
- Consider an after-hours lobby or book lockers for extended service

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

RENOVATION WITH MINOR ADDITION

Total Cost of Implementation: **\$2,300,000**

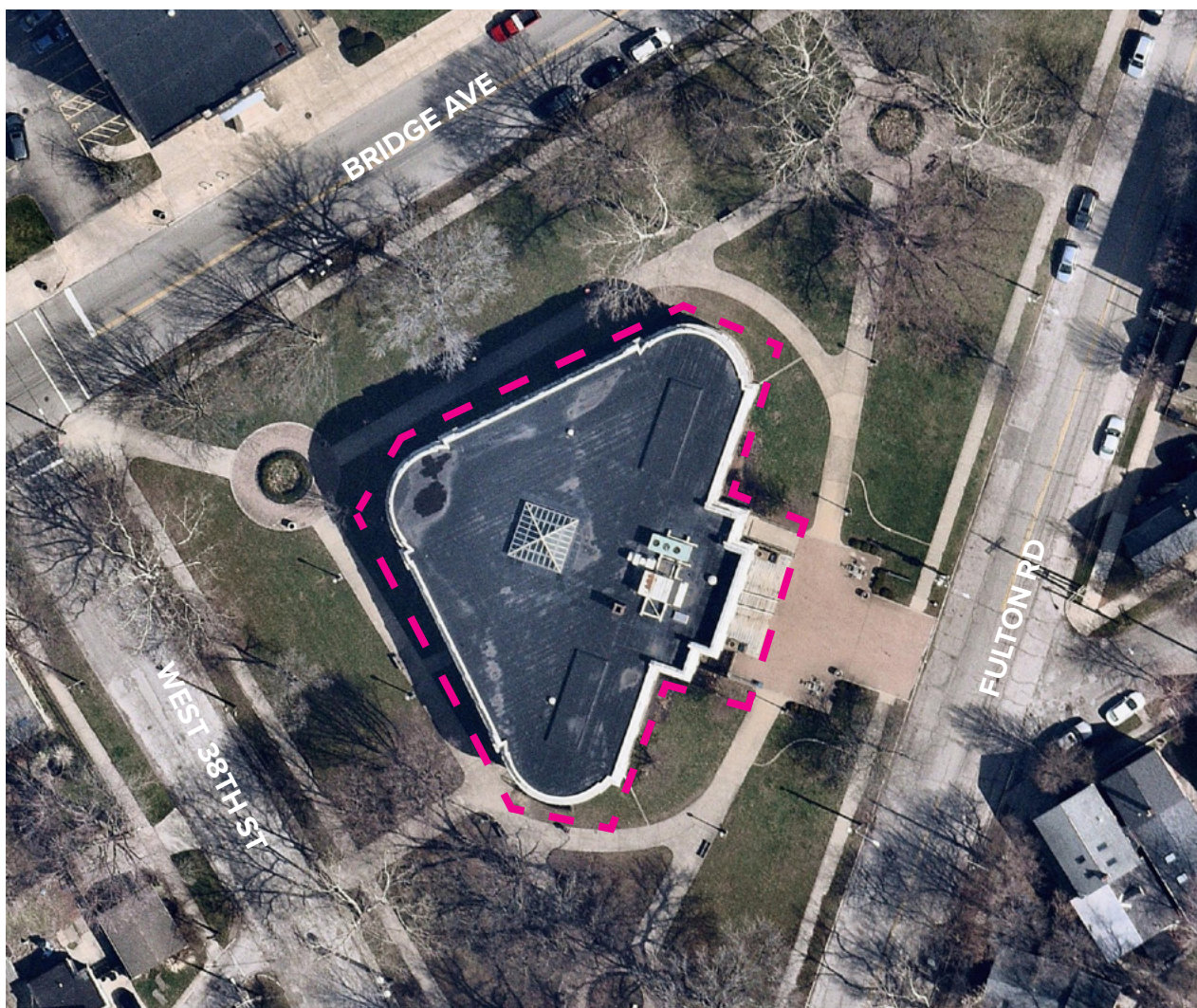
INCLUSIVE OF DEFERRED MAINTENANCE COSTS

Carnegie West Branch

Ohio City Neighborhood



Branch Information



BRANCH STATISTICS

Location: 1900 Fulton Rd

Year Constructed: 1910 (renovation 1979)

Size: 25,600 sf

Parking: None

The Cleveland Public Library Carnegie West Branch was built in 1910 with a complete remodel in 1979. The library is located at 1900 Fulton Road on the city's west side between Bridge Avenue and Lorain Avenue. It is located within Frank Novak Park with access from the sidewalk off Fulton Road. A parking lot is not provided, however there is street parking surrounding the library on Bridge Avenue, Fulton Road, and W. 38th Street. The building is 25,600sf over three stories with collections and reading areas on the first floor, storage and mechanical spaces in a walk-out lower level slightly below street level, and a second floor that includes additional storage. The building is clad in red brick with limestone and terracotta details and a flat roof. Large windows and a central skylight allow significant light into the first floor.

Community Outreach

OUTREACH SUMMARY Carnegie West patrons are many and diverse, and almost all speak positively of that diversity. In a redeveloping neighborhood, the Library is recognized as a public place for all, and patrons wish to retain that inclusivity. Patrons also feel very positively about the building - particularly its historic character, natural light, and spaciousness. However, the major impediment to the Carnegie West experience is Novak Park, surrounding the building. Lighting, landscaping, and hardscaping all need serious reinvestment, and security concerns from park

users also seem to impede some patrons from using the branch more frequently. Some patrons also wished for the basement meeting spaces/auditorium to be reopened and accessible for community use—their preference over an addition, which they feared would jeopardize the historic character of the building.

Outreach for this branch was performed as part of the facilities master plan, see Process section for summary of the outreach process



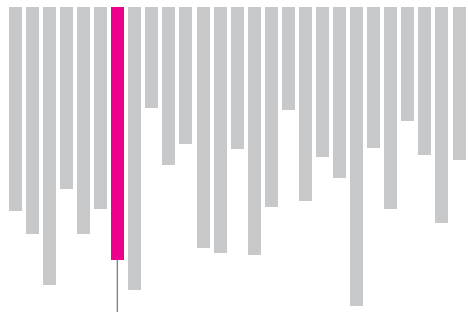
Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Add more lighting on the interior - replace stacks lighting, overhead, task lighting at study desks
- Refresh interior finishes - color, more flexible furnishings/work areas
- Update shelving to be more architecturally-appropriate
- Promote the use of the smaller meeting rooms for quiet study
- Explore reopening downstairs auditorium space, accessible from the exterior for community use
- Explore replacing elevator
- Beautify the front entrance - highlight the frieze, add lighting
- Replace bike rack - work with local fabricators/craftsmen
- Acquire front plaza space from City, redesign & enforce security
- Work with City to redesign/ light Novak Park
- Work with local service providers to host programs (health clinics, etc)
- Expand/shift hours to accommodate evening meetings

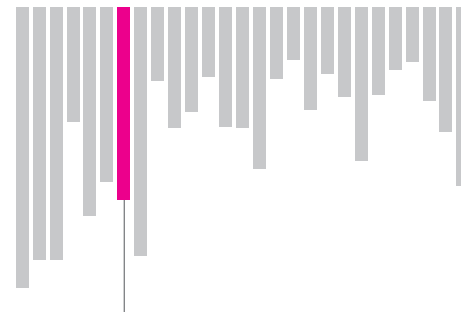
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



107,785 VISITS

CIRCULATION



137,434 ITEMS

SERVICE AREA POPULATION

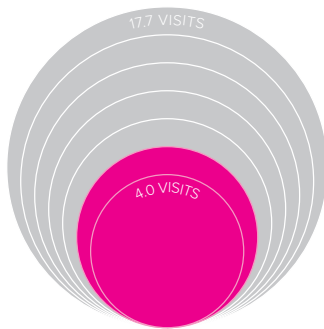


10,487 RESIDENTS

2 OCCUPIED AREA ANALYSIS

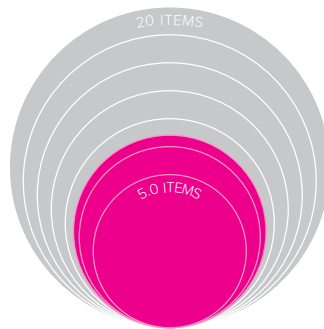
CURRENT OCCUPIED SQUARE FOOTAGE: 19,000 SF

ATTENDANCE

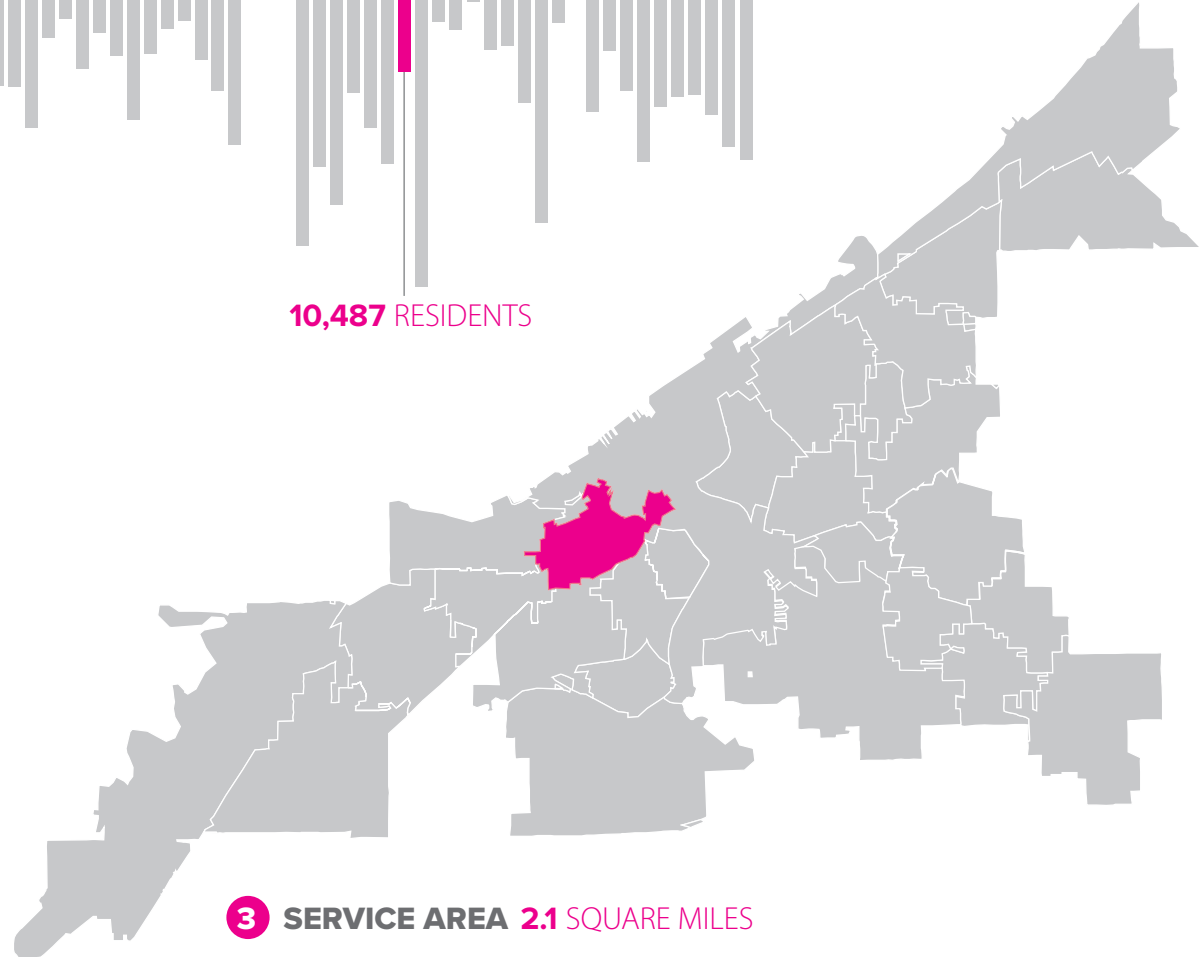


5.7 VISITS PER SF

CIRCULATION



7.2 ITEMS PER SF



3 SERVICE AREA 2.1 SQUARE MILES

KEY

DATA REPRESENTATION



1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

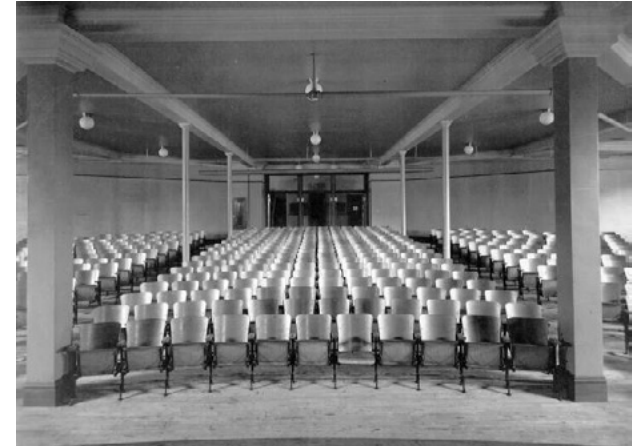
ARCHITECTURAL The Carnegie West branch is generally in good condition however the majority of interior finishes are worn and dated and in need of repair or an update. The heavily ornate envelope and structure are in good to fair condition with visible areas of water infiltration at the lower level that needs to be addressed. Structural issues exist at the stairwell exterior retaining walls. The building was recently renovated to address several life safety, water infiltration, and ADA compliance issues, but still has a few accessibility issues that have been grandfathered into the building. The lower level and second level are primarily used for storage and would require a more comprehensive assessment and renovation in order to be made functional and used by the public. Finishes and millwork are worn and should be replaced in the near future with the exception of the wood paneling and library shelving which is generally in good condition and potentially original to the building.

SITE The library is on a flat site located centrally in Frank Novak Park. A dedicated parking lot is not provided however street parking is available surrounding the park. The surrounding park is maintained by the city with a variety of mature growth trees, regularly maintained lawn, and sidewalks and benches surrounding the library.

A plaza with fixed seating is located outside the main entry to the building. Brick retaining walls and exterior stairs are located on the north and west sides of the building. A ramp is located adjacent to the main entry which provides access to the lower level of the building.

MECHANICAL The Carnegie West Branch HVAC system consists of one rooftop air conditioning unit and two boilers. The rooftop unit and the boilers were installed in 2018 and may remain in service. The air conditioning system components on the first floor have all been replaced and are in good condition, including the radiators. In the basement, the system is old and in poor condition. The cabinet heaters, unit heaters, and fin tube radiators in the basement and mezzanine should be replaced. The first floor temperature is controlled using a Siemens building automation system, but the basement uses single zone wall mounted thermostats. The building control system for the basement should be upgraded and tied in to the existing head end unit.

PLUMBING The Carnegie West Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2006 and has reached the end of its service life;



Basement auditorium - 1980

it should be replaced. The domestic water piping system is in fair condition. Plumbing fixtures are in proper working order. The existing sewer and storm drainage system, including a sump pump, appears to be in working condition without issue. The strainers for the roof drains were recently replaced and may remain in service.

ELECTRICAL The electrical systems in the Carnegie West branch are in average condition and are nearing the end of their service lives. The Carnegie West distribution system has limited spare capacity in the existing branch panels, and any new/additional work will result in a new branch circuit panel. Replacement of the existing distribution equipment and associated branch circuit equipment should be considered due to the age of the equipment and the difficulty in acquiring the appropriate overcurrent devices, which may no longer be manufactured. The library's existing fire alarm system and emergency egress lighting provide the appropriate coverage and should be maintained. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Carnegie West library uses pole mounted fixtures and surface mounted wallpacks for site lighting. The existing surface mounted wallpacks are in poor condition

and have reached the end of their life cycles. The Carnegie West branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

**TOTAL COST OF DEFERRED
MAINTENANCE ITEMS: \$1,237,030**

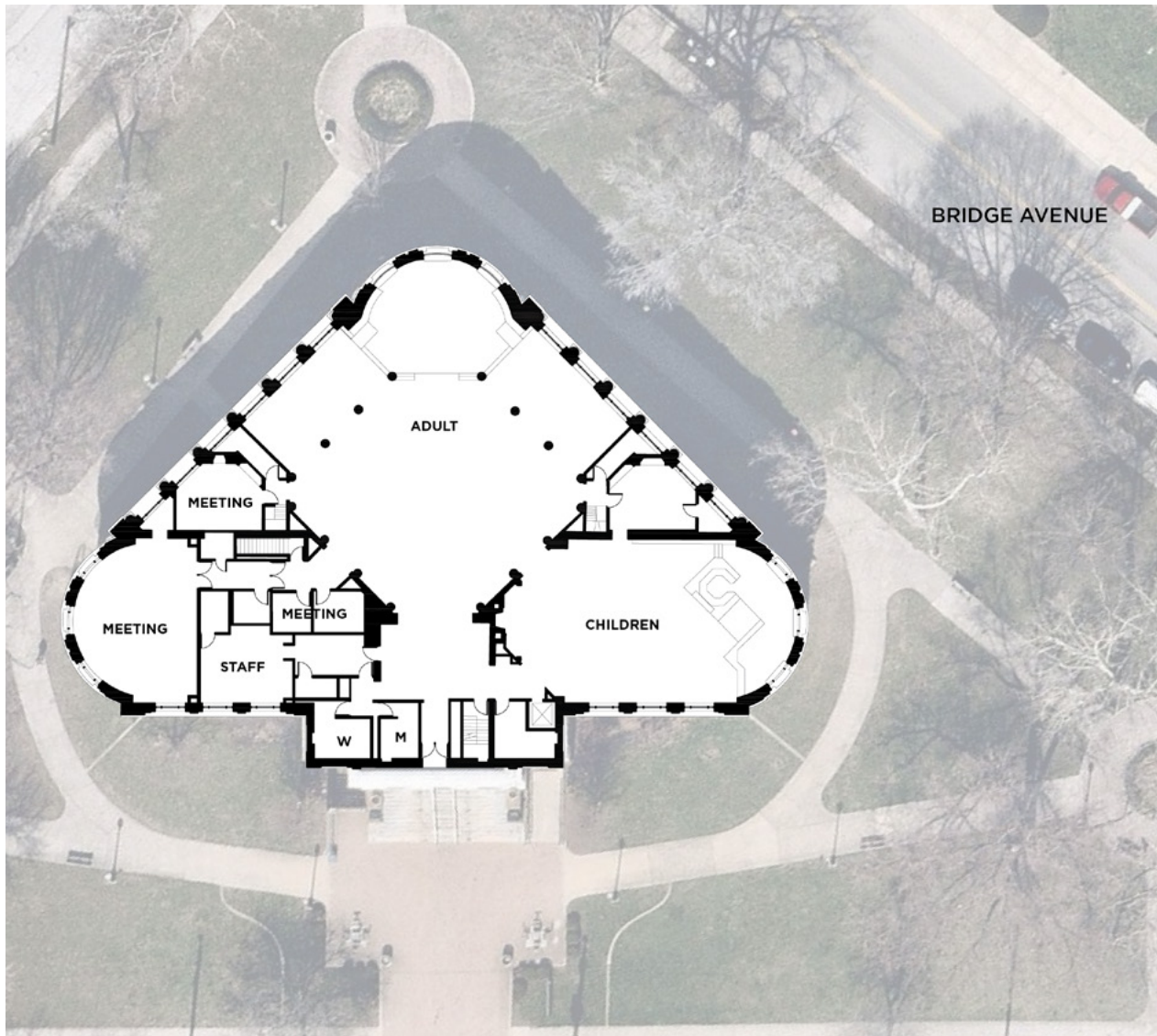


Building Interior



Historic exterior

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

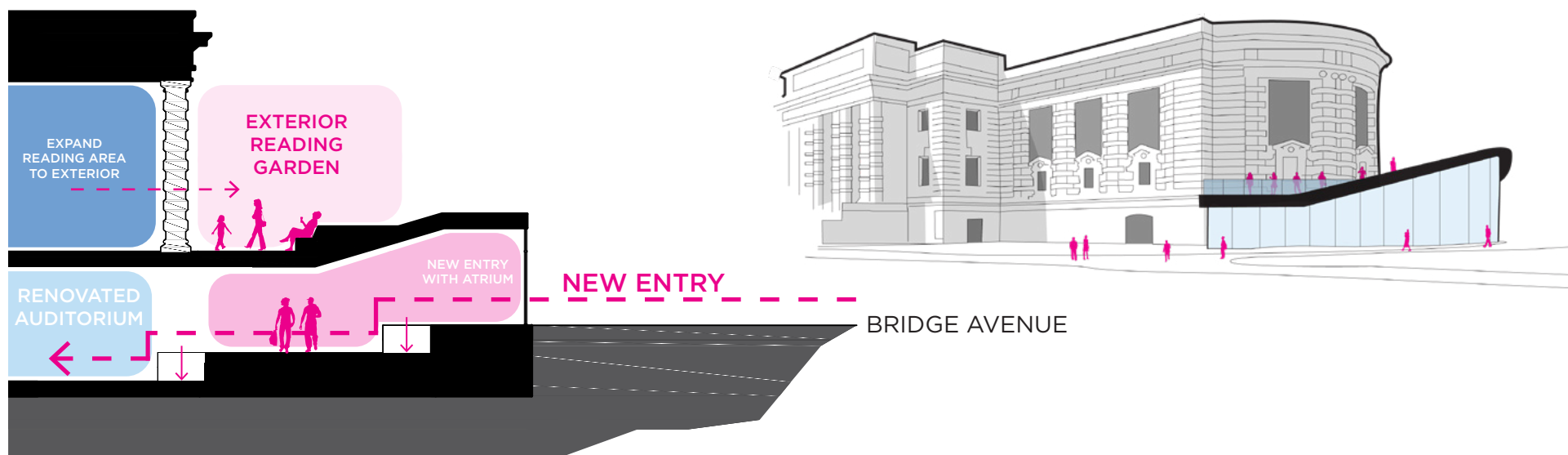
- Iconic historic character
- Unique layout is challenging to reconfigure
- Lower level auditorium is now used for storage
- Limited signage & wayfinding
- ADA compliant ramp has a subverted entry into the lower level, while all public space is located on the first floor
- Lack of dedicated teen space
- Frank Novak Park is not owned by Cleveland Public Library and the library has no control over the property surrounding Carnegie West
- The building has a variety of different meeting spaces
- No off-street parking
- Limited small study space

Branch Recommendations

RENOVATION WITH ADDITION

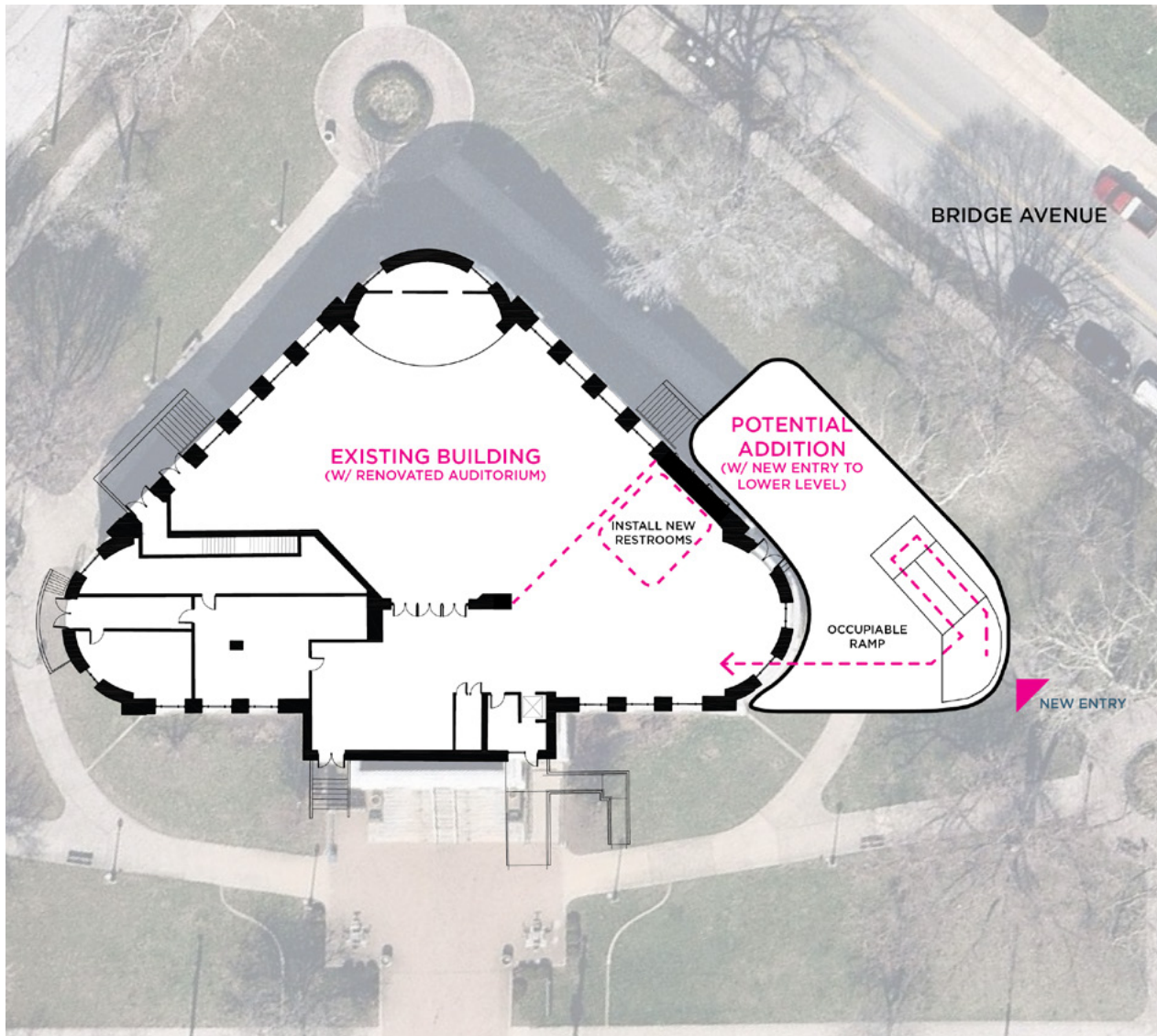
CURRENT STATE Carnegie West is both the oldest and the largest branch in the system. The historic character of its iconic design has been maintained as a landmark in the community. There is ample space in the branch but the unique layout presents challenges for significant reconfiguration. There is opportunity to reclaim an auditorium space in the basement if the entry and accessibility are addressed. The building anchors a large greenspace but the property is a city owned park which limits the library's ability to expand or do significant site improvements. The state of the park is one of the primary concerns of users as it is not well maintained. The branch relies on street parking for patrons.

FUTURE VISION It's recommended that this branch be renovated with consideration given to a new addition. Being respectful of the building's historic character will be critical in any renovation. The goal of an addition would be to improve access and the entry experience to the building's lower level allowing the library to reclaim the auditorium and provide new community meeting space. The library should explore the possibility of acquiring ownership or control of the park in order to provide themselves the flexibility to build and addition as well as improve the park to better support the library and its community. With improvements to the meeting spaces and surrounding site this branch could serve as the system's Regional Anchor for the west side.



POTENTIAL ADDITION DIAGRAM & ILLUSTRATION

Future Vision

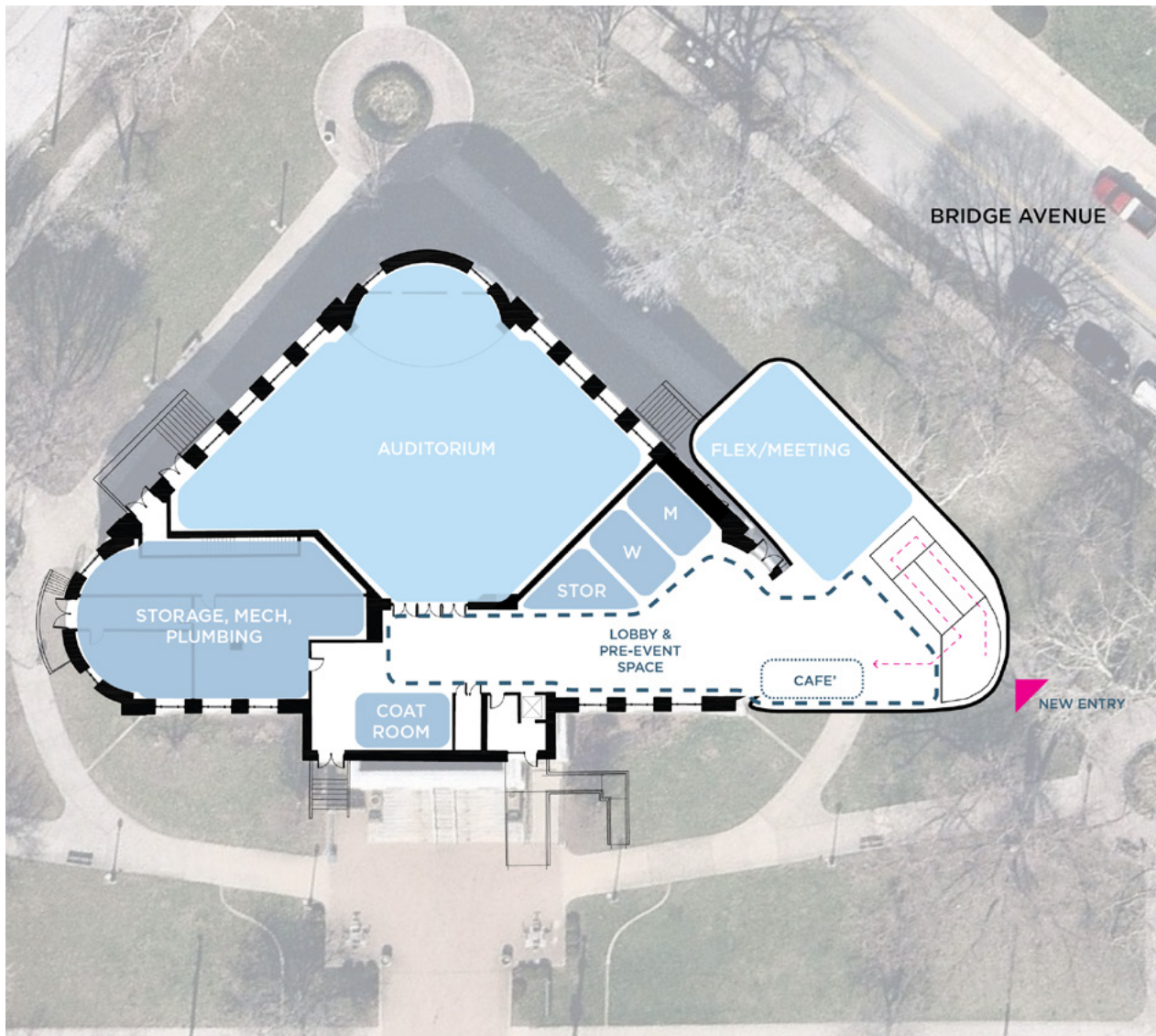


POTENTIAL LOWER LEVEL PLAN DIAGRAM

RECOMMENDATIONS

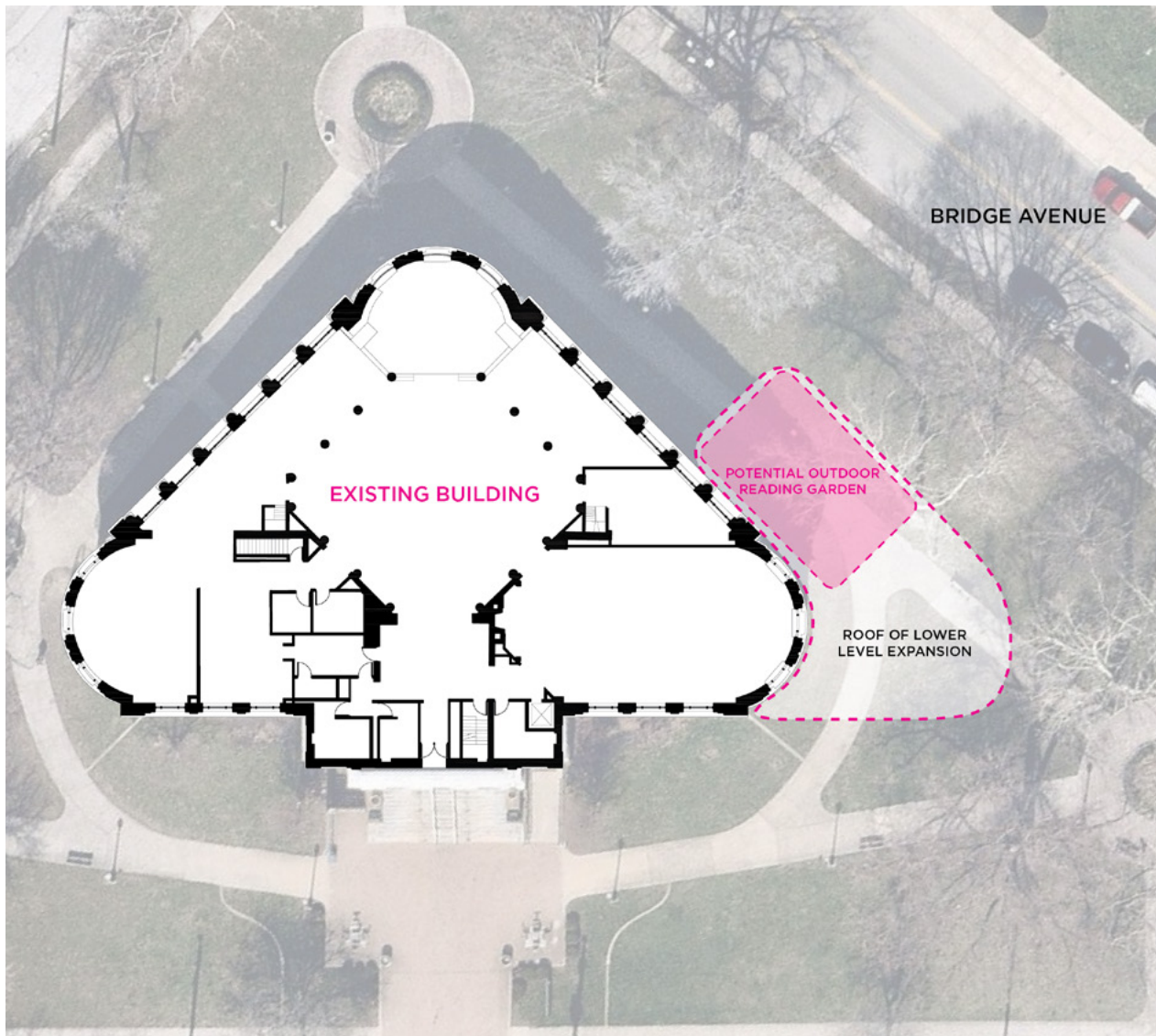
- Create small addition that would provide a new ADA compliant entry into the lower level
- Reclaim the auditorium at the lower level and renovate lower level
- Create new programs that would support the renovated auditorium
- Create new flex/meeting space with a small addition
- Make new occupiable ramp to lower level
- Install new public restrooms

Future Vision



POTENTIAL LOWER LEVEL PLAN PROGRAM

Future Vision

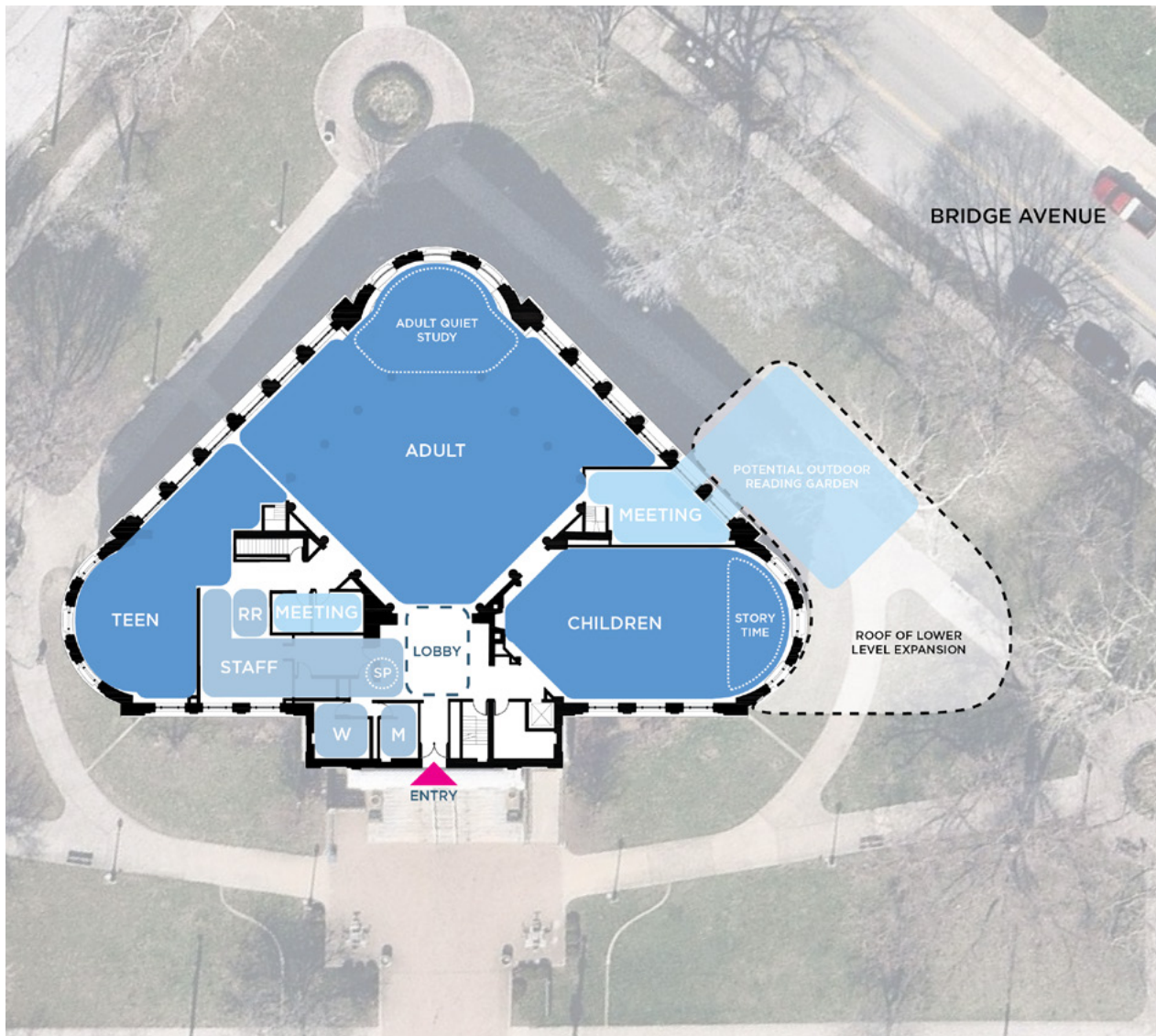


POTENTIAL FIRST FLOOR PLAN DIAGRAM

RECOMMENDATIONS

- Utilize roof of new addition for a new reading garden
- Create designated teen area
- Open meeting room up to provide increased flexibility
- Create designated children's area w/ small scale interactives
- Improve wayfinding
- Create new 'Community Living Room'
- Explore possibility of acquiring ownership of the surrounding Frank Novak Park
- Create a designated computer area with fixed stations and a 'laptop bar'
- Consider options for expanding programs to meet the criteria of a Regional Anchor library
- Provide a flexible program space that supports travelling programs
- Include several small group study rooms or defined collaborative space
- Maintain historic character of the existing building

Future Vision



POTENTIAL FIRST FLOOR PLAN PROGRAM

IMPLEMENTATION COSTS

RENOVATION WITH ADDITION

Total Cost of Implementation: **\$6,900,000**

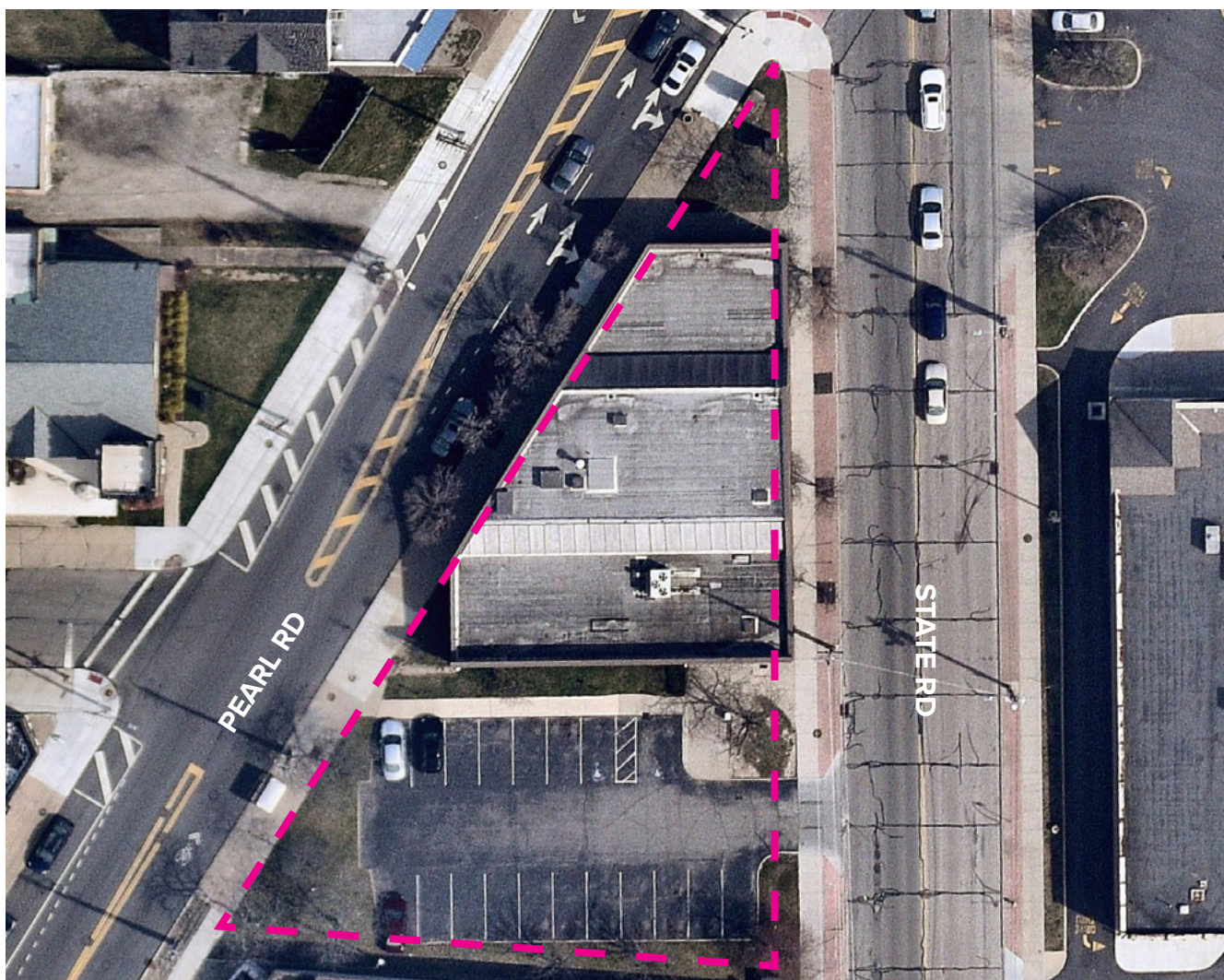
INCLUSIVE OF DEFERRED MAINTENANCE COSTS

South Brooklyn Branch

Old Brooklyn & Brookside Neighborhoods



Branch Information



BRANCH STATISTICS

Location: 4303 Pearl Rd

Year Constructed: 1979

Size: 10,200 sf

Parking: 19 spaces

The Cleveland Public Library South Brooklyn Branch was built in 1979 and is located at 4303 Pearl Road on the city's west side at the triangular corner of Pearl and State Road. It is located on a tight corner site of two major roads. There is a parking lot to the south of the building accessed via State Road. A small landscape area with sculptures occupies the northern tip of the site. The building is 10,200sf with collections, reading areas, a workroom, support spaces on the first floor. A large meeting room, staff lounge, and mechanical room are located on mezzanine level. The building is clad in 8"x8" brick with window openings on three facades. The reading and collection areas and mezzanine are also naturally lit by two large insulated translucent skylights.

Community Outreach

OUTREACH SUMMARY One of the largest and most well-used branches in the CPL system, the South Brooklyn Branch is relatively well-located in the heart of Old Brooklyn; however, the major issue for patrons here is the lack of sufficient parking. Without neighboring space to expand into, alternatives are either a shared parking agreement with the Walgreens across State Ave, or else relocating the branch entirely. The local CDC was supportive of a relocation, and is interested in working with CPL to explore alternatives. Patrons also liked the idea of livening up the building’s exterior and grounds with public art, landscaping, and programming.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)



Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Explore possibility of relocating branch to former RTA bus lot south on Pearl
- Retrofit upstairs meeting space to accommodate flexible partitions for meeting spaces
- Rearrange adult shelving diagonally to allow for more visual access to windows
- Construct several small glass study rooms downstairs
- Provide more flexible seating options, including lounge seating and laptop bar against windows
- Rearrange childrens’ area to include playful, colorful, and curvy shelving and flexible soft seating options
- Pilot the retrofit of the Pearl Ave entrance for an after-hours “lobby” access for drop-offs, pick-ups
- Add signage/lighting to exterior to highlight branch
- Transform north triangle on site into a public art garden
- Coordinate shared parking agreement with Walgreens
- Work with RTA to improve adjacent Transit Waiting Environment on Pearl
- Outreach & collaborate with more Old Brooklyn organizations/businesses

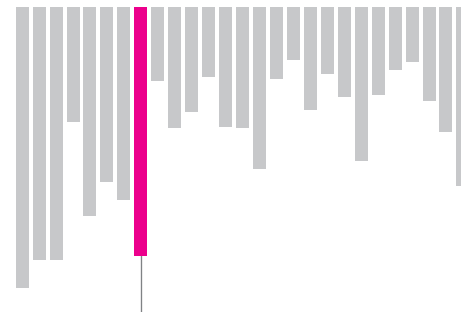
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



120,438 VISITS ↑
2ND HIGHEST OF 27 BRANCHES

CIRCULATION



178,078 ITEMS

SERVICE AREA POPULATION

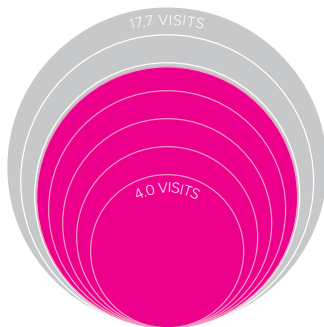


32,043 RESIDENTS ↑
1ST HIGHEST OF 27 BRANCHES

2 OCCUPIED AREA ANALYSIS

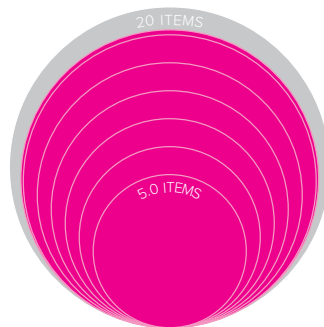
CURRENT OCCUPIED SQUARE FOOTAGE: 10,300 SF

ATTENDANCE

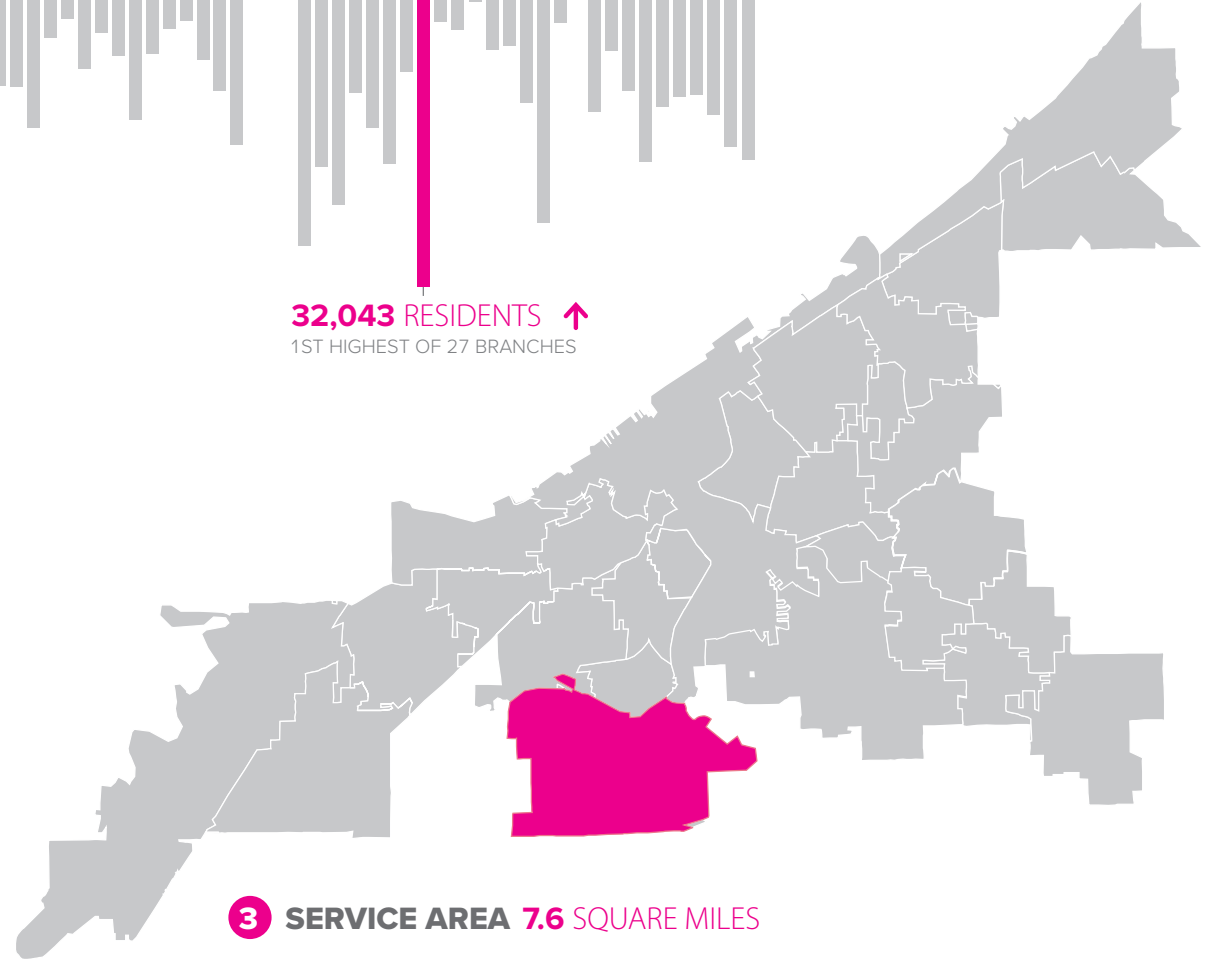


11.7 VISITS PER SF

CIRCULATION



17.3 ITEMS PER SF



3 SERVICE AREA 7.6 SQUARE MILES

KEY

DATA REPRESENTATION



1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The South Brooklyn Branch building is generally in good condition but with some accessibility and life safety concerns that need to be addressed. There are two reading and collection areas which are at different finished floor elevations from the building entries and circulation desk. These are accessed by both steps and ramps. The mezzanine level is accessed via steps and an elevator. The insulated translucent skylights exterior has experienced fiber bloom and appear discolored from the interior. The roofing in general appeared in poor condition. The location of the roof top condensers requires fall protection safety rails due to their proximity to the roof edge. Public restrooms do not comply with ADA requirements. Some minor exterior masonry repairs are required at the windows and within the masonry field. The finishes and millwork are showing signs of age and should be updated throughout.

SITE The Library is on a small site and is bounded by sidewalks on two sides that are in fair condition with damage in localized areas. The library has at grade entries on two sides. The first from the surface parking lot on the south side of the site and the second from the Pearl Road sidewalk. The limited site furnishings require attention.

MECHANICAL The South Brooklyn Branch HVAC system consists of 25-ton multi zone air handling system and two gas-fired hot water boilers that serve finned tube radiators, heating panels, and the heating coil in the air handler. Although in fair condition, the air handling unit has reached the end of its service life and should be replaced. The new system should include a code required economizer, and a variable air volume operation should be considered. The outside air intake and exhaust vent should be spaced at least 15 feet apart and the ductwork distribution system should be replaced concurrently with the air handling unit. The boilers were manufactured in 1995 and is in fair condition. However, the four heating pumps are in poor condition and the boiler flue is rusting and should be replaced. The building is presently controlled by a unit control panel and seven (7) thermostats and is old. An upgraded system would be beneficial in providing occupied/unoccupied scheduling and reducing energy costs and could be connected to a Main Building Automation System is desired.



Building Interior - 1979

PLUMBING The South Brooklyn Branch plumbing system consists of a domestic water heater, backflow prevention device, manual flush valve water closets and faucets. The domestic water piping systems are in good working condition; however, an expansion tank should be installed. The plumbing fixtures were in proper working order although they are not ADA compliant. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. The roof drain strainers are in poor condition and should be replaced.

ELECTRICAL The electrical systems in the South Brooklyn branch are generally in fair condition and should be maintained. The South Brooklyn distribution system has limited spare capacity in the existing branch panels, and any new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to the existing fire alarm system and emergency egress lighting. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The South Brooklyn library utilizes surface mounted wall packs for site lighting. These fixtures do not provide the appropriate coverage and have reached the end of their life cycles. The South Brooklyn branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

**TOTAL COST OF DEFERRED
MAINTENANCE ITEMS: \$1,191,364**

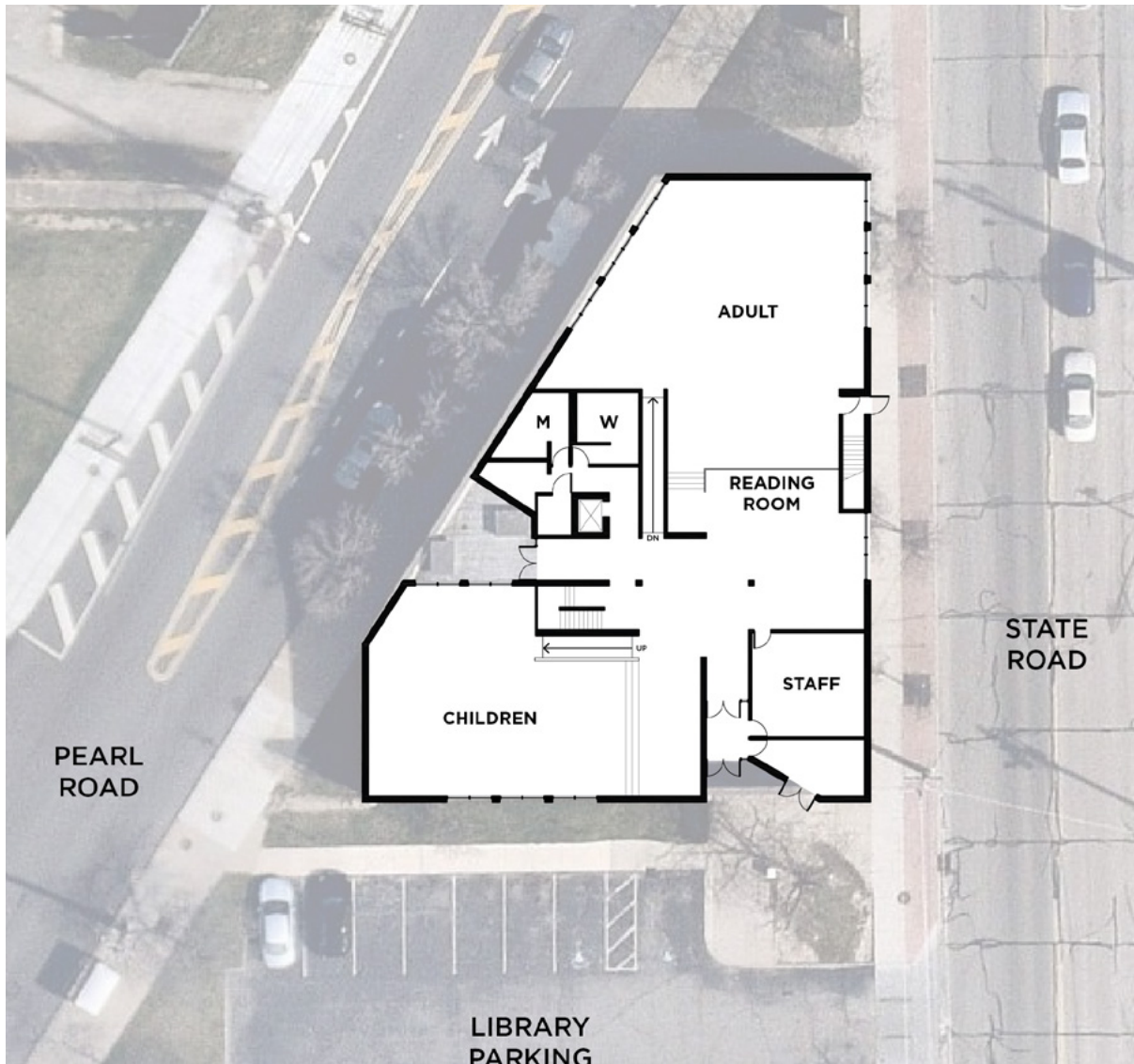


First floor collection



Upper Level Meeting Room

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

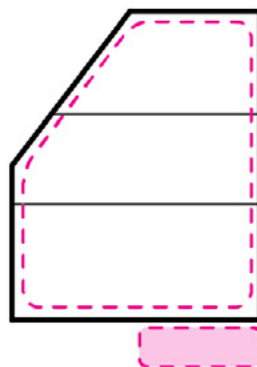
- Multi-levelled floor plate creates challenges for flexibility and sight lines
- Site size and shape limit opportunity for expansion
- Dynamic interior spaces
- Limited signage & wayfinding
- Building is two stories with collection and staff space on the ground floor and meeting space on the upper level.
- Lack of dedicated teen space
- On-site parking is limited
- One of the most heavily used branches in the system
- Limited visibility from the exterior
- Located at a very visible corner within the community

Branch Recommendations

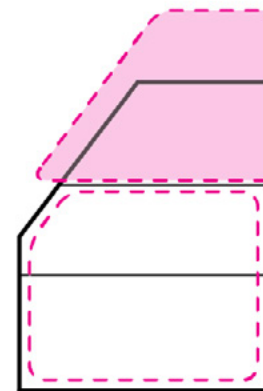
RENOVATION WITH ADDITION

CURRENT STATE Located on a highly visible corner in an active community the South Brooklyn branch is one of the most heavily used in the system. However, the site's size and shape severely limit opportunity for expansion. While the building's design creates a dynamic interior space it has very limited visibility in from the street and the multi-leveled floor plate creates challenges for both flexibility and sightlines.

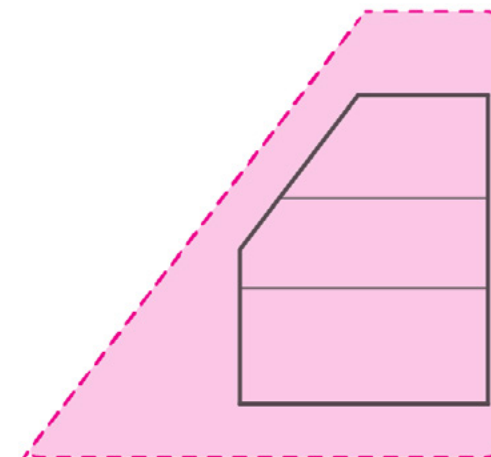
FUTURE VISION It is recommended, based on its location and heavy use, that this branch be considered as a new Community Hub branch. In order to meet the criteria for this in addition to a substantial interior renovation the building will need a new two-story addition. The addition could expand meeting space on the upper level while maintaining a visual connection between floors as well as create a stronger presence on the corner. Alternatively building new on the existing site to may be considered. In either case the possibility of a shared parking agreement with an adjacent property owner should be considered.



RECONFIGURE



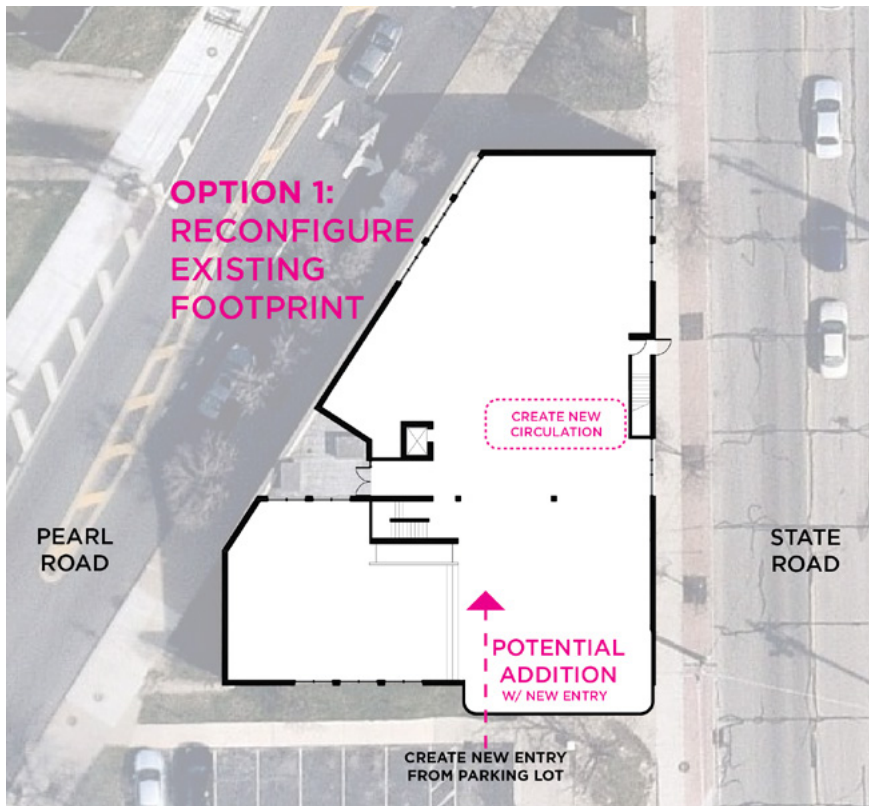
EXPAND



BUILD NEW

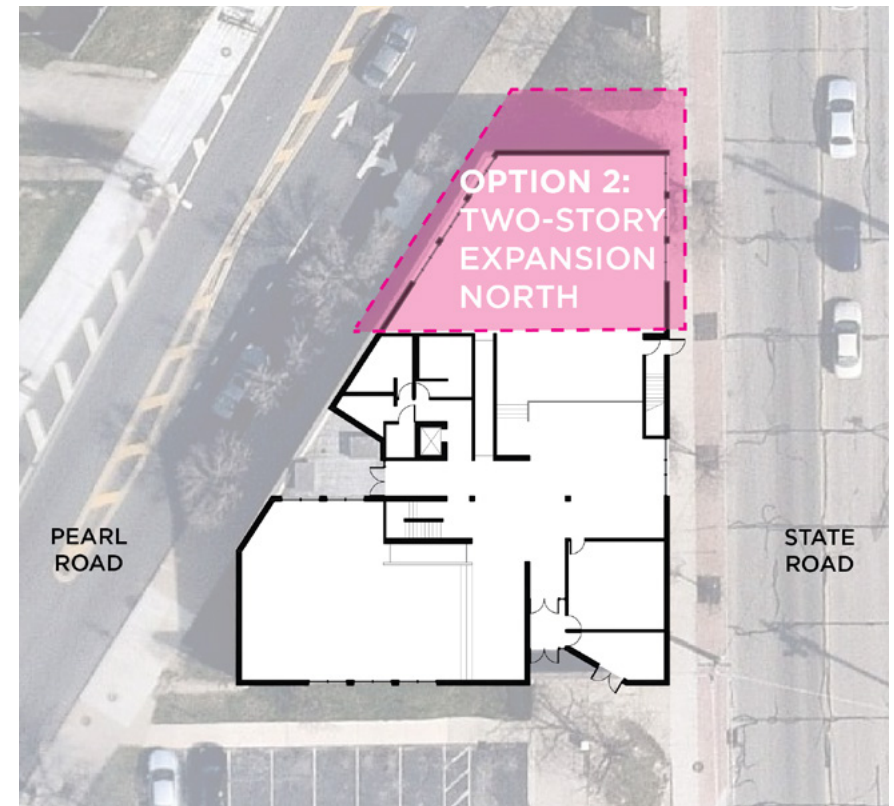
Branch Consideration

POTENTIAL FIRST FLOOR DIAGRAMS



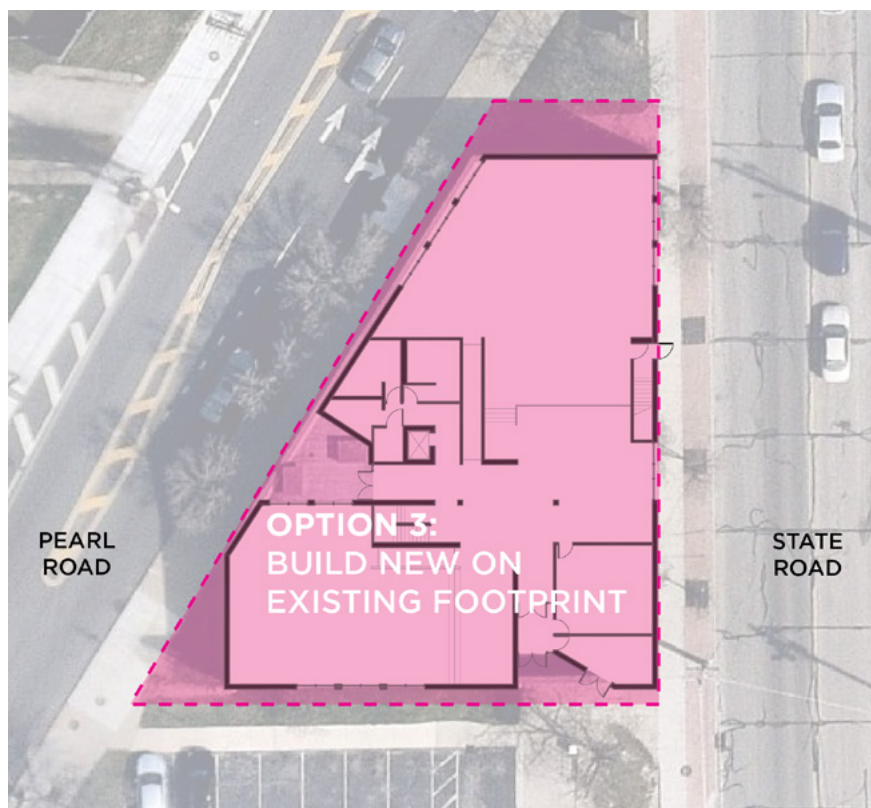
OPTION 1: RECONFIGURE EXISTING FOOTPRINT

In addition to a substantial interior renovation, the building needs to reconfigure the existing footprint to improve the spatial layout. A small, single story addition could expand the existing building footprint, while reconfiguring the interior layout. It should be noted that a minor expansion would not give the building enough increased space to meet the criteria of a Community Hub branch.



OPTION 2: TWO-STORY EXPANSION TO THE NORTH

In order to meet the criteria for a Community Hub branch, this building will need a substantial interior renovation and two-story addition. The addition could expand meeting space on the upper level while maintaining a visual connection between floors. An addition on this part of the building will also create a stronger presence on the street corner.



OPTION 3: BUILD NEW ON EXISTING FOOTPRINT

As a renovation and addition of the existing building would be costly, consideration should be given to building a new structure on the existing footprint. A new two-story building would be able to provide the necessary space needed to meet the criteria of a Community Hub branch, while creating a stronger street presence at the intersection of State and Pearl.

IMPLEMENTATION COSTS

RENOVATION WITH ADDITION*

Total Cost Of Implementation: **\$3,300,000**

INCLUSIVE OF DEFERRED MAINTENANCE COSTS,

*ASSUMES IMPLEMENTATION OF OPTION 2

RECOMMENDATIONS

- Improve street presence
- Create a shared parking agreement with the new development to the south
- Consider an after hours lobby
- Create new designated teen space
- Create a dedicated computer area w/ a mix of fixed stations and a 'laptop bar'
- Include several small group study rooms or defined collaborative space
- Provide a flexible program space that supports travelling programs
- Renovate branch to make more efficient use of the space
- Consider options for expanding programs to meet the criteria of a Community Hub library

Brooklyn Branch

Brooklyn Centre Neighborhood



Building Information



BRANCH STATISTICS

Location: 3706 Pearl Road

Year Constructed: 1919 (renovated 1984)

Size: 5,850 sf

Parking: None

The Cleveland Public Library Brooklyn Branch was built in 1919, renovated in 1984, and is located at 3706 Pearl Road on the city's west side at the corner of Pearl and Mapledale Avenue. It is set back from the adjacent roadways on two sides and neighbors a commercial use to the south and residential to the west. The Library does not have on-site parking and has a small service driveway at the rear of the building. The building is 5,850sf with collections, reading areas, a large meeting room, and staff space on the first floor. A Mechanical room and storage are located in a basement level. The building is clad in red brick with window openings on two and a half facades. The reading and collection area are also naturally lit by large skylights.

Community Outreach

OUTREACH SUMMARY This small neighborhood branch is well-located and more or less sufficient in size for its patrons. However, the interior needs a refresh of furnishings, color, and most importantly lighting – the interior is considerably dark, especially in winter months. Unlike in some other branches, Brooklyn patrons did not wish to cordon off space in any way for study rooms; instead, the branch should focus on flexibility of furnishings and interior configurations in order to allow for a range of uses. Co-working and tutoring could be accommodated in the back meeting room during the day. The large front lawn area on Pearl Ave would be a good candidate for exterior reading gardens and public art/signage.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)



Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Streamline “information station” in vestibule with space for community notifications
- Add additional overhead and task lighting
- Provide more flexible seating options, including lounge seating, rolling cubicles/study carrels, and lightweight tables with electrical outlets
- Replace some fixed stacks with flexible/moveable shelving to allow for reconfiguration
- Add new large sign in front of branch making library more visible to passersby
- Work with local artists and fabricators to design and install new bike rack
- Add more lighting to the branch exterior and landscape
- Work with local artists to create mural program for north wall
- Coordinate shared parking agreement with adjacent shopping center
- Create “Health Walk” along Pearl linking neighborhood libraries/MetroHealth
- Dedicate back meeting room to flexible work space 10:00am-2:00pm
- Expand partnerships and programming with local neighborhood organizations, both at branch and elsewhere

1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



43,043 VISITS ↓
1ST LOWEST OF 27 BRANCHES

CIRCULATION



52,776 ITEMS

SERVICE AREA POPULATION

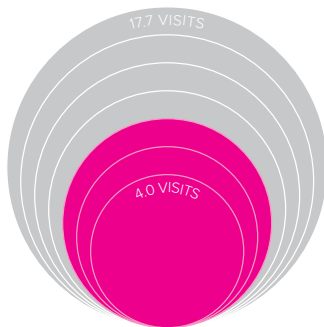


5,524 RESIDENTS ↓
3RD LOWEST OF 27 BRANCHES

2 OCCUPIED AREA ANALYSIS

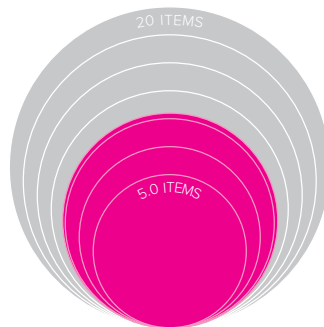
CURRENT OCCUPIED SQUARE FOOTAGE: 5,850 SF

ATTENDANCE

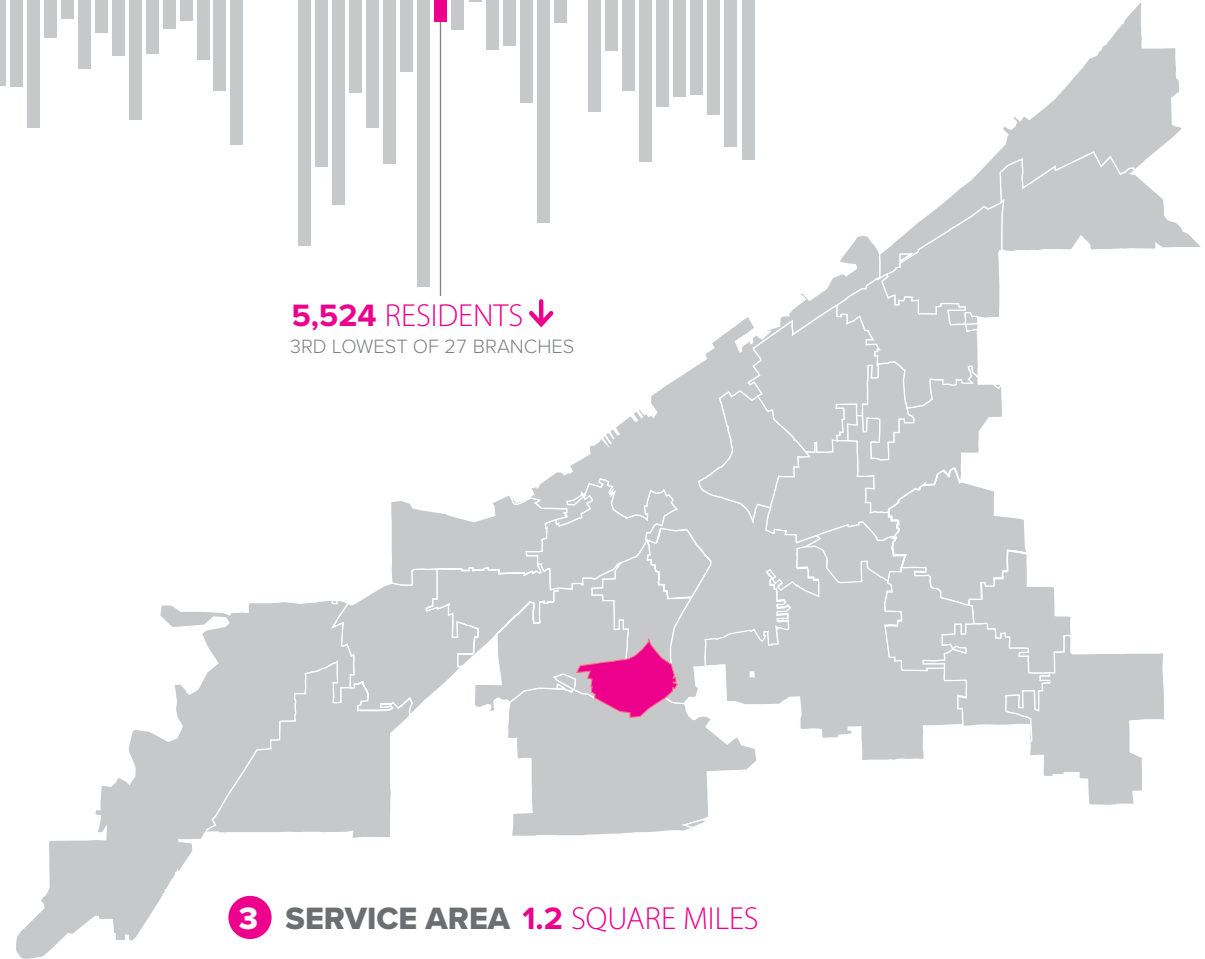


7.4 VISITS PER SF

CIRCULATION



9 ITEMS PER SF



3 SERVICE AREA 1.2 SQUARE MILES

KEY
DATA REPRESENTATION

System Wide
Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Brooklyn Branch building is generally in good condition but with some accessibility and life safety concerns that need to be addressed. The exterior gate at the basement stair is a potentially dangerous life safety concern because it is padlocked and the swing is impeded by a Dominion East Ohio gas enclosure. There was an active leak at the skylight over the Circulation Desk which should continue to be monitored and corrected. The basement level had noticeable wall cracks, water damage at walls and peeling paint. The roofing in general appeared in poor condition. The location of the roof top condensers requires fall protection safety rails due to their proximity to the roof edge. Public restrooms do not comply with ADA requirements. Some minor exterior masonry repairs are required at the base, windows, and chimney. The finishes and millwork are showing signs of age and should be updated throughout.

SITE The Library is on a small site and is bounded by sidewalks on two sides that are in fair condition with damage in localized areas. A wooden temporary handrail the front entry steps should be replaced with a permanent handrail and the concrete walk from the sidewalk does not meet ADA requirements. The limited site furnishings require attention.

MECHANICAL The Brooklyn Branch HVAC system consists of two air handling units that provide the building's air conditioning and ventilation air and a third PTAC serving the lounge. The main unit has a capacity of 20 tons and the other has a capacity of 3 tons. The two condensing units serving the air handler are located on the roof. The air conditioning systems have reached the end of their service life and should be replaced. New refrigerant piping and insulation should be installed when the air conditioning system is replaced. The building control system should be upgraded when the new air conditioning is installed. Thermostats should be replaced and DDC controls installed. These could then be connected to a Main Building Automation System (BAS) if desired. The heating system consists of two gas-fired atmospheric hot water boiler that serve baseboard radiation, convectors, and reheat coils. The boilers have an output capacity of 296 MBH each and were replaced in 1995, are past their service life and should be replaced. The four system pumps are more than 20 years old and should also be replaced.



Front Entrance - 1966

PLUMBING The Brooklyn Branch plumbing system consists of a domestic water heater, flush valve water closets and manual faucets. The domestic water heater was replaced in 2014 and is still in its expected service life. However, the expansion tank is in poor condition and should be replaced. Most plumbing fixtures were in proper working order but do not meet ADA requirements. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. The roof drain strainers are in poor conditions and should be replaced.

ELECTRICAL The electrical systems in the Brooklyn branch are aged, but operational. The Brooklyn distribution system contains a variety of code violations including working clearances and providing equipment service receptacles. Replacement of the existing Brooklyn distribution equipment should be considered due to the age of the equipment and the difficulty in acquiring the appropriate overcurrent devices, which are no longer manufactured. Additionally, due to limited spare capacity in the existing branch panels, any new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to the existing fire alarm system and emergency egress lighting. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The exterior wall packs at the Brooklyn branch provide the appropriate coverage, but the non-LED fixtures have reached the end of their life cycles. The Brooklyn branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$744,434



Building Interior



Main entry from Pearl Road

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

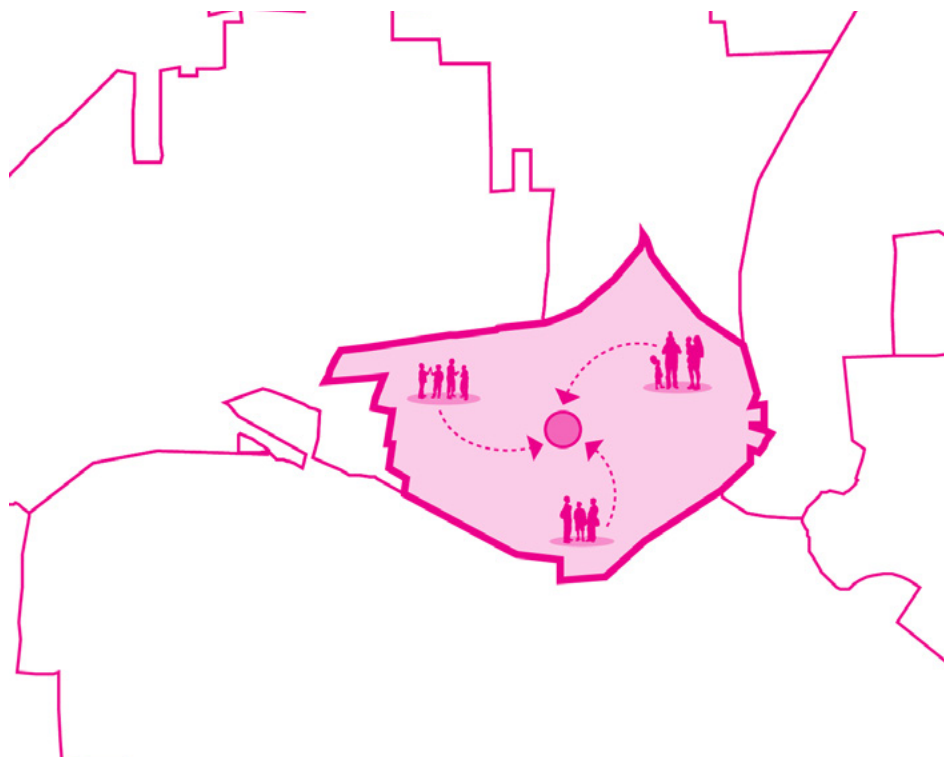
- Strong historic character
- Simple, open layout
- Service area is smaller than average
- No defined teen area
- Surrounding properties are privately-owned, limiting expansion
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- No on-site parking
- No small quiet study spaces
- Branch lacks visibility and street presence
- Lower than average usage, due to small service area

Branch Recommendations

RENOVATION

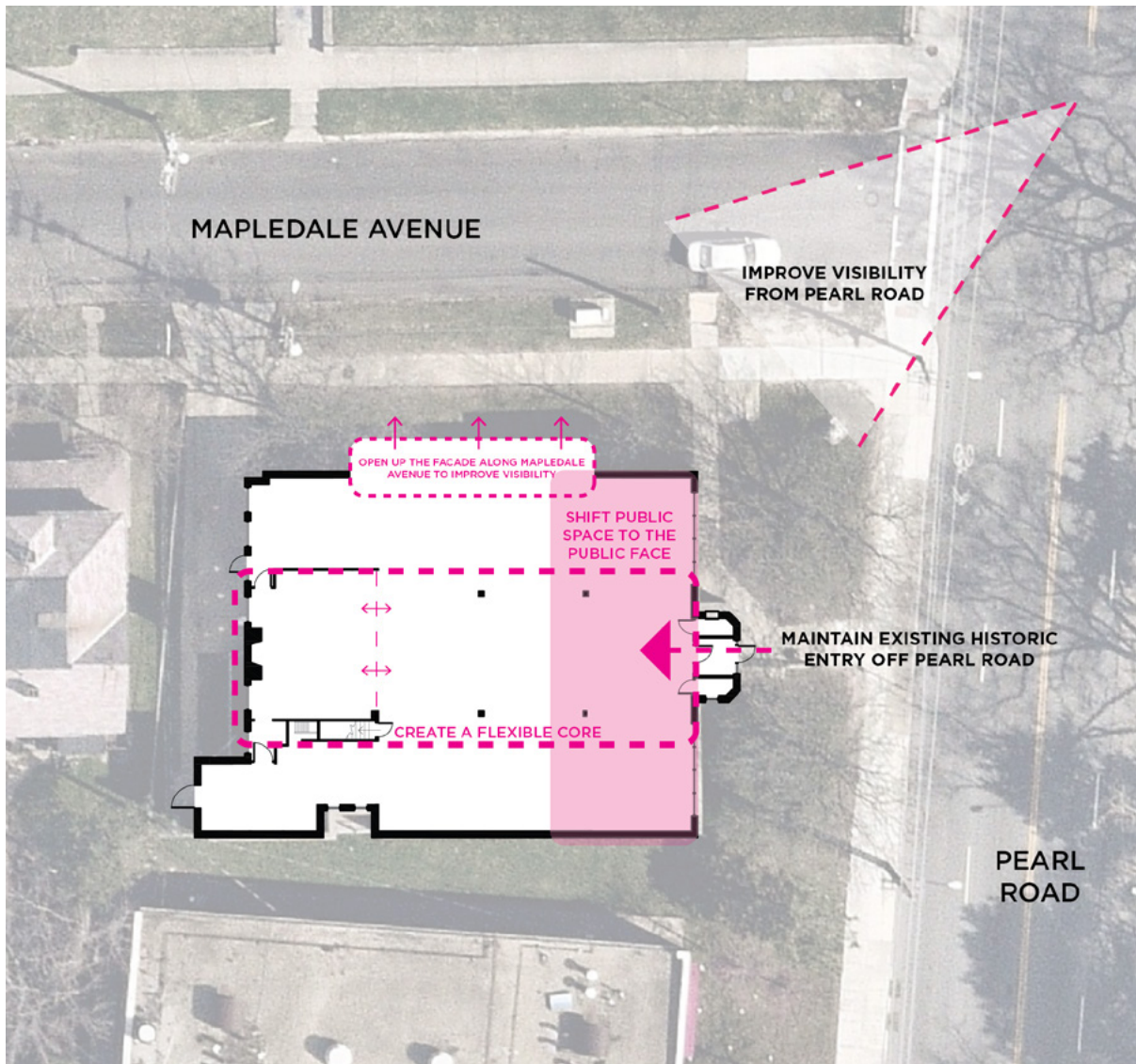
CURRENT STATE This Carnegie branch has retained much of its historic character though it requires maintenance and updates. While in need of modernizing, the simple, open layout lends itself to renovation. The service area for the branch is small but geographically distinct which makes it an important asset to the neighborhood in spite of lower than average usership. The site is small and surrounded by privately owned and occupied properties making expansion in this location unlikely.

FUTURE VISION It is recommended that this branch be renovated to create a highly flexible space that maximizes the limited square footage available to create a viable Neighborhood Branch. A small addition on the north side of the building would allow for consolidation of staff spaces, and expanded children and teen areas. Consideration may be given to a small addition which could significantly improve visibility from Pearl. Based on the limitations of building expansion and the lack of on-site parking, it is recommended this remain a Neighborhood Branch.



Neighborhood Branch Diagram

Future Vision

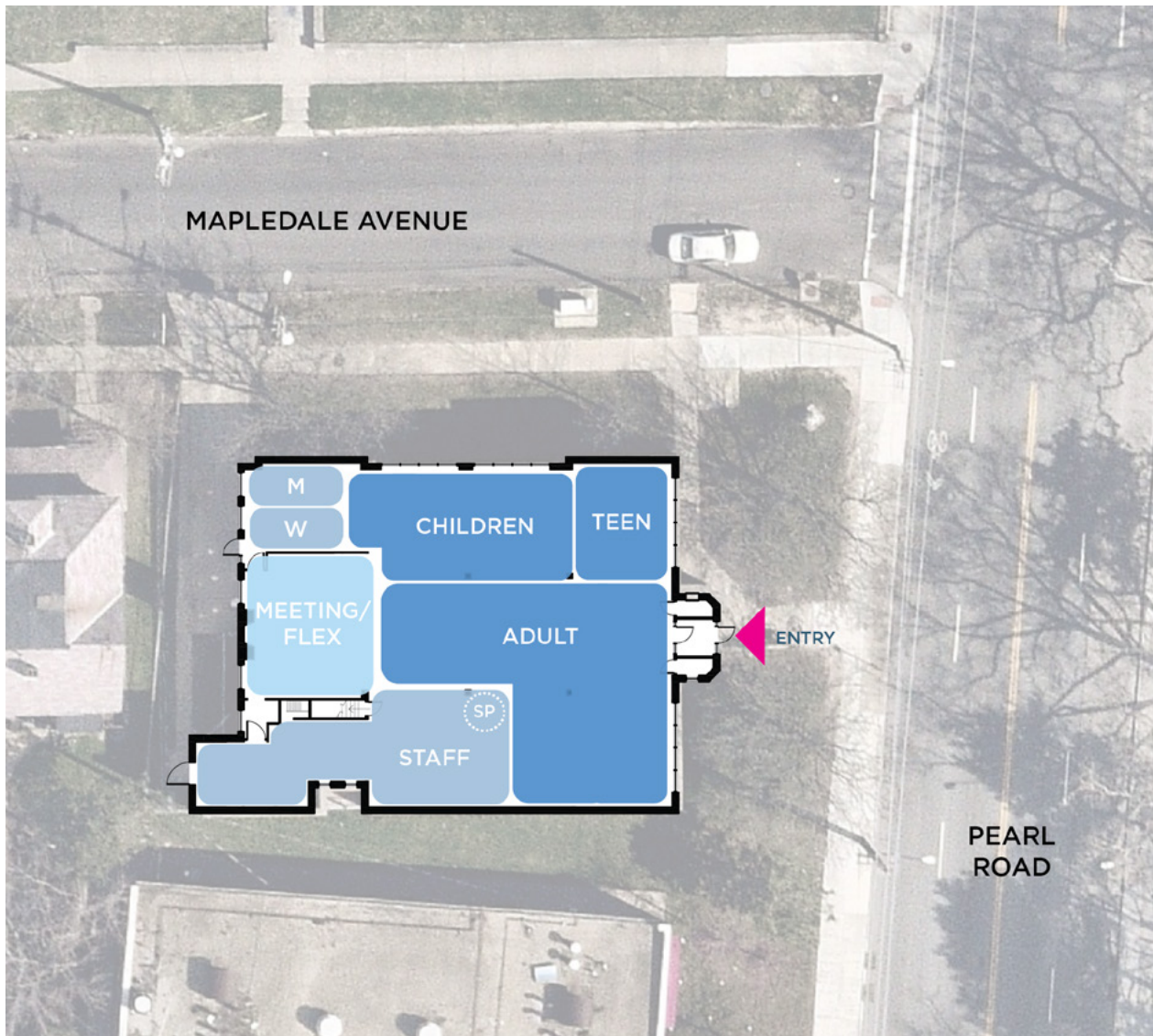


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Open up facade along Mapledale Avenue to improve visibility
- Maintain existing historic entry off Pearl Road
- Renovate branch to make more efficient use of the space
- Create a defined teen space
- Open meeting room up to provide increased flexibility
- Improve wayfinding
- Create new 'Community Living Room'
- Improve views into and out of the building
- Add small group study space or other collaborative space
- Improve children's collection with small interactives area
- Push active collections to the streetfront

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

RENOVATION

Total Cost Of Implementation: **\$1,800,000**

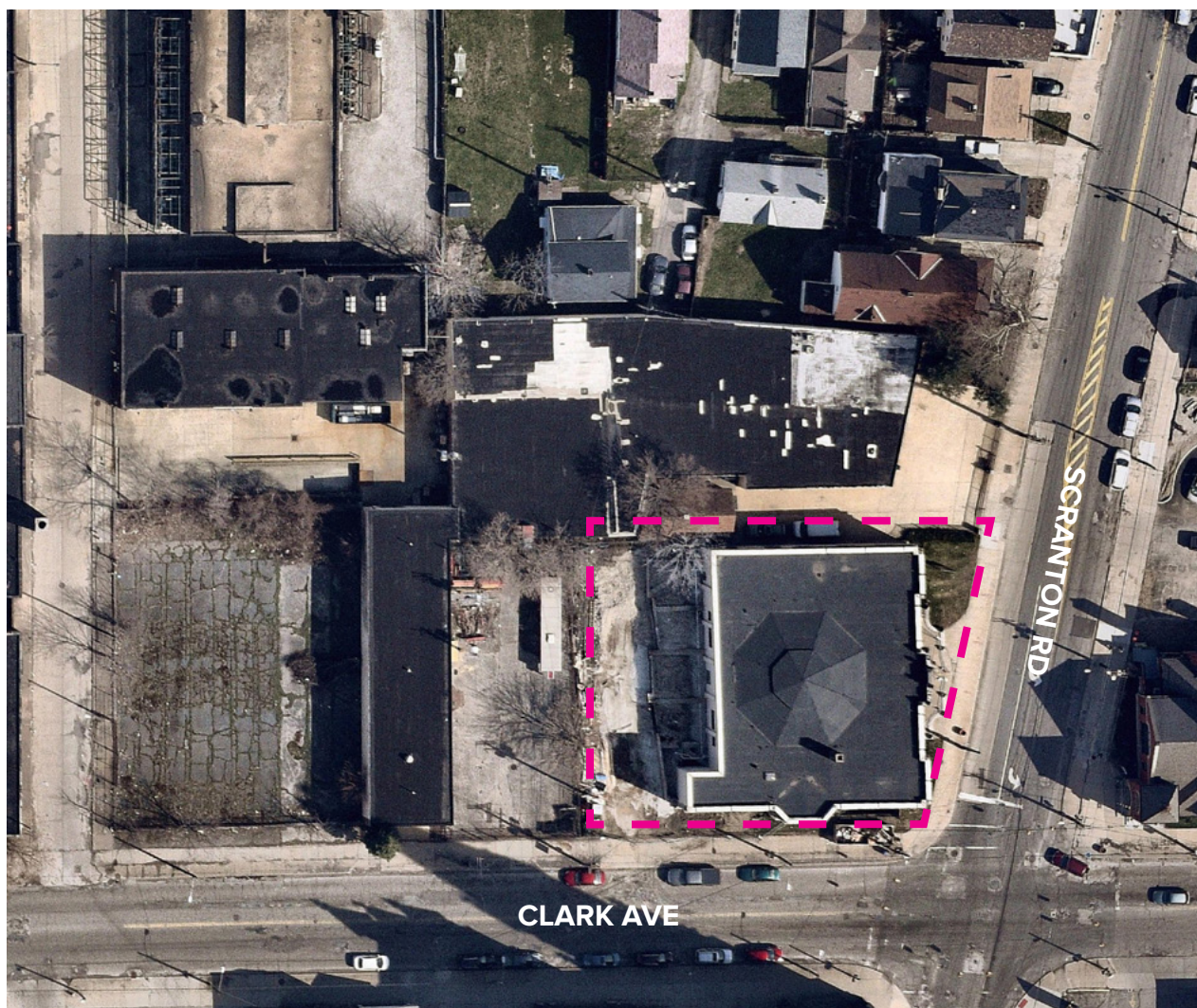
INCLUSIVE OF DEFERRED MAINTENANCE COSTS

South Branch

Clark-Fulton Neighborhood



Branch Information



BRANCH STATISTICS

Location: 3096 Scranton Rd

Year Constructed: 1903

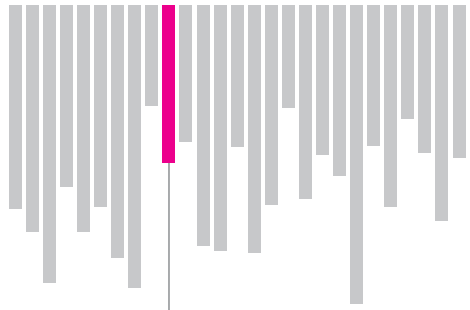
Year Renovated: 2018

Size: 8,200 sf

The Cleveland Public Library South Branch was built in 1903 and is located at 3906 Scranton Road on the city's west side. It is located at the intersection of Clark Avenue and Scranton Road with the historic entry off Scranton accessed from the sidewalk. Parking is located west of the branch with entry off of Clark Avenue. A second building entry was added during a recent renovation and is located off the parking lot. The library site includes the building and a small landscaped area to the west of the building. The single-story building is 8,200 sf with a meeting room, collections, reading areas, a computer area, and a children's reading area. The building is clad in slate stone veneer with a flat roof on the majority of the building. There is a small rotunda at the center of the building.

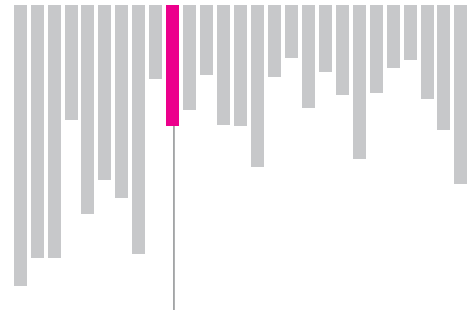
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



66,931 VISITS

CIRCULATION



85,866 ITEMS

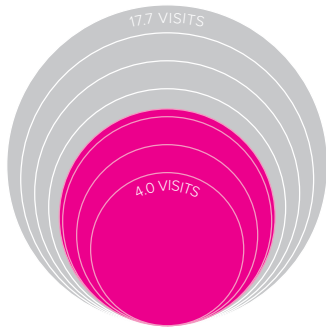
SERVICE AREA POPULATION



6,325 RESIDENTS

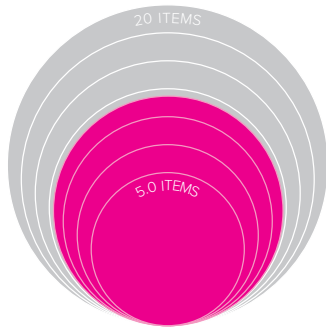
2 OCCUPIED AREA ANALYSIS

ATTENDANCE

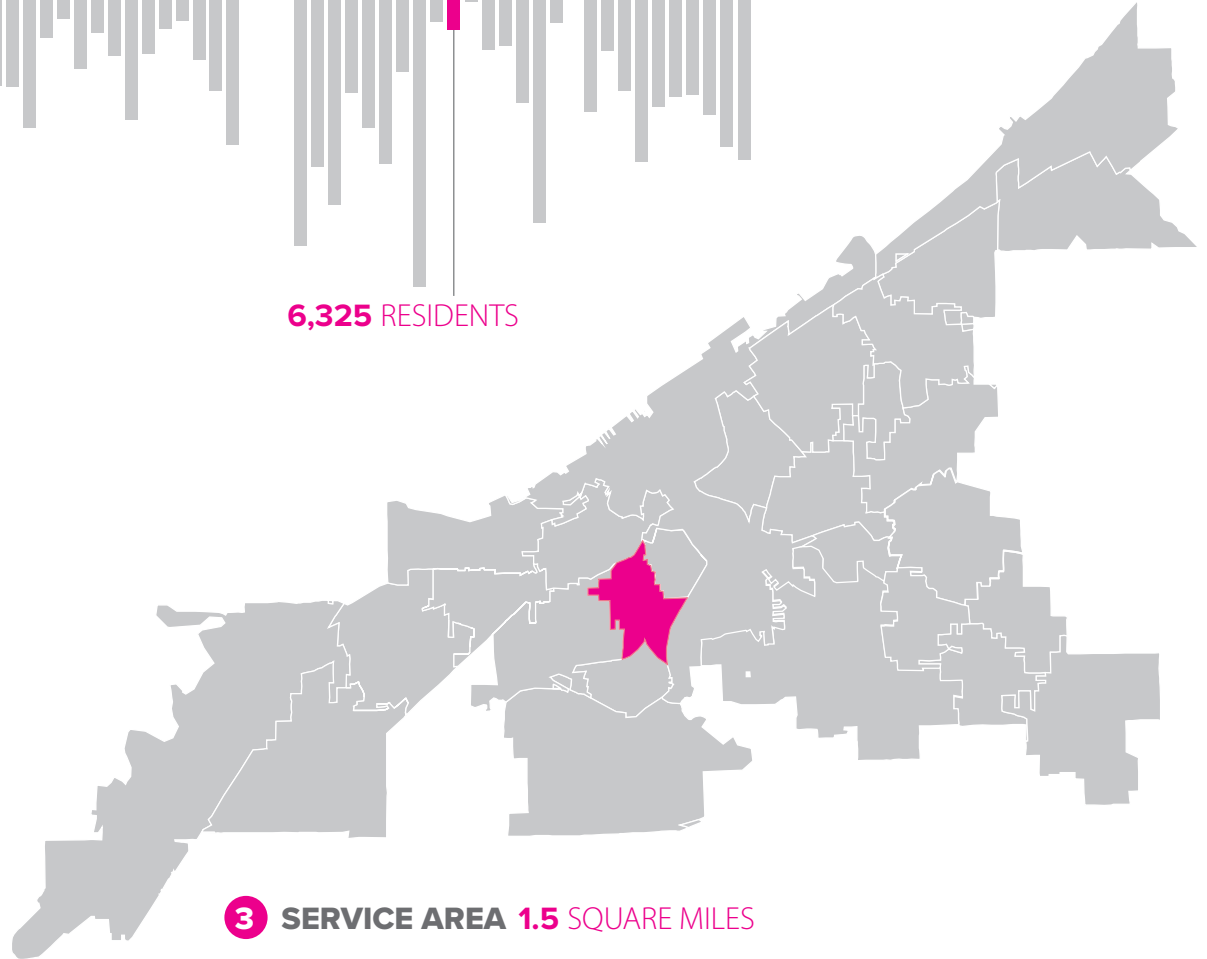


8 VISITS PER SF

CIRCULATION



10.3 ITEMS PER SF



3 SERVICE AREA 1.5 SQUARE MILES

KEY DATA REPRESENTATION

- System Wide
- Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Current State

PROJECT GOALS

REHABILITATION & EXPANSION Prior to the renovation, the condition of the existing building necessitated a move of the branch to a local store-front, leaving the historic Carnegie building vacant for nearly a decade. Cleveland Public Library embarked on an extensive process to determine how to best serve the neighborhood through the creation of a new building or by restoring the historic Scranton Road building. The Library invited feedback from the community, which resoundingly supported preserving the historic Carnegie building. In September 2015, the Cleveland Public Library Board of Trustees passed a resolution to reopen the Scranton Road building after making necessary repairs and improvements.

In 2018, the library underwent a significant renovation, which included a small expansion on the west side of the building, preserving the historic character of the building. The rehabilitation and expansion provided additional program and resolved existing accessibility issues. The increased size of the branch also increased the variety of spaces, including, quiet study rooms, separate teen and children's spaces, a sound booth, a multipurpose room, and a large meeting space that can be accessed after hours. This fully accessible, updated facility offers the technology and services of a 21st century library while still preserving the integrity of the original Carnegie building. The renovated branch re-opened on December 1st, 2018.



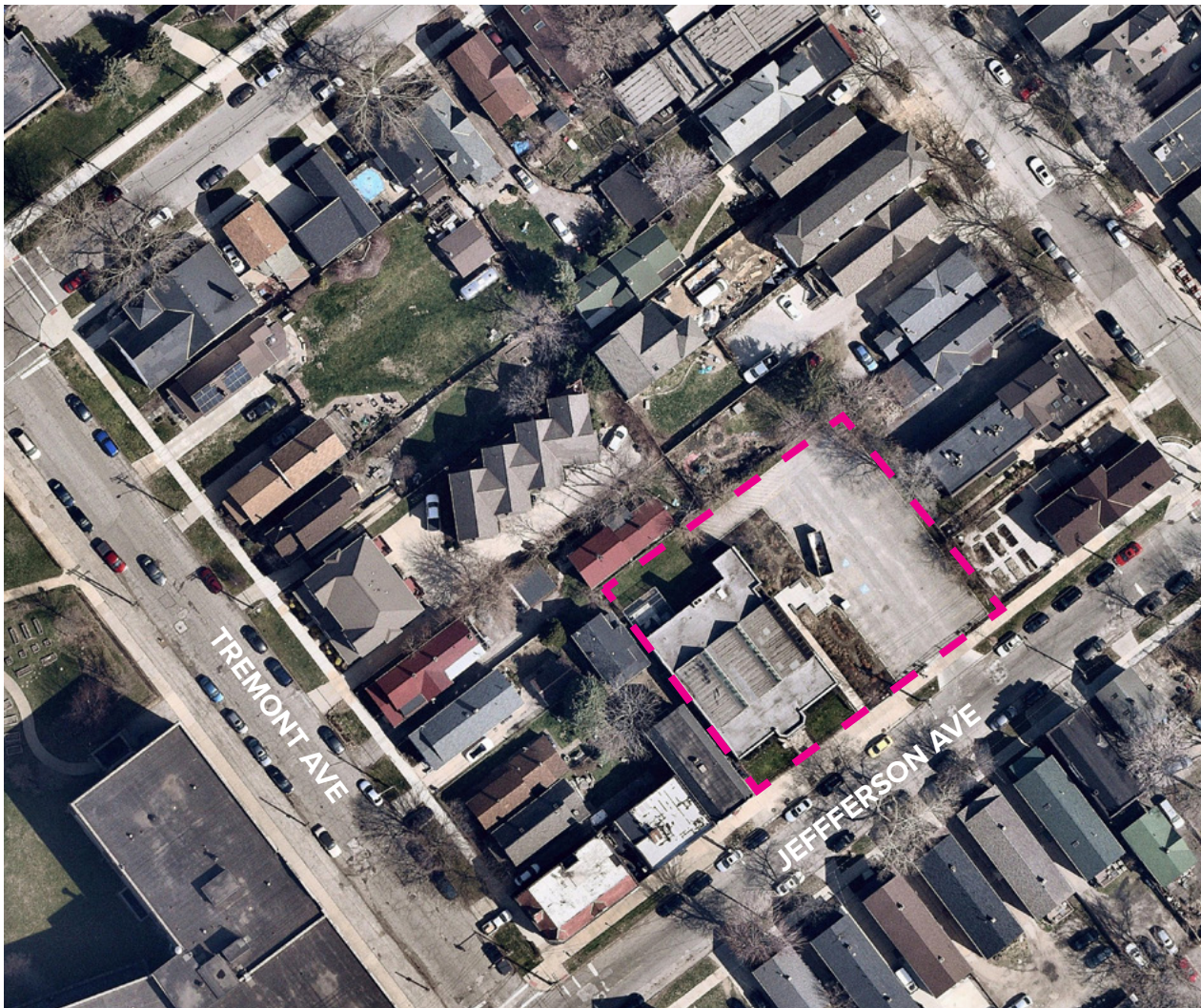
South Branch Design Concept [Architects: HBM Architects]

Jefferson Branch

Tremont Neighborhood



Branch Information



BRANCH STATISTICS

Location: 850 Jefferson Ave

Year Constructed: 1918 (renovated 1982)

Size: 6,900 sf

Parking: 14 spaces

The Cleveland Public Library Jefferson Branch was built in 1918 and is located at 850 Jefferson Avenue on the city's south side. It is located between Professor Avenue and Tremont Avenue along Jefferson Avenue with the main entry off Jefferson accessed from the sidewalk. Parking is located east of the branch with entry on Jefferson Avenue. The library site includes the building and a small rain garden east of the building. The single-story building is 6,900sf with a meeting room, collections, reading areas, a computer area, and a children's reading area. The building is clad in red brick with a flat roof and sawtooth skylights on the majority of the building.

Community Outreach

OUTREACH SUMMARY Jefferson Branch is a well-situated and well-liked historic branch in the heart of historic Tremont. However, the branch is too small to serve its patrons, particularly after school when any and all space is filled with kids. Back yard space + some land adjacent to the existing parking lot may allow for a small modern expansion; this idea, in conjunction with reconfiguring the interior to allow for more flexibility, was well-supported by meeting attendees. Providing amenities like coworking space, a laptop bar, flexible technology, and fabrication tools/software could also help draw

in local community members who currently frequent the neighborhood's coffee shops for workspaces. Consider collaborating more with local businesses, entrepreneurs, and artists, as well as staying open later for community meetings and Walkabout Tremont nights.

Outreach for this branch was performed as part of the facilities master plan, see Process section for summary of the outreach process

PRIMARY COMMUNITY NEEDS

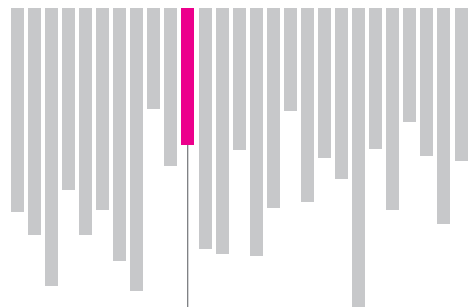
- Later evening access, especially to meeting room(s) for community use
- Quiet work space(s), especially after school
- Flexible co-working space for local entrepreneurs
- Add color & art in interior
- Better lighting throughout - overhead, task lighting
- Maker space, technology classes
- Replace some of the dedicated computer desktops with more flexible technology to open up floor area
- Explore addition & reconfiguration to allow for meeting room access
- Front yard area for seating, dogs, landscaping
- Consider staying open for Walkabout Tremont (Fridays) until 8:00pm, treat as an Open House to invite community in and advertise resources
- Walking group connecting to Towpath (tie in to book club)



Community Outreach Session

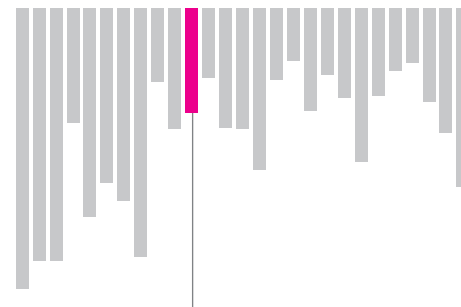
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



58,264 VISITS

CIRCULATION



74,916 ITEMS

SERVICE AREA POPULATION

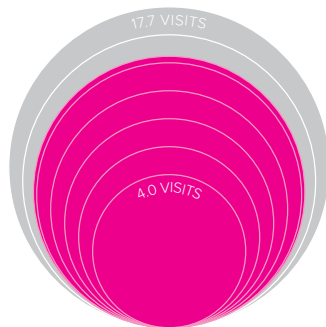


3,515 RESIDENTS ↓
2ND LOWEST OF 27 BRANCHES

2 OCCUPIED AREA ANALYSIS

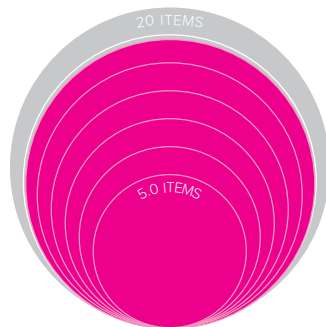
CURRENT OCCUPIED SQUARE FOOTAGE: 4,600 SF

ATTENDANCE

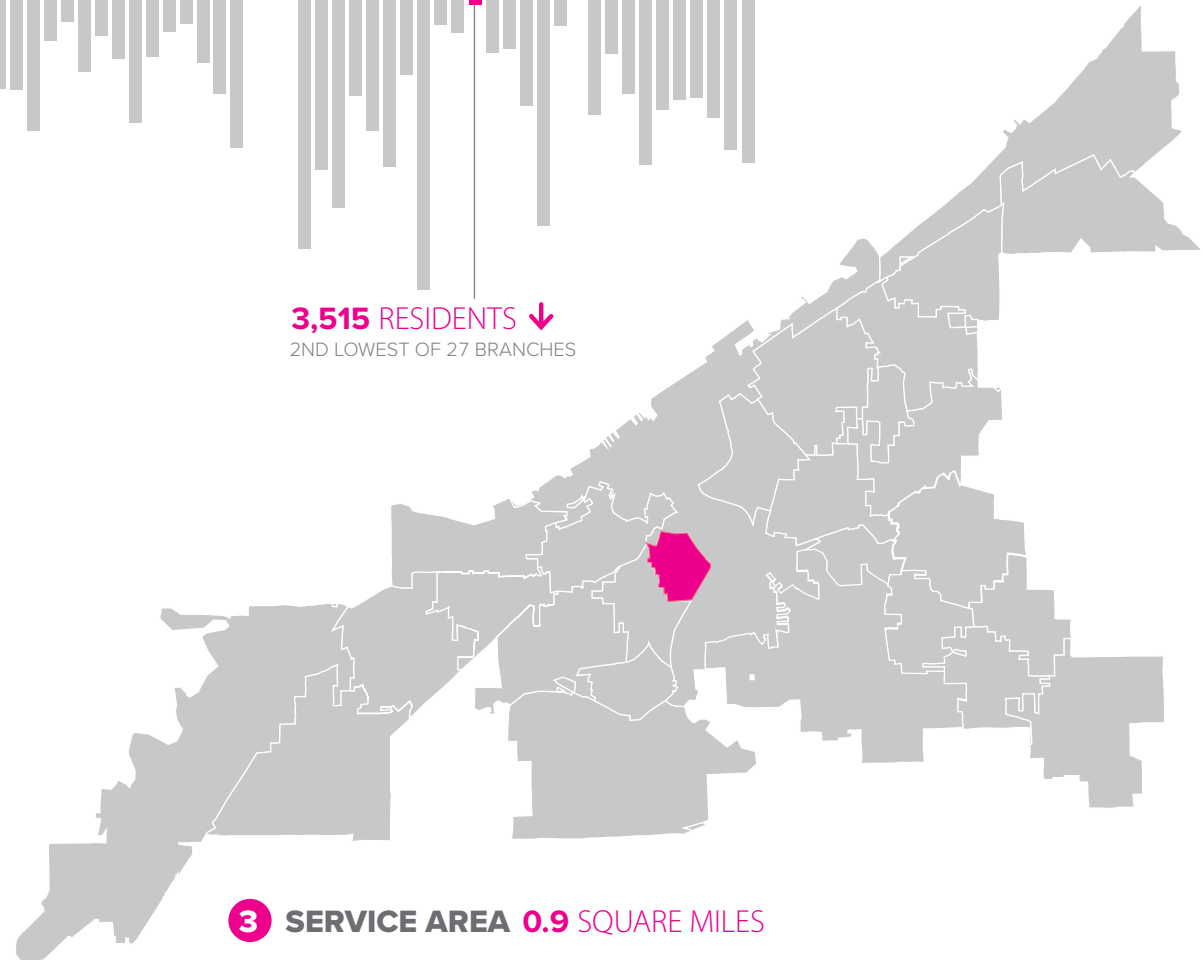


12.7 VISITS PER SF

CIRCULATION



16.3 ITEMS PER SF



3 SERVICE AREA 0.9 SQUARE MILES

KEY

DATA REPRESENTATION



1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Jefferson branch is generally in fair condition on the interior. All the public services are on a single floor, though a small basement is used for mechanical space. The branch has recently been updated for accessibility in public areas. The small second floor and basement spaces appear to be abandoned with the exception of mechanical spaces and were not updated in the 1985 renovation, they are not ADA accessible and their use would be limited if the library chose to reclaim that space. There are still some issues with the envelope, primarily at the brick wall on the western façade that require attention. The window system was updated in the 1985 renovation with insulated glazing. Finishes and millwork are worn and should be considered for replacement as part of any significant renovation.

SITE The library is located on a relatively tight site with minimal room for expansion on the side opposite Jefferson Avenue. The building is located along a slope and must be accessed via an exterior stair or ramp from the parking lot. Accessibility from the parking lot was addressed with some recent work and a small rain garden was installed between the parking lot and the building. The plantings and hardscape in front of the building are typically in good condition. The exterior ramp was recently repaved and several benches were added.

MECHANICAL The Jefferson Branch HVAC system consists of a rooftop HVAC unit located on grade and two 80% efficient boilers. The rooftop unit is near the end of its service life and should be replaced. The two boilers are at the end of their service life and should be replaced. The primary heating water pumps were recently replaced, but the secondary pumps past their service life and should be replaced. The rooftop unit intake and exhaust are located within ten feet of each other which is not code compliant and should be corrected.



Building Interior - 1918

PLUMBING The Jefferson Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2011 and is in fair condition. Plumbing fixtures were in proper working order and in compliance with ADA standards. All of the public hand washing sinks were equipped with ASSE 1070 mixing valve for tepid water. The storm and sanitary sewer systems are in working condition, but the roof drain strainers are in poor condition and should be replaced.

ELECTRICAL The electrical systems in the Jefferson branch are in fair condition and should be maintained. The Jefferson branch main distribution equipment and corresponding branch circuit panels have limited spare capacity for future loads. Additionally, due to limited spare capacity in the existing branch panels, new/additional work will result in a new branch circuit panel. The library's life safety systems provide good coverage and should be maintained. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Jefferson library uses surface mounted wallpacks for site lighting. The existing wall mounted exterior fixtures are in fair condition and should be maintained. The Jefferson branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$460,253



Existing Interior



Main Entry from Jefferson Avenue

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

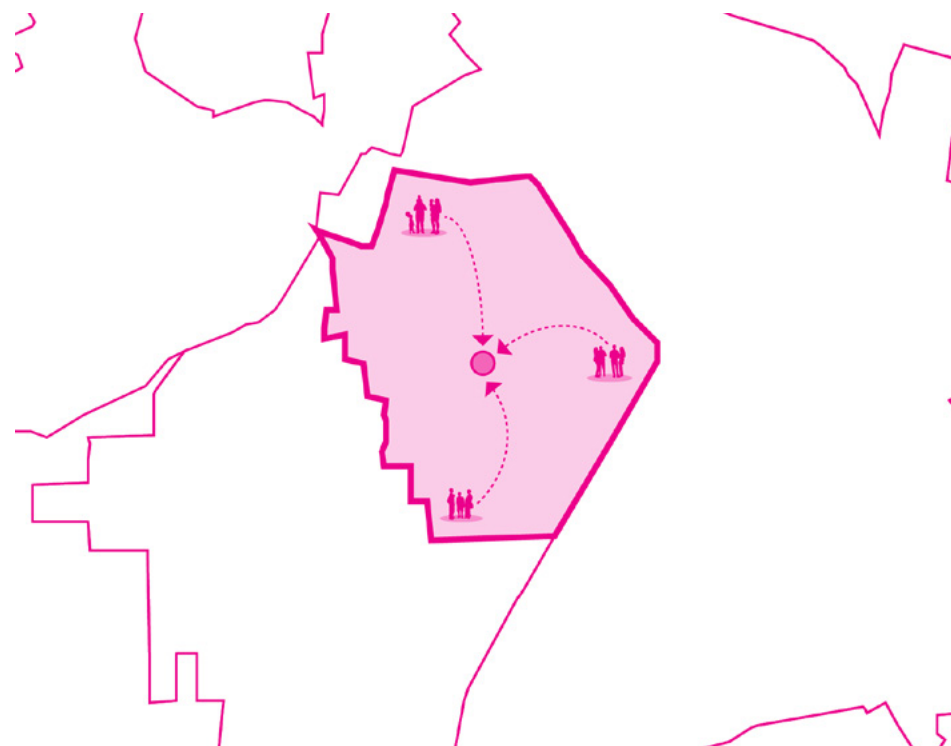
- Historic Carnegie branch
- Limited visibility and street presence
- Simple, open layout
- No defined teen area
- New rain garden located between building and parking lot
- Meeting room is small and offers limited flexibility.
- No small quiet study rooms
- Surrounding properties are privately-owned, limiting expansion
- The geographic service area is small, but branch is well attended
- Located in an active, historic neighborhood

Branch Recommendations

RENOVATION WITH MINOR ADDITION

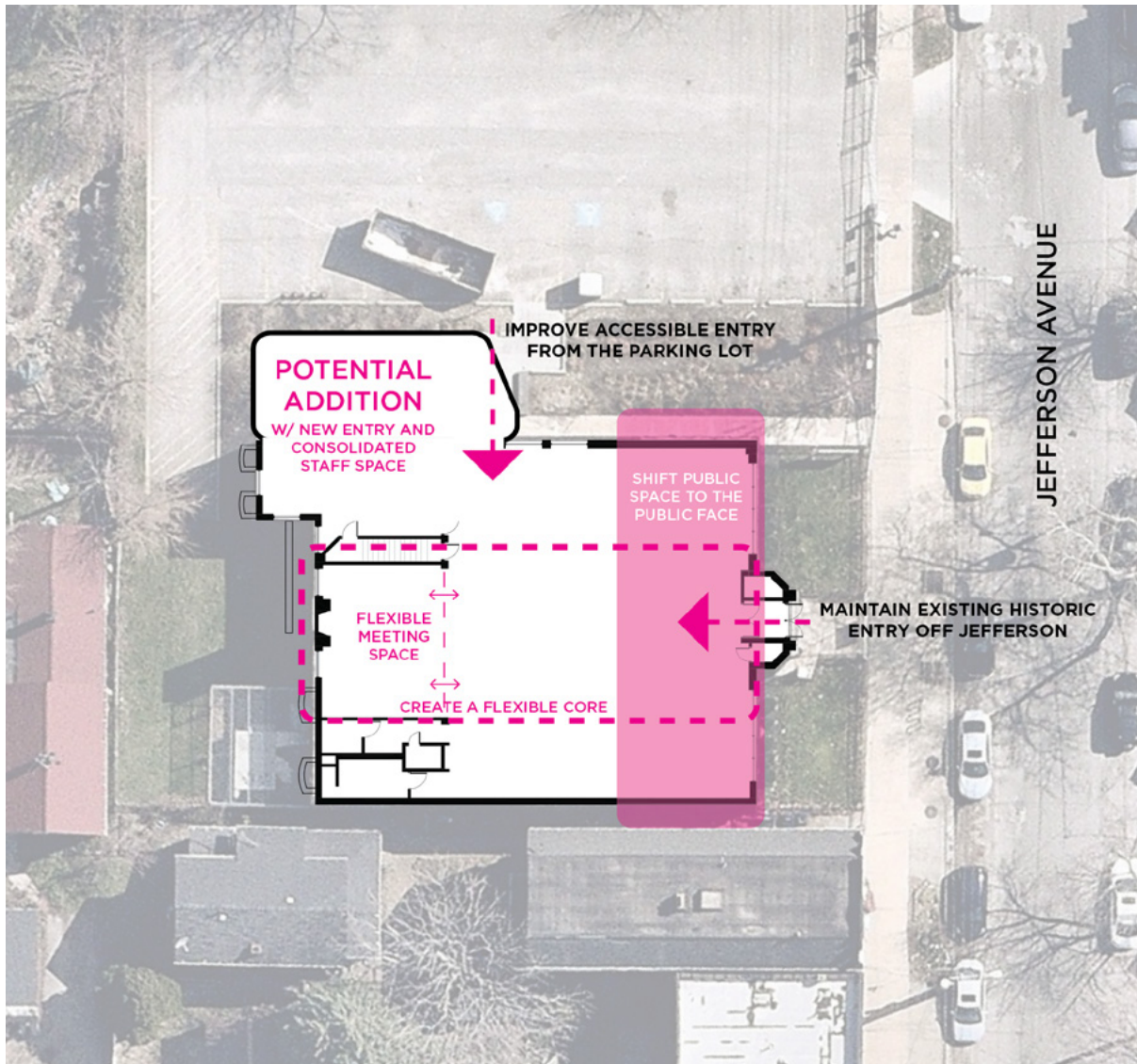
CURRENT STATE This Carnegie branch has retained much of its historic character and is in fair condition after recent deferred maintenance updates. While small and in need of modernizing the simple, open layout lends itself to renovation. The geographic service area for the branch is one of the smallest in the system but it is better attended than that would indicate and its location in an active, historic neighborhood is an asset to the system. The site is small and surrounded by privately owned and occupied properties making expansion in this location unlikely.

FUTURE VISION It is recommended that this branch be renovated to create a highly flexible space that maximizes the limited square footage available to create a viable Neighborhood Branch. A small addition on the parking lot side of the building would allow for consolidation of staff spaces and an improved entry experience from the parking lot. An addition also will also improve visibility from Professor Avenue.



Neighborhood Branch Diagram

Future Vision

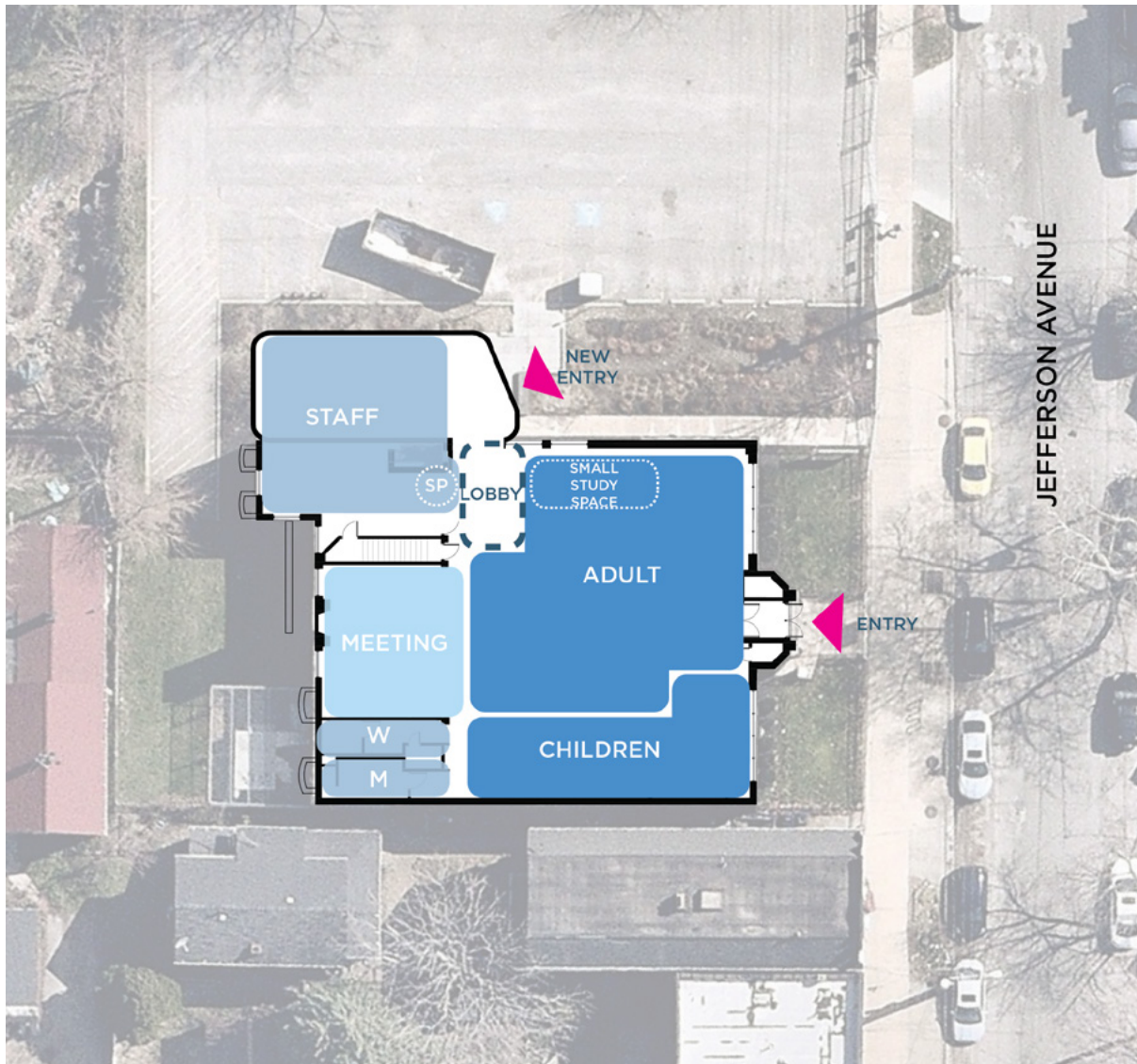


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Create a small addition to give the building an improved entry from the parking lot, while potentially improving visibility from Jefferson Avenue
- Maintain existing historic entry off Jefferson Avenue
- Renovate branch to make more efficient use of the space
- Create a defined teen space
- Install operable partition to open up meeting room and provide increased flexibility
- Improve wayfinding
- Create new 'Community Living Room'
- Improve views into and out of the building
- Add small group study rooms or other collaborative space
- Improve children's collection with small interactives area
- Push active spaces to the streetfront

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

RENOVATION WITH MINOR ADDITION

Total Cost Of Implementation: **\$1,900,000**

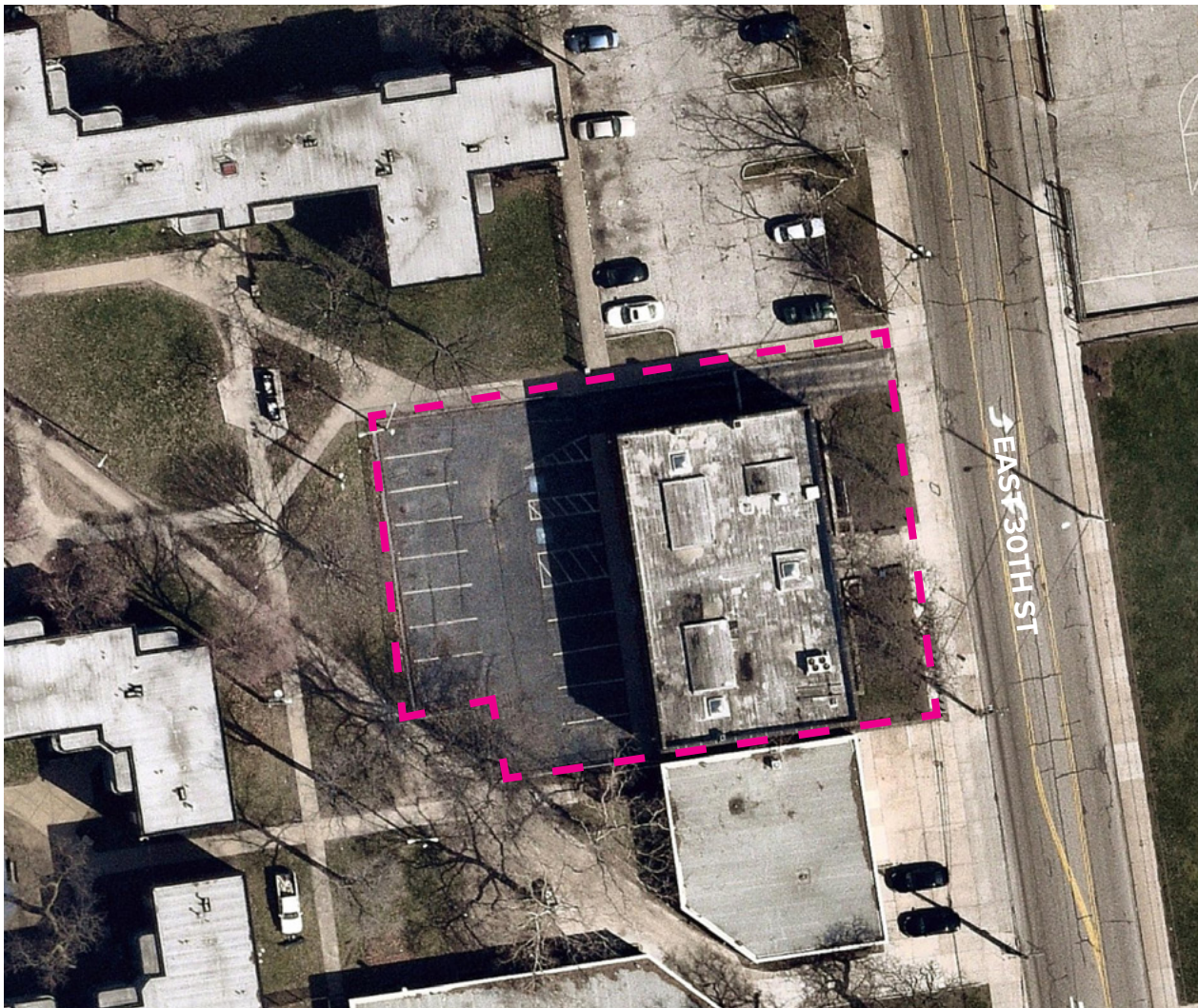
INCLUSIVE OF DEFERRED MAINTENANCE COSTS

Sterling Branch

Central Neighborhood



Branch Information



BRANCH STATISTICS

Location 2200 East 30th Street

Year Constructed: 1913 (renovated in 1985)

Size: 6,500 sf

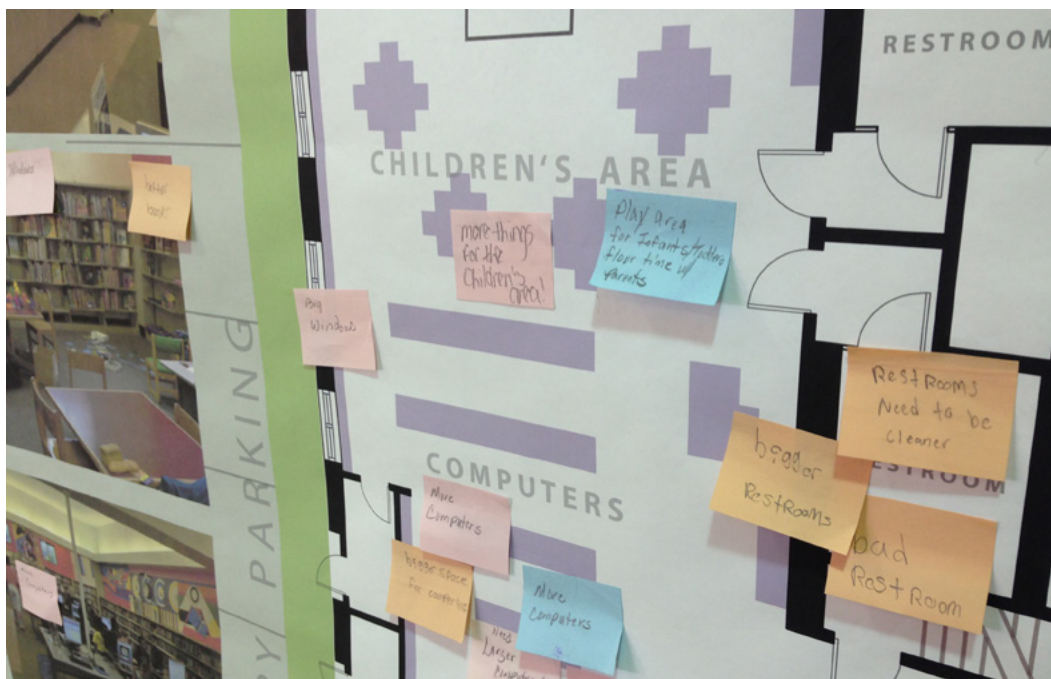
Parking: 15 spaces

The Cleveland Public Library Sterling Branch is a Carnegie library that was originally built in 1913 with a renovation in 1985. The branch is located at 2200 East 30th Street on the city's near east side. It is located near the intersection of East 30th and Central with the main entry off of East 30th. A parking lot is located behind the building accessed from a small driveway off of East 30th. The library is on a compact site that includes the building, parking and a small entry plaza along the street edge. The original library is 7,400 sf mostly on a single-story building with a partial basement and a small second floor. This main floor includes meeting rooms, collections, reading areas, a computer area, and a children's reading area. The partial basement and second floor are not accessed by the public and house mechanical spaces and some staff space. The building is clad in red brick with cast stone accents and has a flat roof.

Community Outreach

OUTREACH SUMMARY The Sterling branch is small and crowded, with adults and kids alike competing for space. Discussion of potential relocation elsewhere in the neighborhood, or in conjunction with the neighboring Cuyahoga Community College, were not especially popular; instead, an addition that could facilitate space for children, teens, and adults trying to work or study was well-received. The existing interior is dark and cramped, and should be renovated and modernized. Patrons had some safety concerns about the larger neighborhood, particularly regarding street lighting; CPL should work with local CDCs, CMHA, Tri-C, and the City to ensure lighting is addressed, particularly in the dark winter months. Technology access for all ages and additional youth-oriented programming are both strongly desired here as well.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)



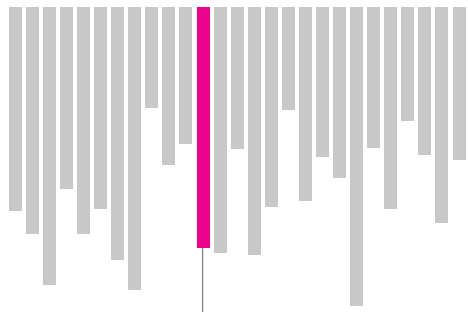
Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Create a separate and/or expanded area for children in library
- Add to the library square footage to provide more space for children and/or adults; build an addition to historic branch building
- Build private study rooms for quiet reading/study in branch
- Update furniture, interior finishes, lighting
- Support efforts for outdoor play area for children at branch site
- Clarify location of branch parking lot with signage
- Improve safety of fencing that surrounds the branch building
- Improve pedestrian connections from branch to Marion Sterling school and the surrounding neighborhood
- Collaborate on more events and programming in conjunction with Marion Sterling school, CMHA housing
- Provide more technological resources in branch (computers, laptops, iPads, etc)
- Offer art classes for adult library patrons
- Increase number of books and resources in branch collection that relate to black history

1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



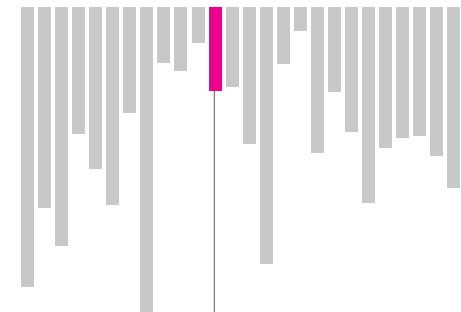
102,649 VISITS

CIRCULATION



49,849 ITEMS ↓
3RD LOWEST OF 27 BRANCHES

SERVICE AREA POPULATION

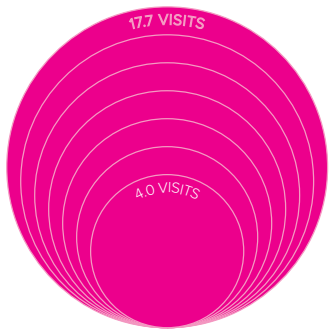


8,267 RESIDENTS

2 OCCUPIED AREA ANALYSIS

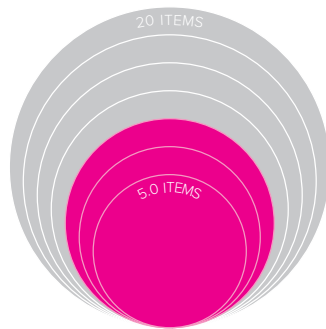
CURRENT OCCUPIED SQUARE FOOTAGE: 5,800 SF

ATTENDANCE

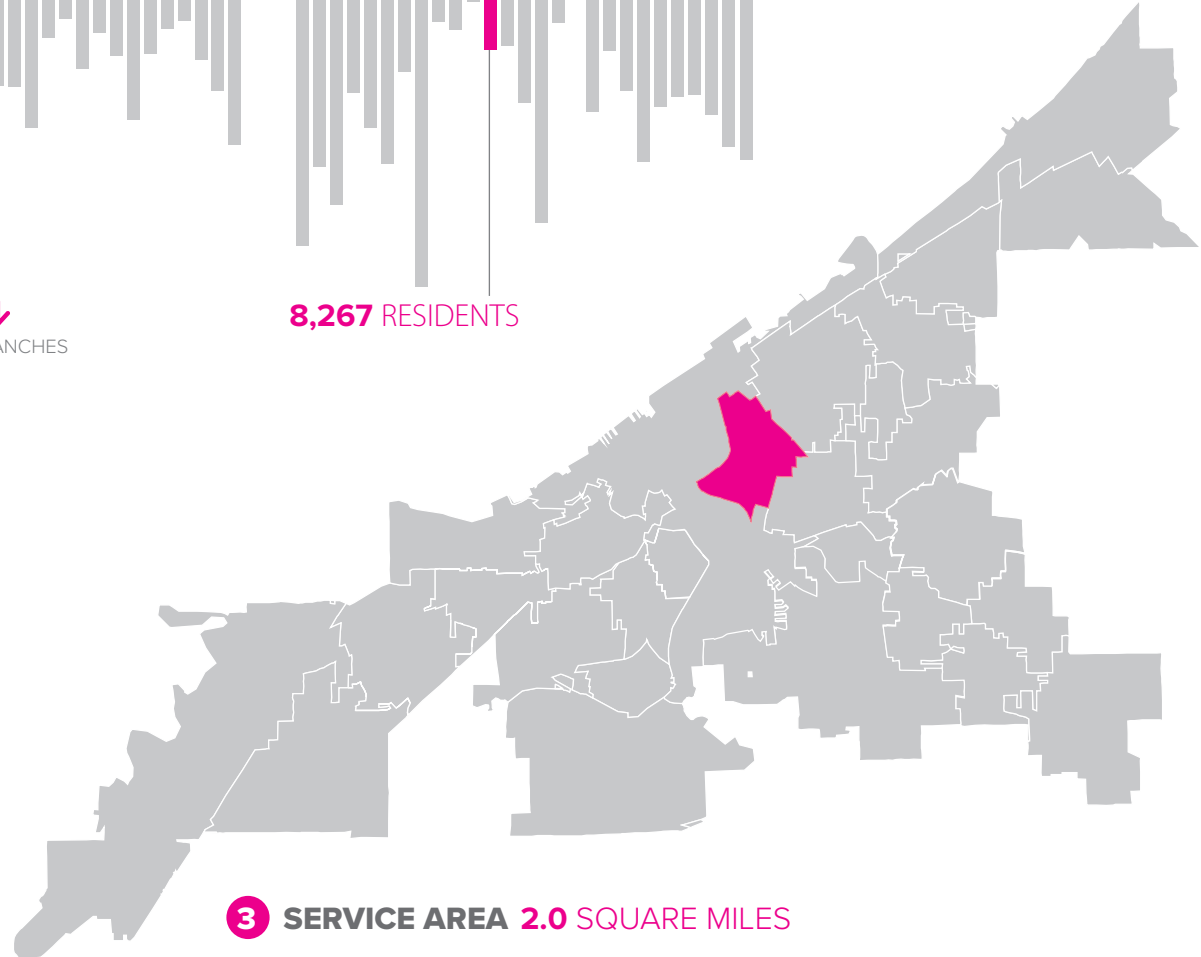


17.7 VISITS PER SF

CIRCULATION



8.6 ITEMS PER SF



3 SERVICE AREA 2.0 SQUARE MILES

KEY

DATA REPRESENTATION

- System Wide
- Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Sterling branch is an original Carnegie library that had limited interior renovation work but maintained most of its original character. All the public services are on a single floor, though it is raised up from the street level and must be accessed via exterior stairs or ramp. Space is limited in this branch and there is not space on site to expand without acquiring an adjacent property. The small second floor and basement spaces appear to be abandoned with the exception of mechanical spaces and were not updated in the 1985 renovation, they are not ADA accessible and their use would be limited if the library chose to reclaim that space. Due to the age of the last renovation there are numerous accessibility issues throughout that should be addressed. There are areas of water infiltration that were noted, primarily around the original skylights that were roofed over. The exterior of the building requires some repairs but is in reasonably good condition for its age. The library furniture and millwork are older and should be considered for replacement with any renovation.

SITE The library is located on a tight site with no room for expansion. Access to the parking lot, both vehicular and pedestrian, is a concern due to the narrow drive aisle and there is not an immediately apparent solution without expanding the site. The limited planting and hardscape in front of the building is in fair condition but require maintenance.

MECHANICAL The Sterling Branch HVAC system consists of a split system HVAC unit and two 80% efficient boilers. The split system air handler and condensing unit are in working order but are at the end of their service life; they should be replaced within the next five years. Insulation should be installed on the hot water piping. A domestic water cooled air conditioning system exists in the basement that is leaking and should be removed. When the HVAC units are replaced, consideration should be made to go to a Variable Air Volume system with a Building Automation System for increased system efficiency. The two boilers were installed in 1995 and are in fair condition. They should be replaced due to corrosion. The primary and secondary heating water pumps are past their service life and should be replaced. The boiler relief valve and drain should be extended to the floor drain.



Reading space - 1915

PLUMBING The Sterling Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2014 and is in good condition. Plumbing fixtures were in proper working order. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. The primary roof drains are in poor condition and are not operating properly, and secondary roof drains do not exist. The primary roof drains should be replaced, and secondary roof drains should be installed.

ELECTRICAL The electrical systems in the Sterling branch are in fair condition and should be maintained. The Sterling distribution system has limited spare capacity in the existing branch panels, and any new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to the existing fire alarm system and emergency egress lighting. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Sterling library uses surface mounted wallpacks for site lighting. The existing exterior fixtures are in poor condition and have reached the end of their life cycles. The Sterling branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$649,251



Main Entry



Branch interior

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

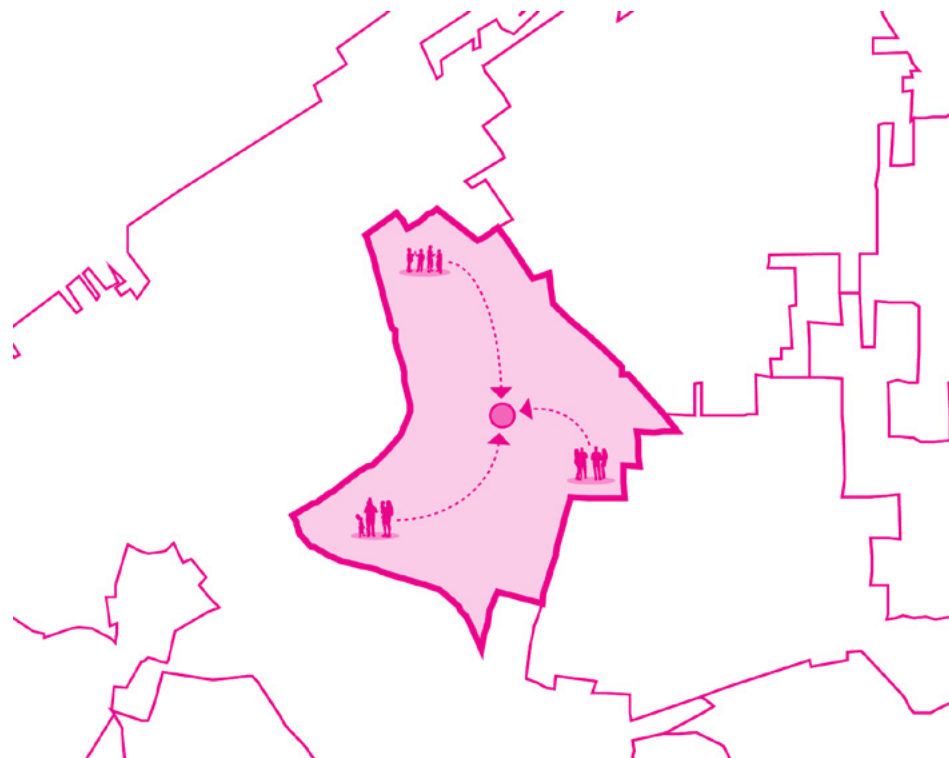
- Strong historic character
- Support and meeting spaces are located at the front of the building
- Main entrance is treated as a secondary entrance
- No defined teen area
- Limited connection to neighboring garden
- Located near the Marion-Sterling School
- No small quiet study spaces
- Located next to a large affordable housing development
- Lowest square foot to visit ratio - meaning that the building size is small relative to its number of annual visitors

Branch Recommendations

RENOVATION WITH ADDITION

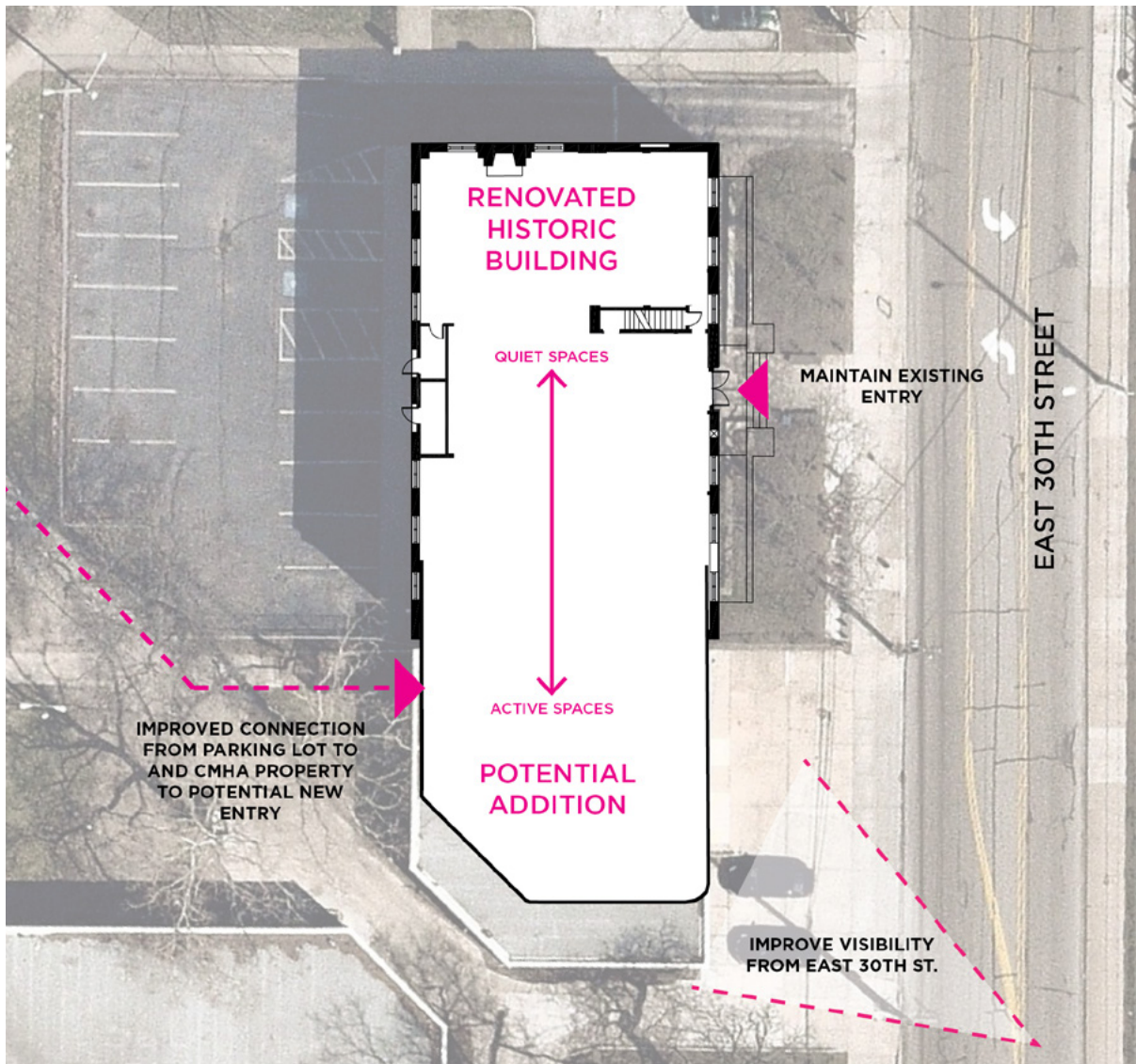
CURRENT STATE As one of the Carnegie branches the building has historic value and, while in need of some significant upgrades and repairs, it is still viable to retain. The building is small with a rigid, introverted layout that pushes support and meeting spaces to the front of the building. In spite of its size it is a well-attended branch and has the lowest square foot to visit ratio in the system. The branch is located adjacent to a large affordable housing project and a school but acquisition of adjacent property would be required for expansion.

FUTURE VISION It is recommended that the historic structure of this branch be maintained but with a major interior renovation and a significant addition increasing the building size. This would require acquisition of the land immediately south of the library that currently houses a Cleveland Metropolitan Housing Authority office building. Extending south with a new, more transparent, addition would not only increase the usable area to better serve the community but also provide a more visible presence at the corner. With the addition, the size of the branch will be able to expand its services however based on the location and limitations of parking it is recommended this remain a Neighborhood Branch.



Neighborhood Branch Diagram

Future Vision

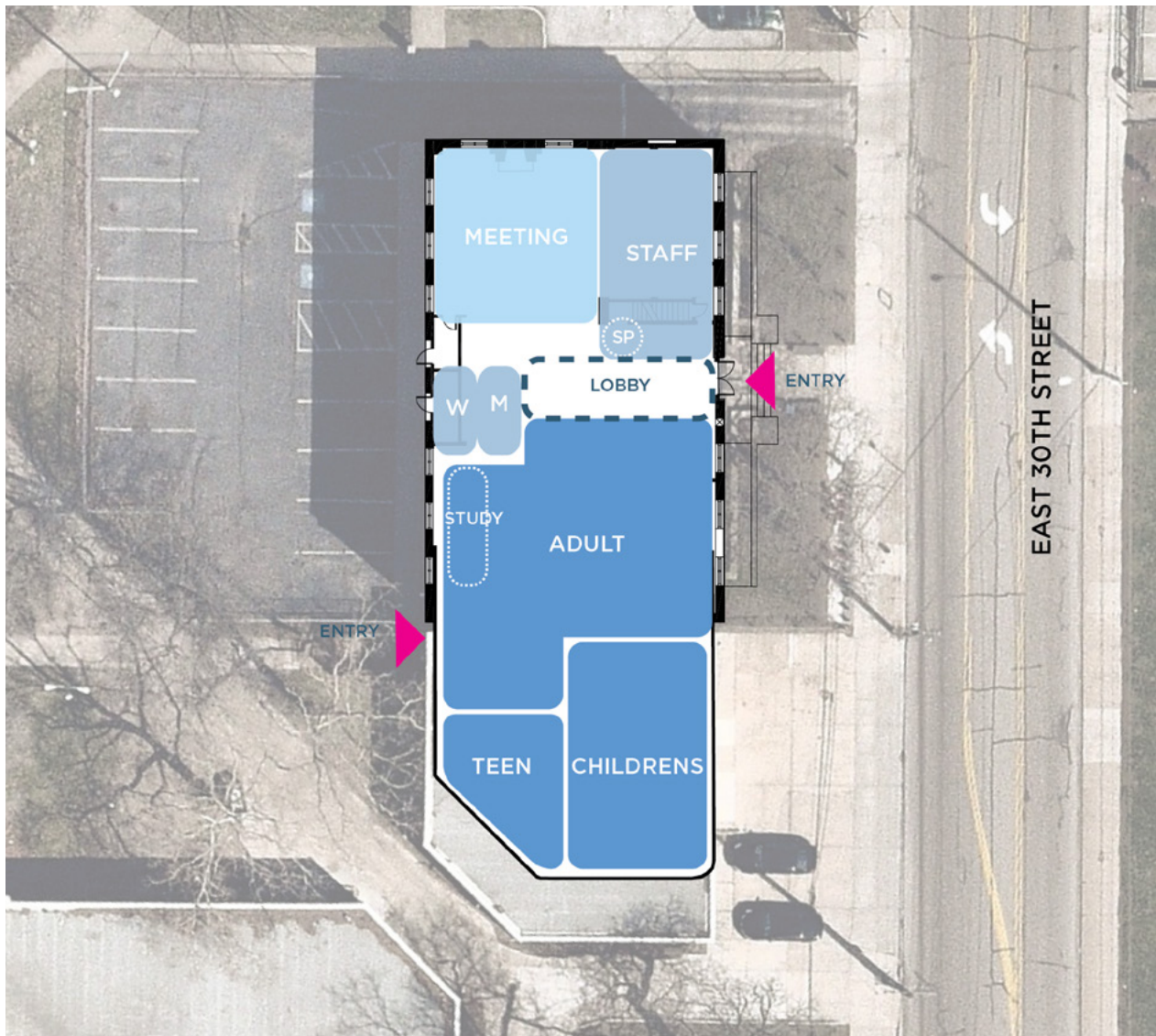


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Create an addition to the south at the current location of the CMHA office, improving visibility from the corner of E. 30th and Central
- Renovate branch with respect to historic character
- Maintain historic entrance
- Create a defined teen space
- Improve connection from parking lot to potential new entry
- Open meeting room up to increase flexibility
- Improve wayfinding
- Create new 'Community Living Room'
- Improve views into and out of the building
- Add small quiet study space near the adult collections
- Improve children's collection with interactives area
- Consider an after-hours lobby or book lockers for extended service
- Explore opportunities to collaborate with Marion-Sterling School

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

RENOVATION WITH ADDITION

Total Cost Of Implementation: **\$2,600,000**

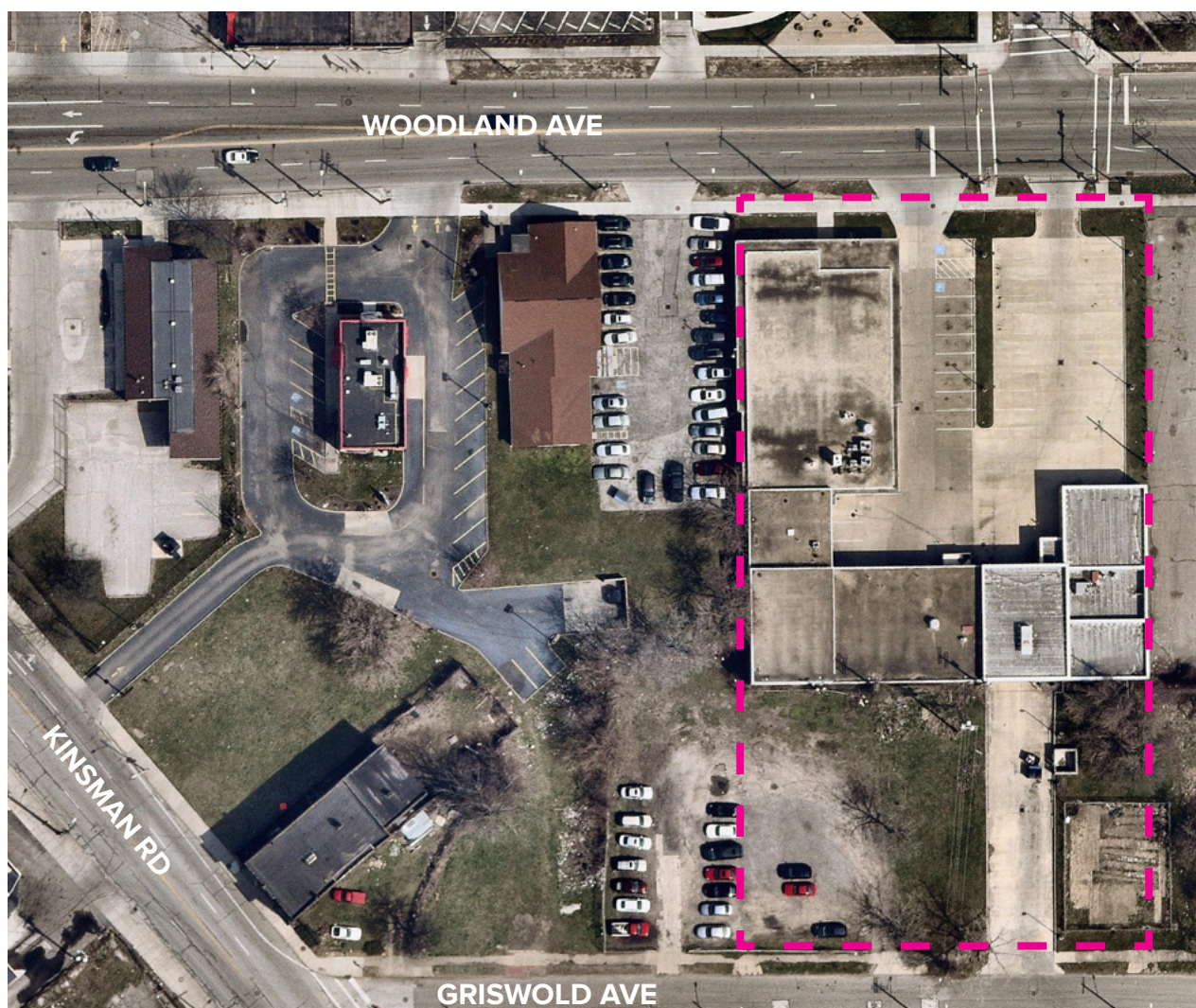
INCLUSIVE OF DEFERRED MAINTENANCE COSTS

Woodland Branch

Central Neighborhood



Branch Information



BRANCH STATISTICS

Location: 5806 Woodland Ave

Year Constructed: 1961 (partial renovation 2010)

Size: 15,500 sf

Parking: 28 spaces

The Cleveland Public Library Woodland Branch was built in 1961 with an addition and partial renovation in 2010. The branch is located at 5806 Woodland Avenue on the city's near east side. It is located between East 55th Street and East 61st Street with the main entry off of Woodland. Parking is located east of the branch with a service wing to the south. The library site includes the building, parking and some minimal landscaping at the street edge. The original library is a single-story building of 15,500 sf including a full basement that isn't currently used. This main building includes meeting rooms, collections, reading areas, a computer area, and a children's reading area. Behind the library building there is a service wing including a service garage and a final addition housing the library's mobile services group that was built as an addition in 2010. The service wing totals an additional 13,500 sf on one floor.

Community Outreach

OUTREACH SUMMARY The Woodland Branch is a generic mid-century institutional building, but patrons generally liked the stability of its presence in their neighborhood. A front “facelift” to the façade and the front lawn landscaping could help refresh the exterior and invite new residents inside. The attached garage and surrounding land are generous, and patrons were enthusiastic about potential programs which utilized the grounds for gardening, vehicle maintenance, and cut-through pathways. On the interior, private study rooms were a popular idea for improvements; lighting, finishes, and furnishings all need updating.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)



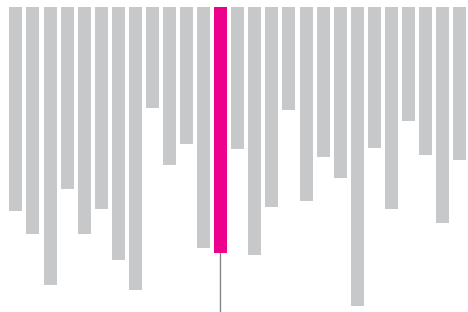
Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Add attractive façade element(s) to create brighter & more inviting Woodland entrance
- Expand childrens’ area to include more area for reading, socializing, books, and technology
- Create quiet study/reading areas in the former office space in southern portion of building
- Add more abundant & comfortable furniture for reading/studying
- Investigate potential use of garage and wood shop space for classes
- Create more attractive landscaping in front lawn of building
- Create enclosed reading garden in open space at rear of building
- Lit/digital sign in front of branch showing events, programs, classes for passing drivers
- Enhance crosswalk in front of branch building (Woodland Ave & E 59th St)
- Better define connections to transit and neighborhood assets through lighting, pathways, etc
- Provide drawing/art classes for youth & adults
- Advertise library events and classes more broadly
- Host more cultural activities events at branch
- Outreach more to local seniors

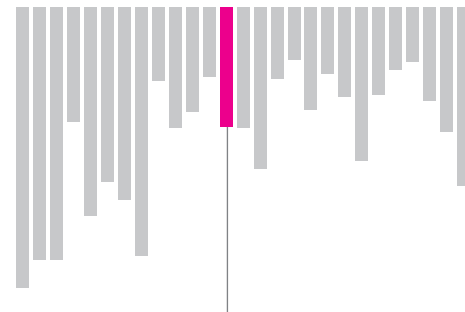
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



104,762 VISITS

CIRCULATION



85,363 ITEMS

SERVICE AREA POPULATION

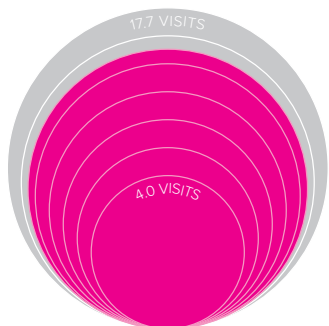


7,946 RESIDENTS

2 OCCUPIED AREA ANALYSIS

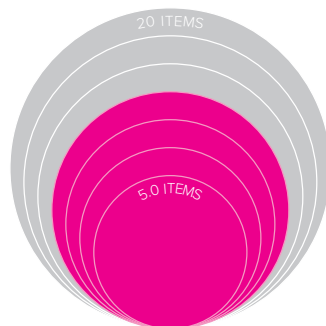
CURRENT OCCUPIED SQUARE FOOTAGE: 7,800 SF

ATTENDANCE

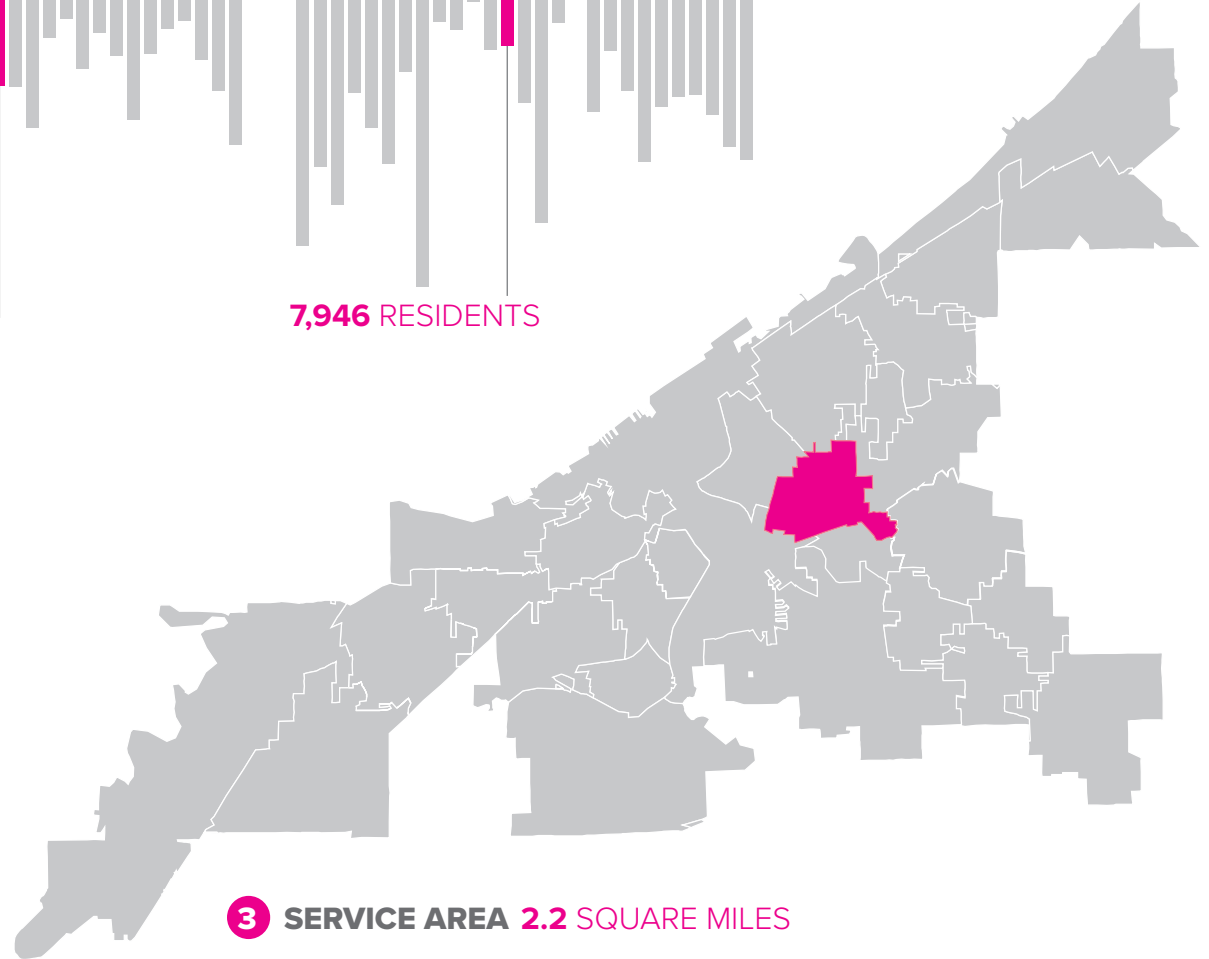


13.4 VISITS PER SF

CIRCULATION



10.9 ITEMS PER SF



3 SERVICE AREA 2.2 SQUARE MILES

KEY

DATA REPRESENTATION

- System Wide
- Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Woodland branch is generally in good condition for its age. The interior and the single-story layout eliminate many of the accessibility issues from other branches and installing an elevator in the existing shaft would allow the full basement to be developed with public services. The older maintenance building is in fair condition and appears to serve its function. The newest addition housing mobile services is in very good condition throughout and does not need immediate attention unless it is not adequate programmatically. The library furniture and millwork are older and should be considered for replacement with any renovation.

SITE The library has on grade access with no steps or ramping required to access the building from the lot or the street, though the concrete needs some minor repair. The parking lots are in good condition. There is very little landscape or hardscape outside of the parking lots but what there is requires some maintenance.

MECHANICAL The Woodland Branch HVAC system consists of four variable volume split system HVAC units, a mini-split, and two boilers serving the main library, in addition to a gas-fired makeup air unit, rooftop unit, furnace, and infrared radiant tube heaters serving adjoining areas of the property. The four variable volume air handlers and condensing units are in good condition, the mini-split is in fair condition, and the rooftop unit is in excellent condition. The furnace is in poor condition and should be removed, and a rooftop air handler should be installed to serve the woodshop. Consideration should be made to go to a Variable Air Volume system with a Building Automation System for increased system efficiency. The two boilers were installed in 1987 and have reached the end of their service life. There is corrosion on the flue, and the primary pumps are past their useful life. The two boilers and primary pumps should be replaced, and secondary pumps should be installed. The radiant tube heaters are in fair condition.



Extensive Fire Damage (original building) - 1957



Woodland under construction - 1960

PLUMBING The Woodland Branch plumbing system consists of one domestic water heater serving the main library and two smaller water heaters serving adjoining areas on the property. There exist flush valve water closets and faucets that are manually operated. The library's domestic water heater was installed in 2010, is in poor condition, has corroded connections, is reaching the end of its service life, and should be replaced. The two smaller water heaters are in fair condition. Plumbing fixtures were in proper working order. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. The existing sewer and storm drainage system appears to be in working condition without issue. The existing sewer and storm drainage system appears to be in working condition without issue. The strainers for the roof drains are in poor condition and should be replaced.

ELECTRICAL The electrical systems in the Woodland branch are a mixture of old and newer systems. The newer Cutler-Hammer equipment at the branch is in good condition and should be maintained. The older Westinghouse equipment, however, has reached the end of its life cycle and should be replaced. The main distribution equipment has spare capacity for future loads, but the existing branch circuit panels have limited spare capacity. As a result, any new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to the existing fire alarm system and emergency egress lighting. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Woodland library uses surface mounted wallpacks and pole mounted fixtures for site lighting. The existing wall mounted exterior fixtures are in poor condition and the exterior pole mounted fixtures are in fair condition and should be maintained. The Woodland branch has an existing automatic lighting control system serving the library.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$925,665

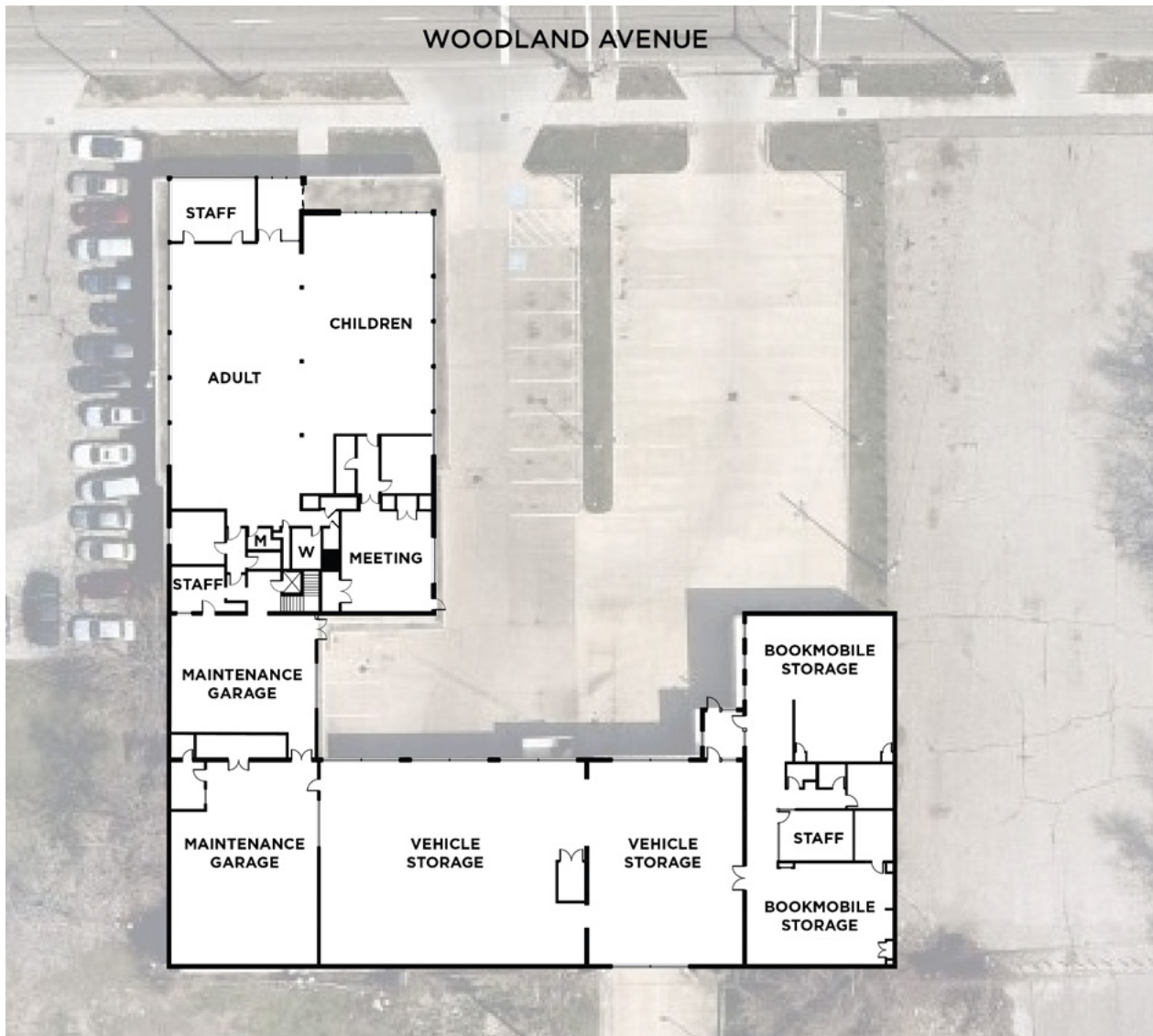


Building Exterior



Existing Circulation Desk

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

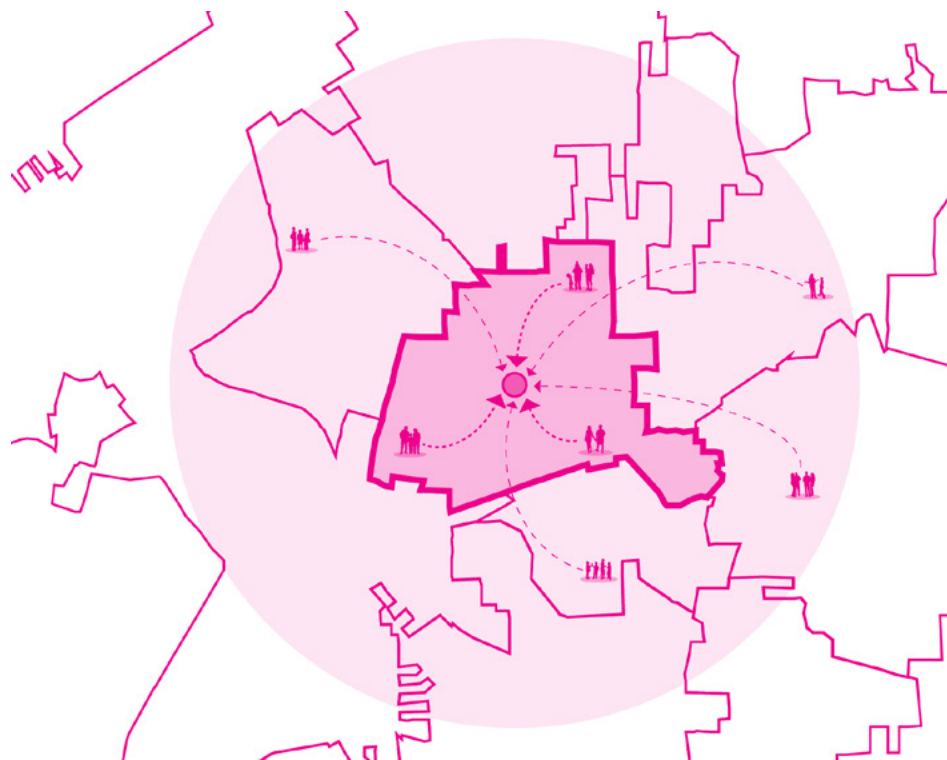
- Library fronts the site, but is non-descript and lacks street presence
- Branch is located on a heavily trafficked road, near the city center
- Not co-located with similar institutions
- Site is centrally located within the system
- Both the library and maintenance facility share a parking lot
- No designated teen room
- Site is surrounded by adjacent landbank or vacant properties, leaving room for expansion
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- Site is centrally located to serve its community
- Existing basement is currently abandoned
- Both the library and maintenance facility have significant maintenance and accessibility issues

Branch Recommendations

MAJOR RENOVATION WITH NEW DISTRIBUTION HUB

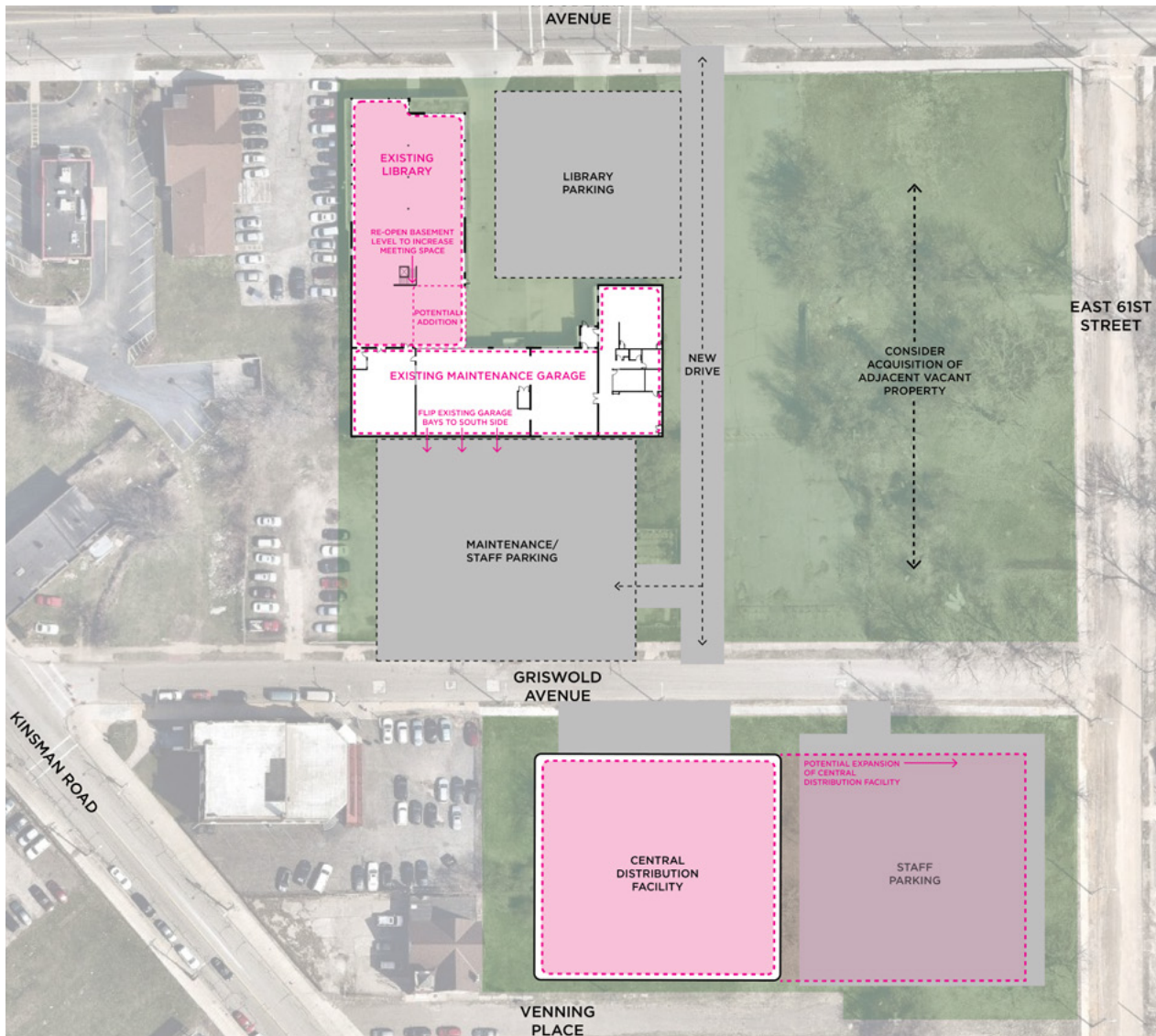
CURRENT STATE This branch and support facilities do not take advantage of the visibility and access afforded by its location on a heavily trafficked road near the city center. The large complex is fronted by the nondescript library building that offers little visibility in from the street. The branch is well used in spite of being surrounded by derelict properties without other similar institutions in the area. There is opportunity to expand the site with a large number of adjacent landbank or otherwise vacant properties.

FUTURE VISION It is recommended that the Woodland site be expanded to encompass the surrounding vacant properties and be used as a new central distribution and service hub for the library system. This would include building a new storage and distribution facility and updating maintenance facilities as well as a major renovation of the existing branch library. The library renovation would include significant exterior work to improve visibility and possible expansion to the south or into the basement with the addition of an elevator. This project would support the entire system and provide a highly visible presence for the library.



Community Hub Diagram

Future Vision



POTENTIAL FUTURE DEVELOPMENT DIAGRAM

RECOMMENDATIONS

- Renovate branch to make more efficient use of the space
- Create new addition at the southern end of the library
- Re-open basement to provide additional meeting space
- Refresh the existing Maintenance Garage and relocate the garage entries to the south side of the building
- Create new Central Distribution Facility
- Consider acquisition of adjacent vacant properties
- Maintain existing entrance from the parking lot
- Create a defined teen space
- Improve views into and out of the building
- Add small quiet study space near the adult collections
- Improve children's collection with larger interactives area
- Reconfigure existing parking lot and drive to accommodate potential future development
- Consider an after-hours lobby or book lockers for extended service

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

MAJOR RENOVATION WITH NEW DISTRIBUTION HUB

Woodland Branch: \$2,600,000*

*INCLUSIVE OF DEFERRED MAINTENANCE COSTS

Central Distribution Facility: \$6,300,000

Maintenance Garage: \$1,500,000*

Total Cost of Implementation: \$10,400,000*

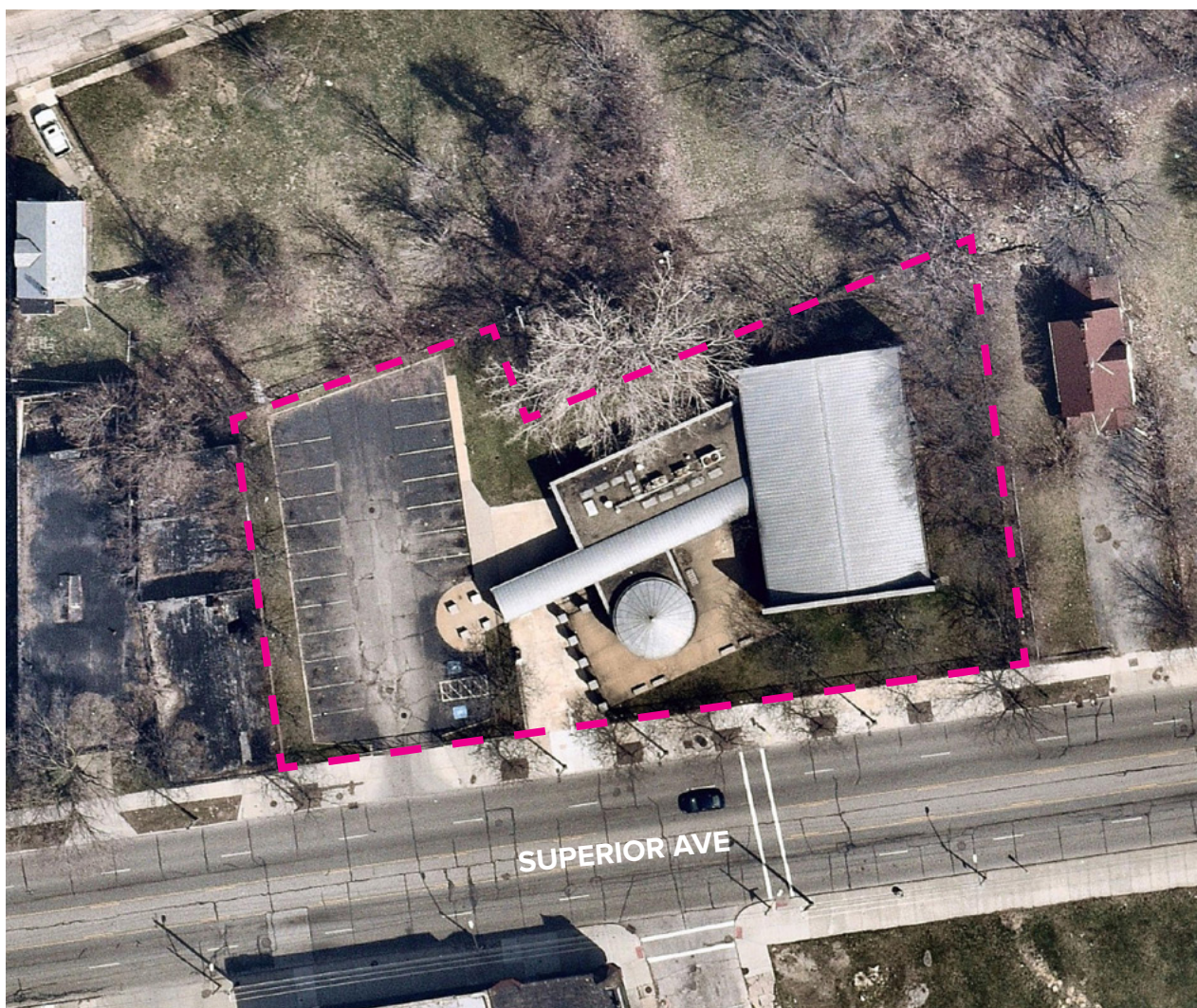
*INCLUDES MAINTENANCE GARAGE COSTS TO OCCUR IN GROUP 2

Addison Branch

St Clair-Superior Neighborhood



Branch Information



BRANCH STATISTICS

Location: 6901 Superior Ave

Year Constructed: 1989

Size: 7,100 sf

Parking: 20 spaces

The Cleveland Public Addison Branch was built in 1989 and is located at 6901 Superior Avenue on the city's east side between East 67th Street and Addison Road. It is located mid-block with access from the sidewalk and parking on the west side of the building accessed off Superior. The building is 7,100 sf, single story, with collection and reading areas at the east end of the building and a meeting room, staff, and mechanical spaces at the west side of the building. The building is clad in dark brick with a metal standing seam roof and a newly installed EPDM flat roof. Glass block and hollow metal frame windows allow significant light into the library.

Community Outreach

OUTREACH SUMMARY The primary concern for patrons at this branch is not the interior space, but the exterior - the facility is viewed as uninviting, “fortress”-like, dark, and dour. The fence along Superior and the dark brick are institutional and easy to overlook from Superior Ave. The main reading room inside is well-liked (though needs better lighting), and additional smaller meeting

space is desired as well. If a small addition to add more meeting space is located on the Superior Ave side, this might help increase visibility as well.

Small description of process/link to comprehensive study; (ie: See CPL Community Vision Plan for details)



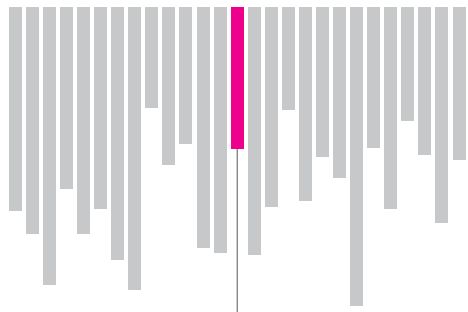
Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Add more overhead & task lighting in main reading room, meeting room
- Add more color & art to interior finishes
- Add more flexible lounge/seating areas in main space
- Additional meeting space(s) for flexible community use
- Expand parking lot into vacant lots to the north, add lighting
- Remove (or beautify) existing fence - use for message banners, etc
- Add color, murals, art to exterior
- Add better signage/lighting to exterior to call attention to branch
- Add “learning garden” to integrate with seed library
- Add more flexible technology - use in new meeting space for classes

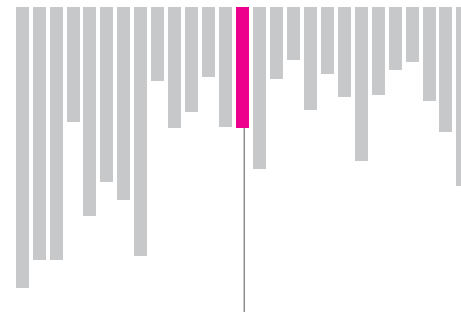
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



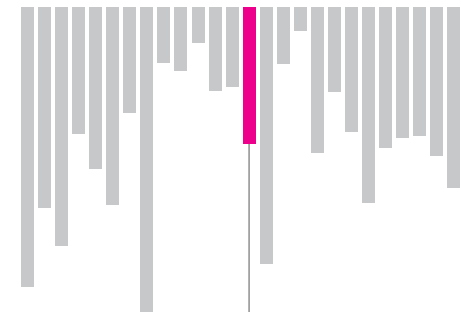
60,211 VISITS

CIRCULATION



86,379 ITEMS

SERVICE AREA POPULATION

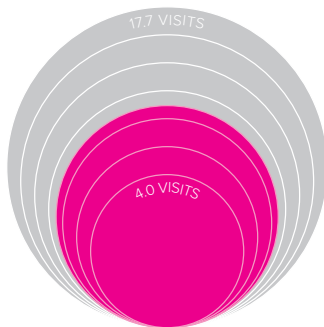


13,603 RESIDENTS

2 OCCUPIED AREA ANALYSIS

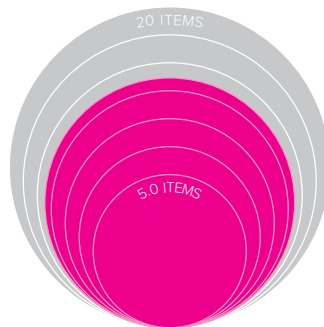
CURRENT OCCUPIED SQUARE FOOTAGE: 7,100 SF

ATTENDANCE

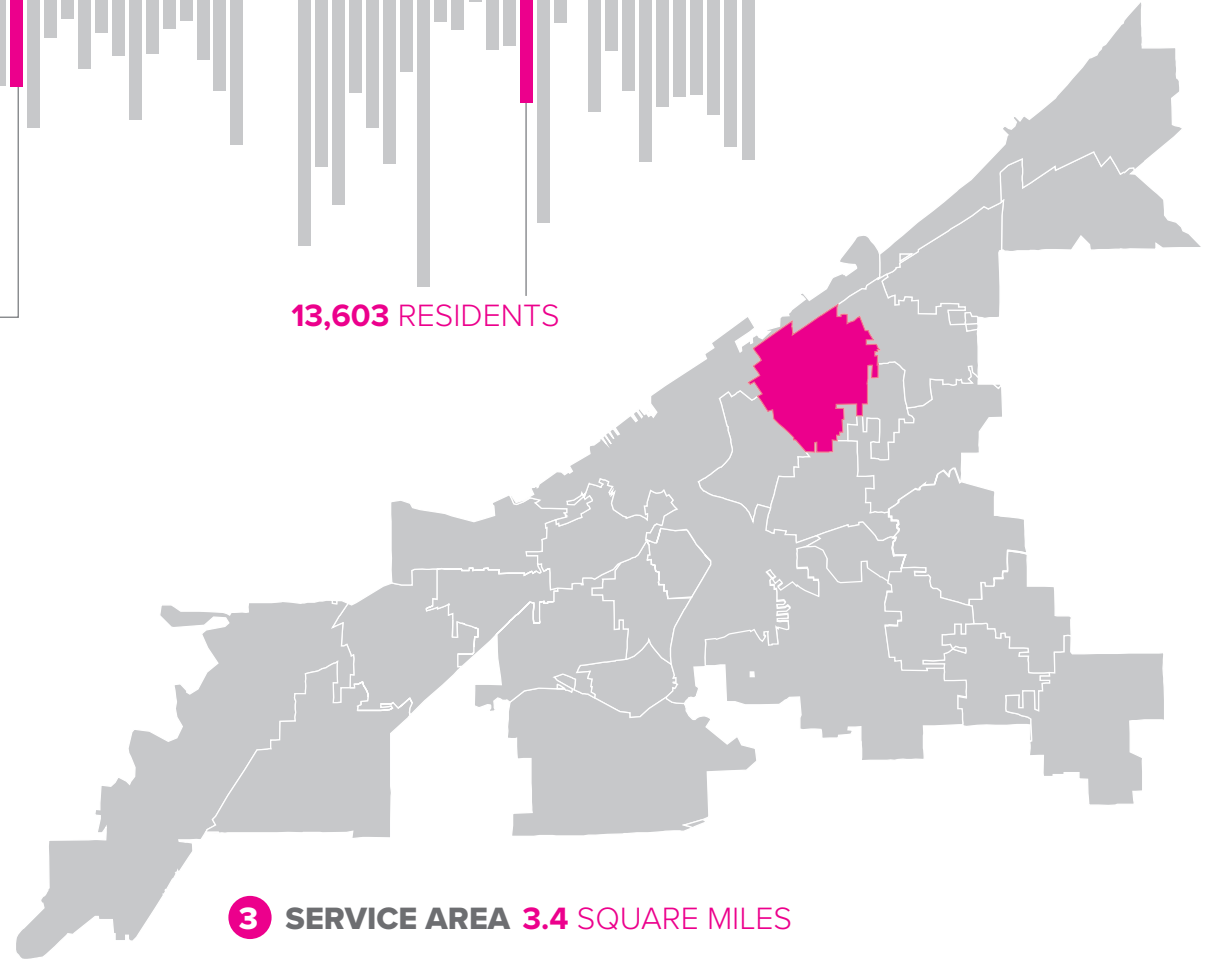


8.5 VISITS PER SF

CIRCULATION



12.2 ITEMS PER SF



3 SERVICE AREA 3.4 SQUARE MILES

KEY

DATA REPRESENTATION



1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Addison branch is in good to fair condition but has major issues with the hollow metal frame windows at the entry corridor and the adjacent concrete masonry wall at the large glass block openings at the north and south walls of the main circulation space. The cracking at the adjacent concrete masonry walls should be addressed and repaired prior to any updates to the finishes. The branch recently updated the public restrooms bringing them up to current ADA compliance. As part of the updates, the roof has recently been replaced. Finishes are in fair condition with a refresh to the walls and ceilings recommended in the near future. The carpet is in good condition and appears to have been recently replaced. Millwork is in fair condition showing wear, specifically at the main circulation desk. The library shelving is generally in good condition.

SITE The library is located on a flat site with a dedicated asphalt parking lot that is in fair condition, to the west of the building. Access from the parking lot to the entrance has recently been brought up to compliance by the installation of ADA compliant handicap spaces. A concrete sidewalk that is in fair condition leads from the public sidewalk to the main entrance at the southwest portion of the site. A separate concrete paved courtyard is at the south portion of the building. The rest of the site is made up of mature trees to the east and north with a mixture of grass and weeds. Gates are located at the parking lot and main entrances to prevent access to the site afterhours.

MECHANICAL The Addison Branch HVAC system consists of a rooftop HVAC unit and two boilers. The HVAC system was recently replaced and may remain in service. The ductwork is run beneath the floor of the building. The diffuser grilles are in poor condition and should be replaced. The temperature control system was recently updated to a Siemens Building Automation System which may remain in service.



Addison under construction - 1989



Building Interior - 1990

PLUMBING The Addison Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2009 and is in poor condition; it should be replaced. Plumbing fixtures were in proper working order and in compliance with ADA standards. All of the public hand washing sinks were equipped with ASSE 1070 mixing valve for tepid water. The storm and sanitary sewer systems are in working condition, but the roof drain strainers are in poor condition and should be replaced.

ELECTRICAL The electrical systems in the Addison branch are in poor condition and should be replaced. The Addison facility's branch circuit panels have limited spare capacity for future loads, and have reached the end of their service lives. The library's fire alarm and egress lighting coverage are appropriate and the devices appear to have been recently installed. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Addison library uses surface mounted

wallpacks, pole mounted fixtures, and walkway/pathway lighting for site lighting. The existing wall mounted exterior fixtures are a mixture of good and poor fixtures. The existing pole mounted fixtures are in average condition, and although the fixtures are mounted at the appropriate height they do not provide the parking lot with the proper lighting levels. The Addison branch has a mixture of automatic and manual lighting control. There are multiple energy savings opportunities through the use of LED technology, lighting control panels, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$432,332

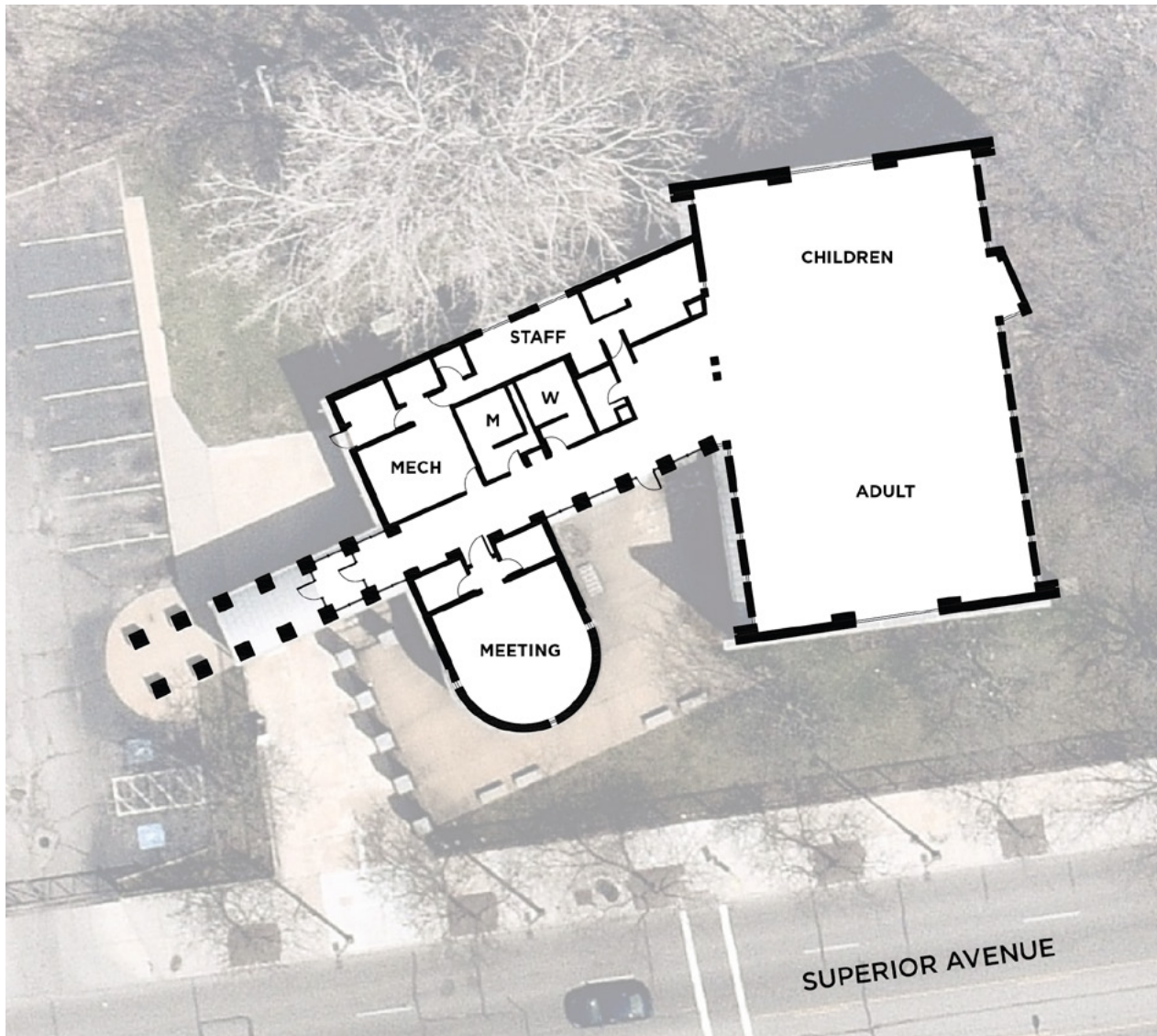


Main entrance off parking lot



Building Interior

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

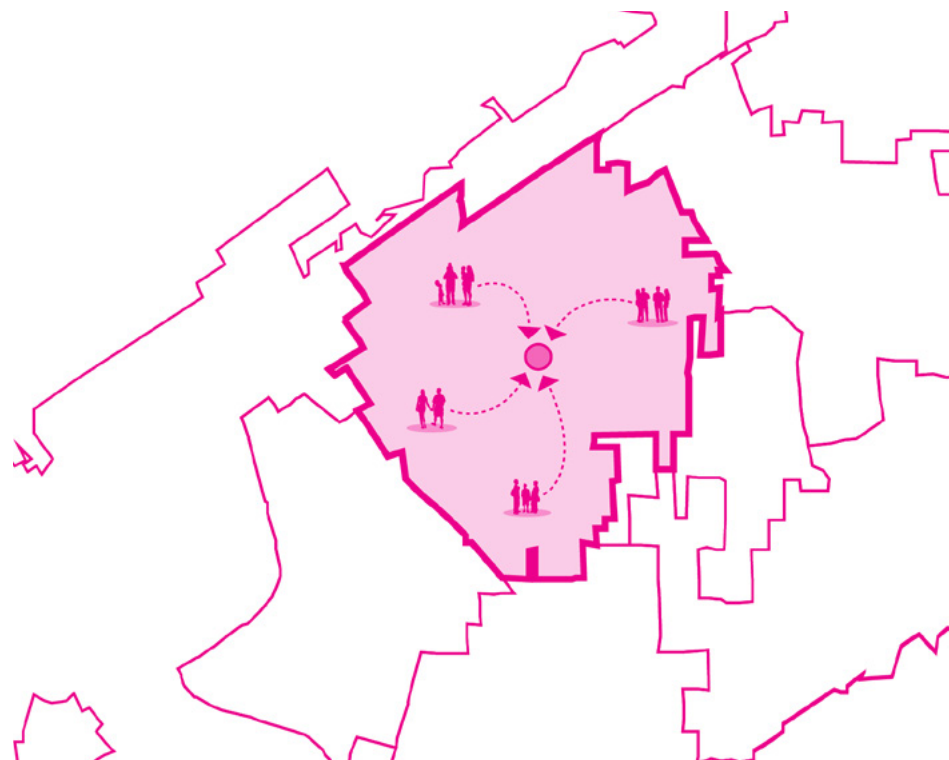
- Unique building design
- Limited street presence
- Formal interior complexity limits flexibility
- Poorly used courtyard sets the building back from the street, limiting its street presence
- Tall metal and brick post fencing create an uninviting exterior and potentially cause the courtyard to go unused
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- No small quiet study spaces
- Strong linear corridor breaks programs into distinct spaces
- Building is one of the newer branches in the system

Branch Recommendations

RENOVATION WITH ADDITION

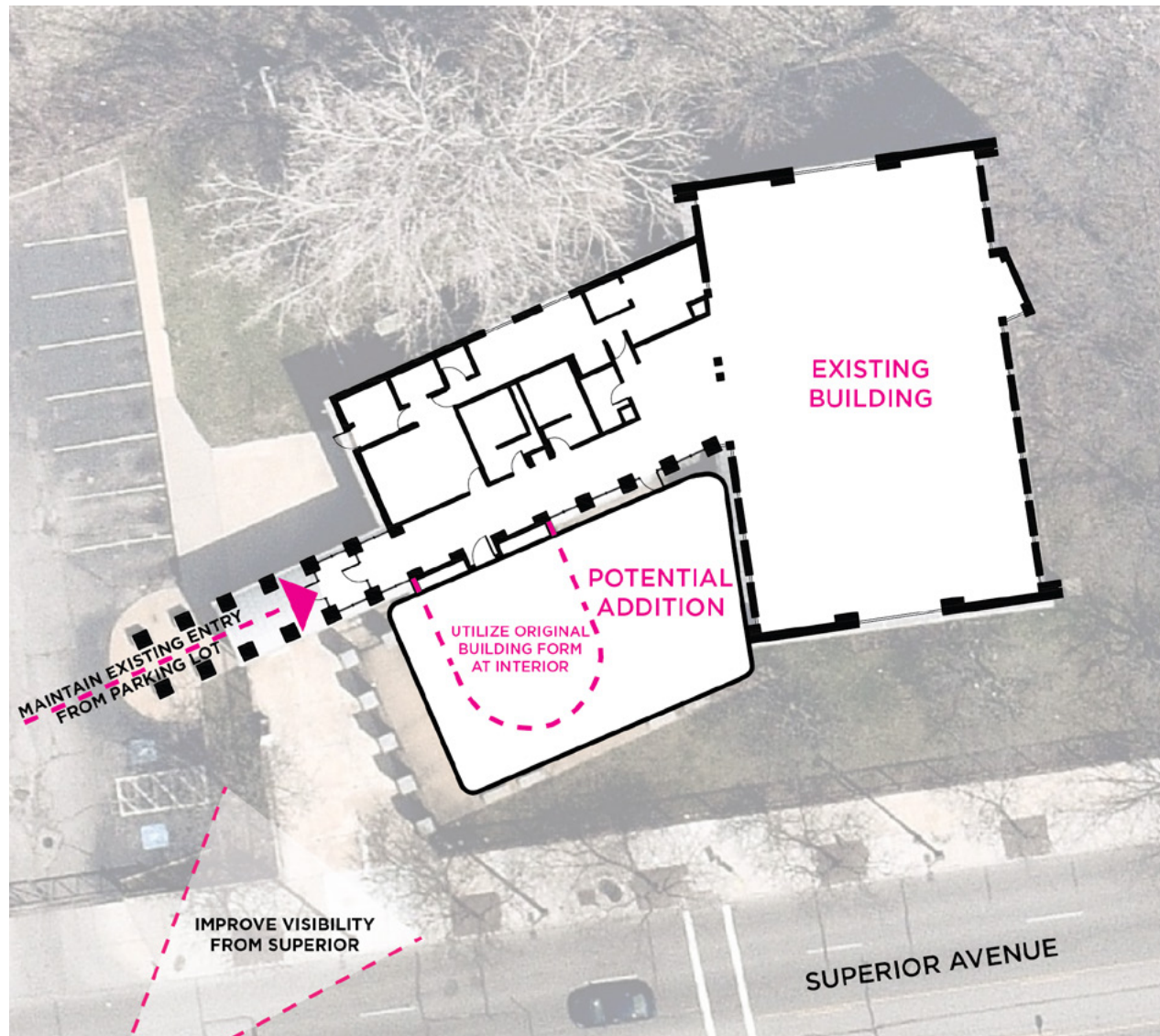
CURRENT STATE The Addison branch offers one of the more unique and interesting designs in the system. However, its formal complexity creates a series of distinct spaces that limit the buildings flexibility with the major program spaces organized around a little used outdoor courtyard that sets the building back from the street. Additionally, the community finds the branches exterior presence on the street to be uninviting. The building is one of the newer ones in the system and after recent deferred maintenance work is in fair condition.

FUTURE VISION It's recommended that this branch be renovated with a new addition built in the area of the existing reading garden and meeting room. A new, modern addition in this location would not only create a more cohesive space but also provide an opportunity to create transparency in the façade, improving the building's presence on Superior. In addition to building work the potential for expanding parking with the acquisition of land bank properties north of the site should be studied. Based on its location and annual attendance, it is recommended that the building remain a Neighborhood Branch.



Neighborhood Branch Diagram

Future Vision

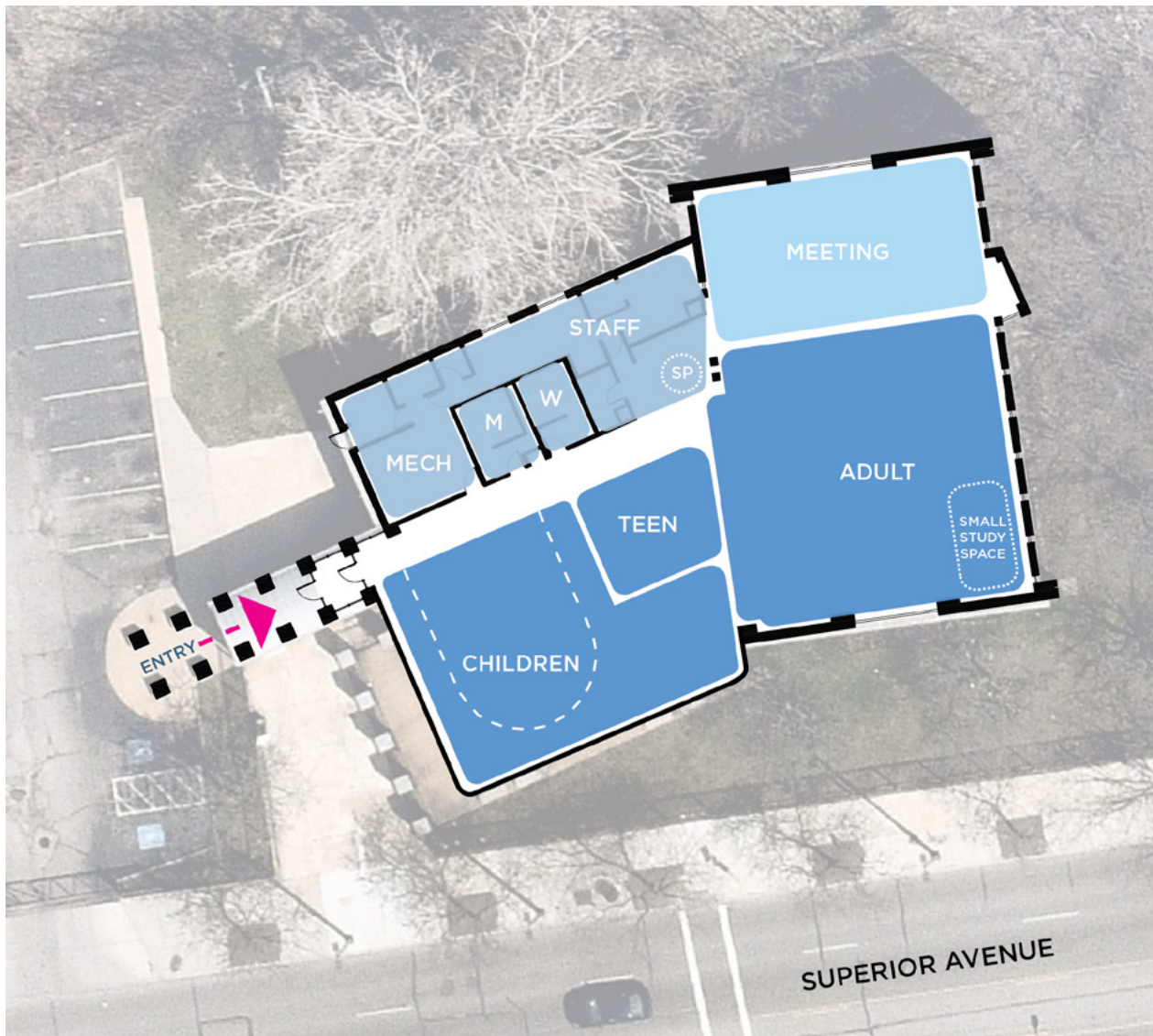


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Create a small addition at the front of the building that breaks up the corridor and opens up the spaces
- Utilize unique building form at interior
- Renovate branch to make more efficient use of the space
- Maintain existing entrance from the parking lot
- Create a defined teen space
- Improve visibility from Superior Avenue
- Relocate meeting room to the rear of the building, pushing active collections to the streetfront
- Improve wayfinding
- Create new 'Community Living Room'
- Improve views into and out of the building
- Add small quiet study space near the adult collections
- Improve children's collection with larger interactives area
- Consider an after-hours lobby or book lockers for extended service

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

RENOVATION WITH ADDITION

Total Cost Of Implementation

\$2,300,000

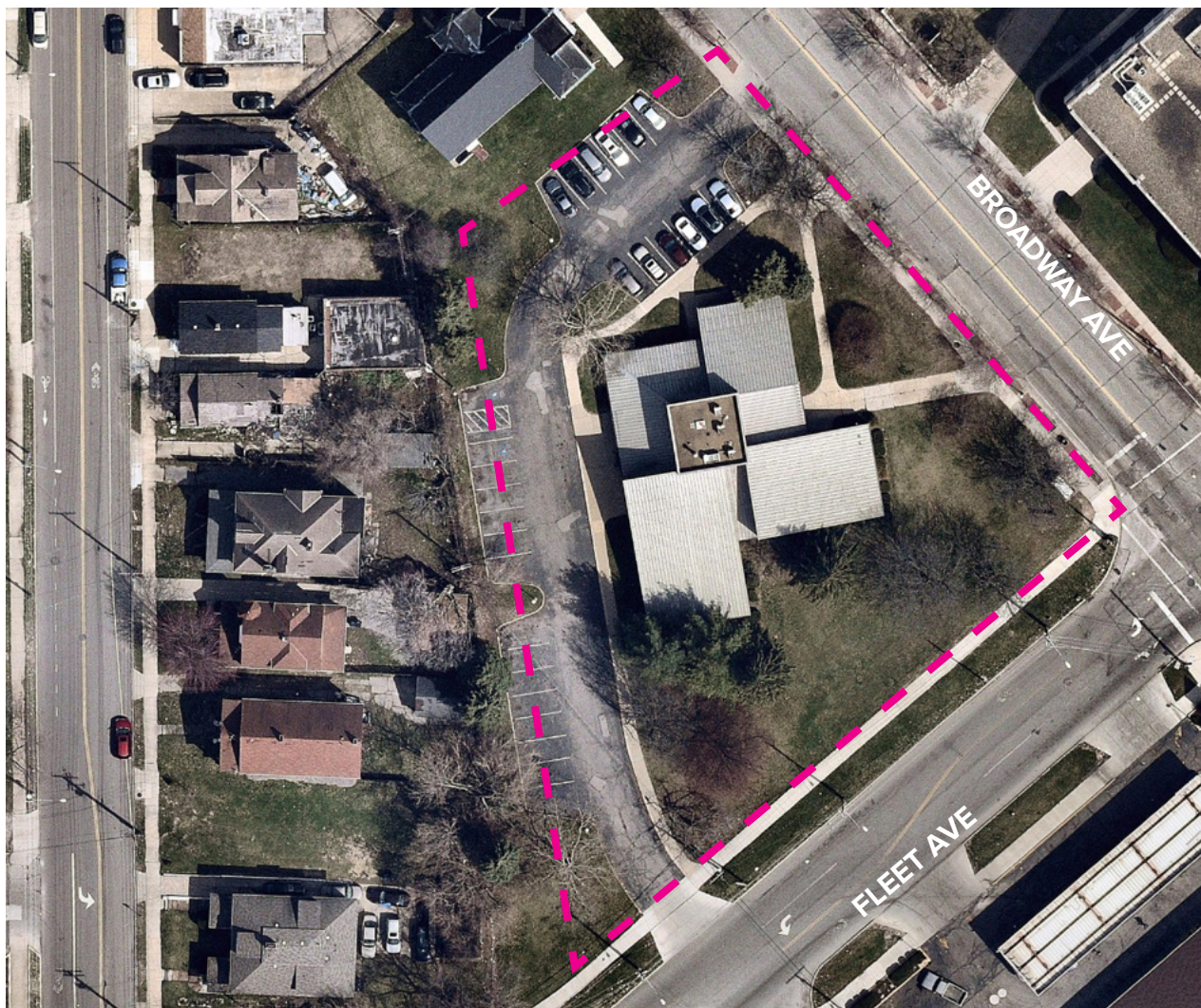
Inclusive Of Deferred Maintenance Costs

Fleet Branch

Slavic Village Neighborhood



Branch Information



BRANCH STATISTICS

- Location: 4303 Fleet Ave
- Year Constructed: 1981
- Size: 8,900 sf
- Parking: 28 spaces

The Cleveland Public Library Fleet Branch was built in 1981 and is located at 4303 Fleet Avenue on the city's east side at the corner of Fleet Avenue and Broadway Avenue, two major roads. There is a parking lot to the north and west of the building accessed via Fleet Avenue and Broadway Avenue. The building is setback on all sides with mature landscaping. The building is 8,900sf with collections, reading areas, a multipurpose room, workroom, staff lounge, and support spaces on the first floor. A mechanical room is located on a mezzanine level. The building is clad in modular brick with window openings on all facades.

Community Outreach

OUTREACH SUMMARY Fleet Branch is generally working well for its patrons, although competing user groups desired a wider range of smaller meeting/study spaces, as well as a more flexible community meeting room. The branch exterior is fairly dull and lacks visibility from the street; some landscaping, signage, lighting, and particularly a canopy addition facing west could help highlight the library for potential new patrons. Arts, music, and theater programming were all popular suggestions for patrons, whether at the library or in the larger neighborhood. Increased collaboration and programming with local organizations was strongly supported here, as was stronger outreach & communication about programs.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)



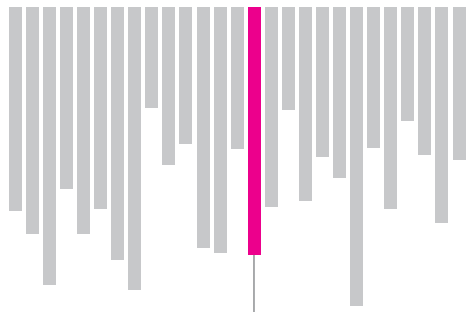
Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Add a space for musical and performing arts students to take classes and hold recitals
- Build private study rooms for quiet reading/study in branch
- Separate the children's area from the rest of the branch facility with a curtain wall or other similar barrier
- Provide an interior lounge space for social interaction
- Increase the number of workstations available for reading & studying
- Add more computers (desktops, laptops) for public use
- Create outdoor space on branch grounds with landscaping and seating; an area for reading, playing, etc
- Add more lighting to the branch's parking lot to increase safety and deter crime
- Improve pedestrian connections from branch to Stella Walsh Rec Center and the surrounding neighborhood
- Coordinate shared parking with nearby businesses and institutions
- Shift branch hours to allow for a later closing time on some weekdays
- Hold a music, dance, and story time for children in branch
- Strategize a more effective way of advertising the branch's services and programs throughout neighborhood

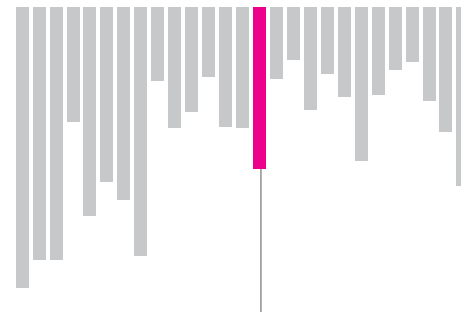
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



105,435 VISITS

CIRCULATION



115,355 ITEMS

SERVICE AREA POPULATION

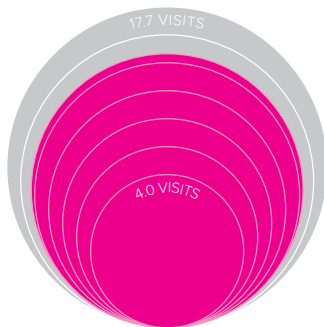


25,478 RESIDENTS ↑
3RD HIGHEST OF 27 BRANCHES

2 OCCUPIED AREA ANALYSIS

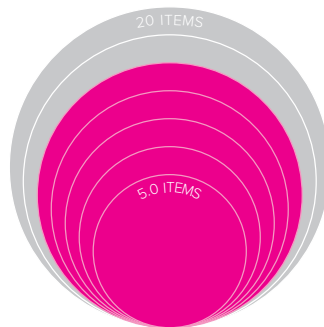
CURRENT OCCUPIED SQUARE FOOTAGE: 8,300 SF

ATTENDANCE

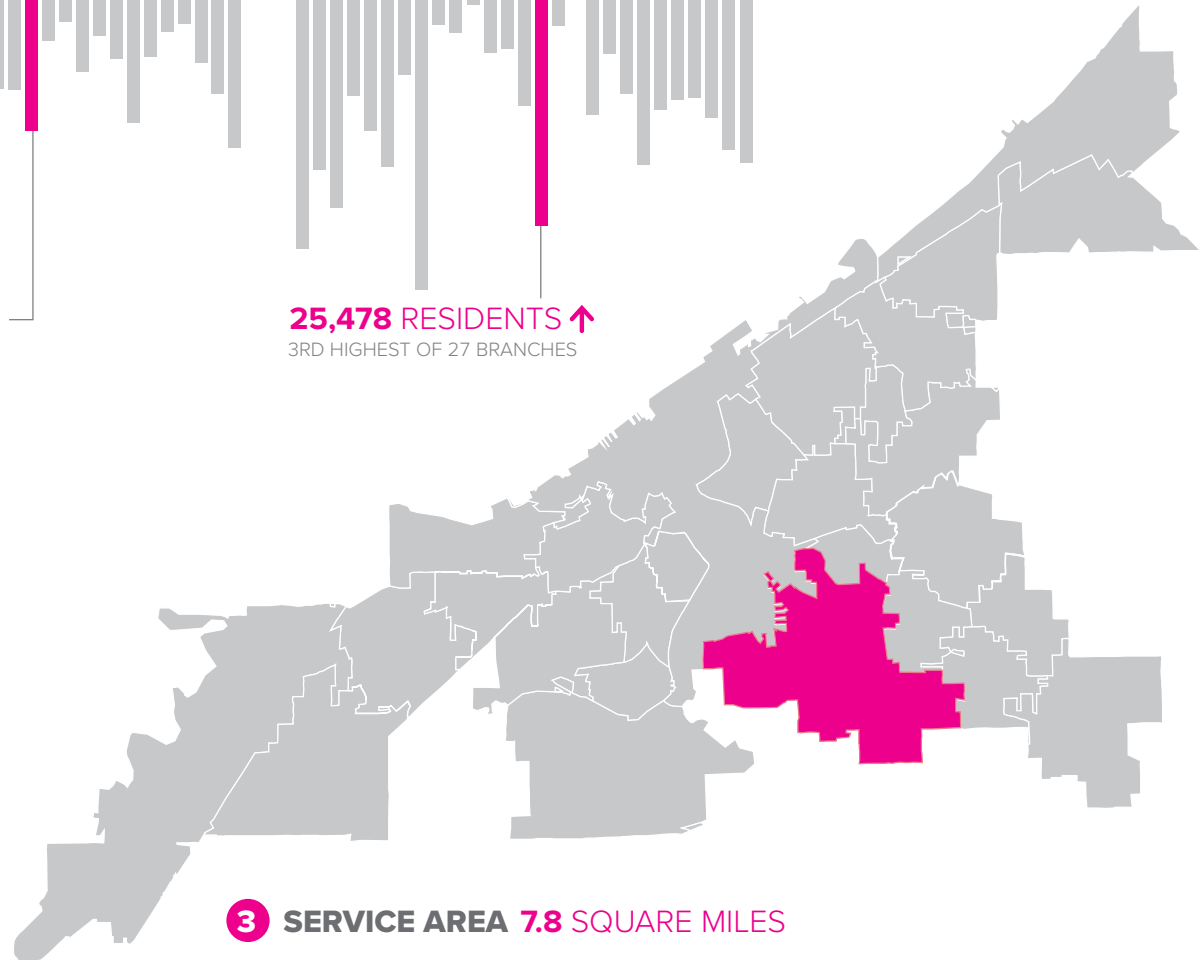


12.7 VISITS PER SF

CIRCULATION



13.9 ITEMS PER SF



3 SERVICE AREA 7.8 SQUARE MILES

KEY

DATA REPRESENTATION



1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Fleet Branch building is generally in good condition but with some accessibility and life safety concerns that need to be addressed. There are two reading and collection areas and a large multipurpose room. The roofing in general appeared in fair condition. The location of the roof top condensers requires fall protection safety rails due to their proximity to the roof edge. Public restrooms do not comply with ADA requirements. Some minor exterior masonry repairs are required at the windows and within the masonry field. The gutter and downspouts require replacement due to damage, vegetative clogs, and improper slopes. The finishes and millwork are showing signs of age and should be updated throughout.

SITE The Library is on an adequately sized site and is bounded by public sidewalks on two sides that are in good condition. Internal sidewalks and asphalt drives are in fair condition with damage in localized areas. The library has at grade entries on two sides. The first from the surface parking lot on the west side of the site and the second from the Broadway Avenue sidewalk. The limited site furnishings require attention.

MECHANICAL The Fleet Branch HVAC system consists of four split system air conditioning units and two gas-fired hot water boilers that serve finned tube radiators, heating panels, and the heating coil in the air handler. Although in working condition, the air handling unit has reached the end of its service life, are inefficient, and should be replaced. The new system should include a code required economizer, smoke detectors, and a variable air volume operation should be considered. The boilers were manufactured in 2011 and are in good condition. However, the two primary pumps are in poor condition and past their service life. Secondary pumps should be added to the system. The B vent cap on the roof is rusted and in poor condition and leaking. The building is presently controlled by a unit control panel and seven (7) thermostats and is old. An upgraded system would be beneficial in providing occupied/unoccupied scheduling and reducing energy costs and could be connected to a Main Building Automation System is desired.



Building exterior - 1981

PLUMBING The Fleet Branch plumbing system consists of a domestic water heater, backflow prevention device, manual flush valve water closets and faucets. The domestic water piping systems is in working condition but approaching its service life and should be replaced. The plumbing fixtures are in proper working order although they are not ADA compliant. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. The roof drain strainers are in poor condition and should be replaced.

ELECTRICAL The electrical systems in the Fleet branch are in fair condition and should be maintained. The Fleet distribution system has limited spare capacity in the existing branch panels, and any new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to the existing fire alarm system and emergency egress lighting. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Fleet library uses a combination of surface mounted wall packs and pole mounted fixtures for site lighting. The existing exterior fixtures are in poor condition and have reached the end of their life cycles. The Fleet branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$1,142,510



Entryway from parking lot



Building Interior

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

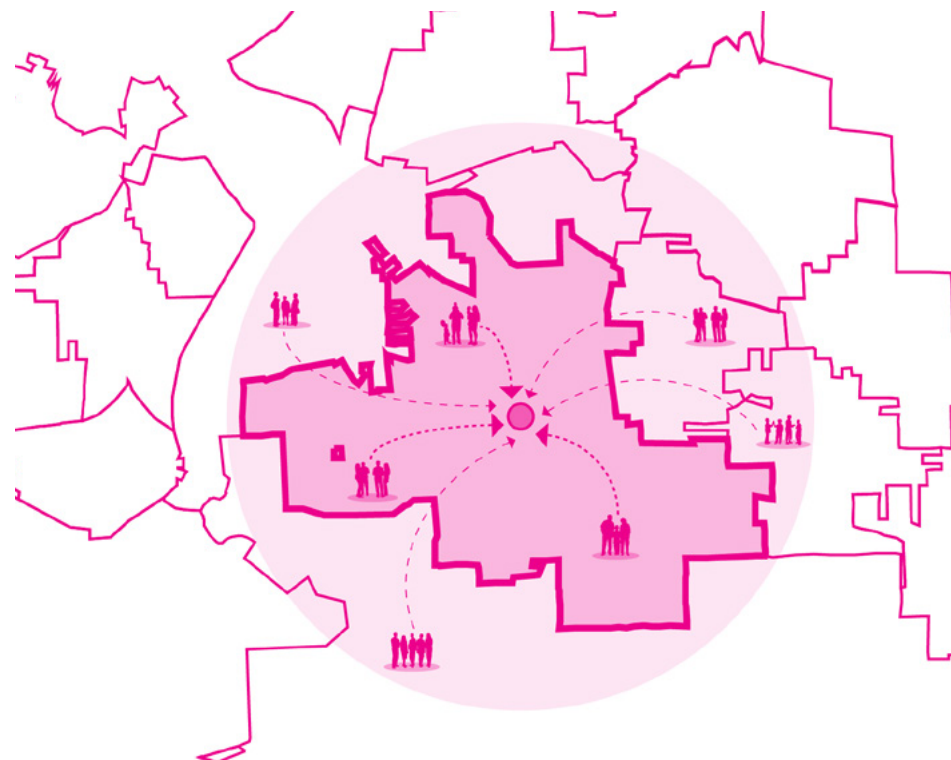
- Building lacks transparency
- Building is deeply set back in the site, creating a lack of visibility from the street
- Large trees obscure the building from the street
- Fleet is located on a large site, with ample room for expansion
- Building interior is divided into distinct spaces, limiting program flexibility
- No defined teen area
- Both entries are deeply set back into the building
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- No small quiet study spaces
- Ample on-site parking for patrons

Branch Recommendations

RENOVATION WITH ADDITION

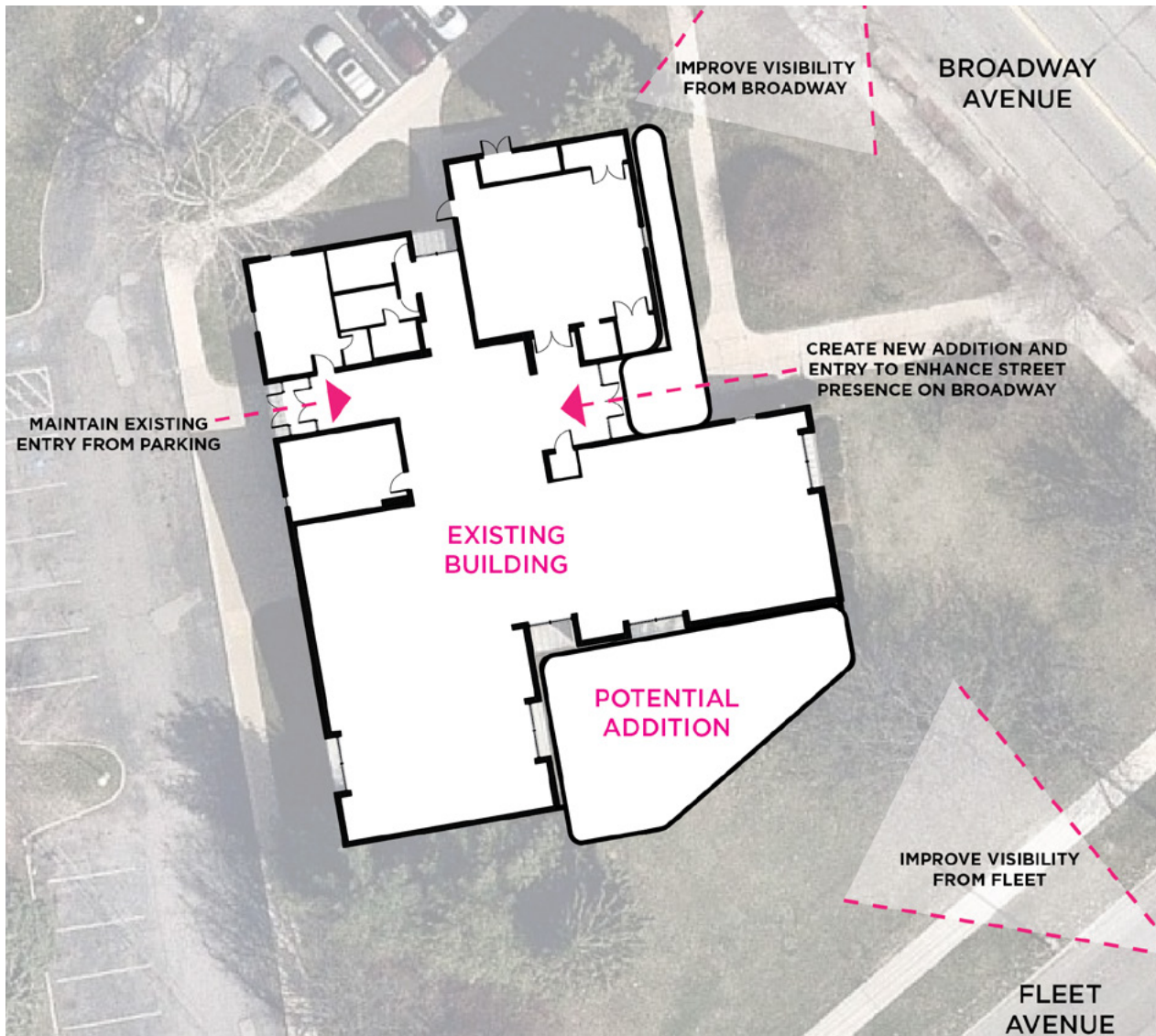
CURRENT STATE The Fleet branch is well located on a relatively large site in an active area. The branch is well attended for its size and it serves a large geographic area. The building's opaque, introverted design is typical of the branches built in the era and creates distinct spaces with limited connectivity. The lack of transparency is compounded by the building's location set into the middle of the site. The result is a lack of street presence and the library is easily missed if one does not know it's there.

FUTURE VISION It is recommended that this branch be renovated with a new expansion to the south and east. The branch is well located to serve as a new Community Hub but would need to increase in size to provide that level of service. An expansion would allow for a larger meeting space, more contiguous collection space and better visibility from both Fleet and Broadway. The cost of building a new branch on the same site should be reviewed as an alternative to a substantial renovation and addition.



Community Hub Diagram

Future Vision

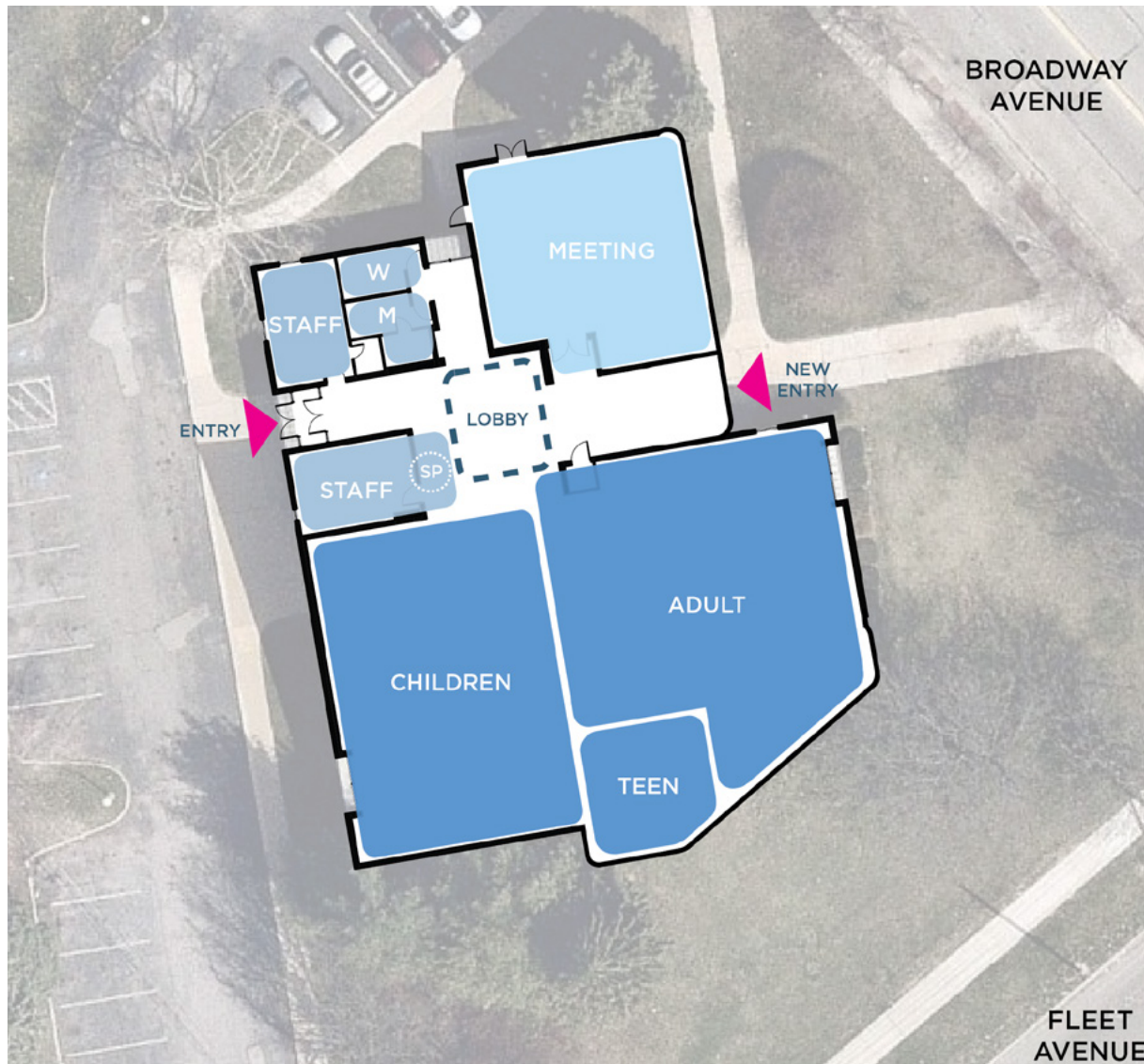


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Create new addition to expand collections spaces and increase visibility along Fleet
- Create new addition to expand the meeting room and improve visibility of the Bush Avenue entry
- Renovate branch to make more efficient use of the space
- Maintain existing entrance from the parking lot
- Create a defined teen space
- Open meeting room up to provide increased flexibility
- Improve wayfinding
- Improve views into and out of the building
- Add small group study spaces or other collaborative spaces
- Improve children's collection with larger interactives area
- Consider an after-hours lobby or book lockers for extended service

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

RENOVATION WITH ADDITION

Total Cost Of Implementation: **\$4,000,000**

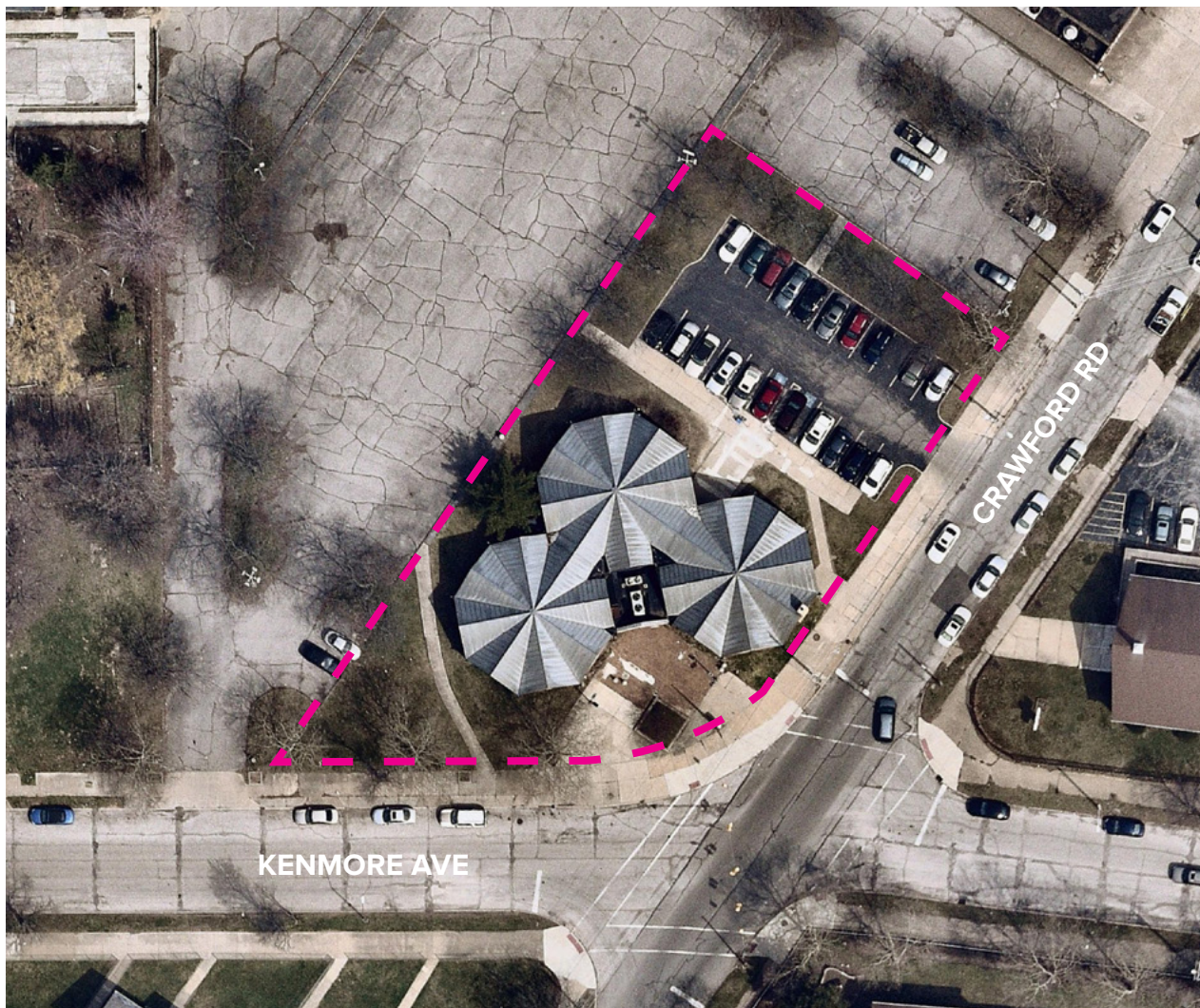
INCLUSIVE OF DEFERRED MAINTENANCE COSTS

Hough Branch

Hough Neighborhood



Branch Information



BRANCH STATISTICS

Location: 1566 Crawford Road

Year Constructed: 1984

Size: 7,155 sf

Parking: 22 spaces

The Cleveland Public Library Hough Branch was built in 1984 and is located at 1566 Crawford Road on the city's east side. It is located at the intersection of Crawford Road and Kenmore Avenue with the main entry accessed off of a small square near the intersection. Parking is located northeast of the branch with entry on Crawford Road. The building is 7,155 sf with a meeting room, collections, reading areas, a computer area, and a children's reading area. The building is clad in yellow and red brick with a sloped roof on the majority of the building.

Community Outreach

OUTREACH SUMMARY The existing Hough Branch is an important hub for local students after school, but the building itself is unwelcoming and inflexible. Many neighborhood residents perceive the branch to be vacant and/or closed due to the disrepair to the exterior; landscaping, lighting, signage, and potentially even a small addition could help quite a bit. Patrons were open to the ideas of expanding and/or relocating the branch entirely. Quiet study/work areas, a childrens area,

and a teen space were all strongly desired, perhaps necessitating interior partitions and/or small study rooms. Modern color, lighting, and art were very well-received in this branch, both for the interior and exterior of the building.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)



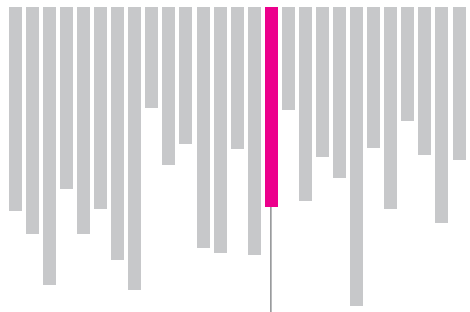
Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Add more comfortable seating and flexible workspace options
- Find opportunity for "quiet work area," if "teen room" not possible
- Update interior with more modern color, lighting
- Improve front plaza entry with signage, lighting, landscaping
- Improve back entry with signage, lighting, canopy
- Add outdoor seating area that can be gated off after-hours
- Strengthen WiFi and add more technology options
- Coordinate with neighboring branches to better communicate events, resources, programming
- Explore opening on Sunday afternoons
- Hold neighborhood "block party" events to deepen social ties
- Create physical and programmatic connections to nearby Rec Center

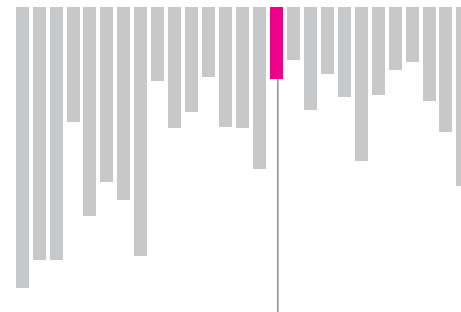
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



85,117 VISITS

CIRCULATION



51,460 ITEMS

SERVICE AREA POPULATION

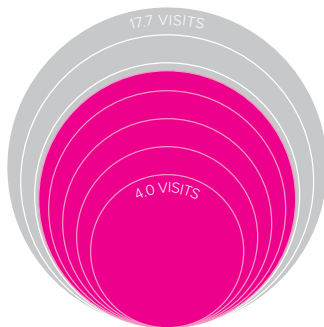


5,667 RESIDENTS

2 OCCUPIED AREA ANALYSIS

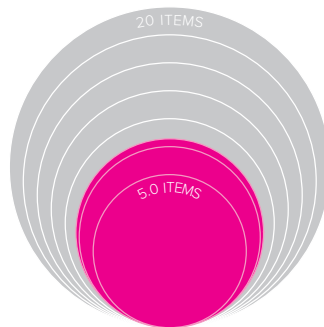
CURRENT OCCUPIED SQUARE FOOTAGE: 14,000 SF

ATTENDANCE

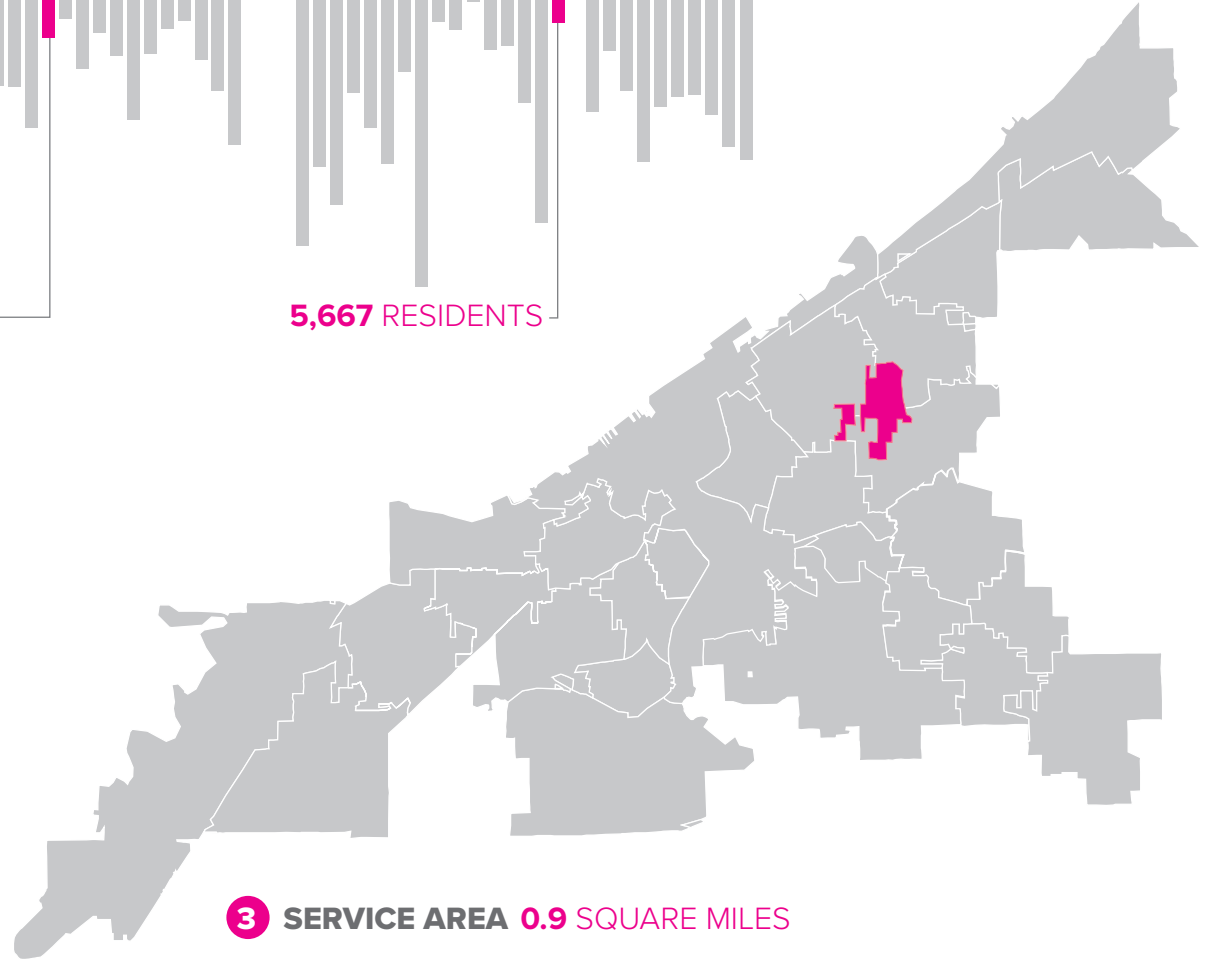


11.3 VISITS PER SF

CIRCULATION



6.9 ITEMS PER SF



3 SERVICE AREA 0.9 SQUARE MILES

KEY

DATA REPRESENTATION

- System Wide
- Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Hough branch is generally in fair condition throughout and the single-story layout eliminates many of the accessibility issues from other branches. The exterior of the building was typically in fair to good condition, with some minor staining of the brick and mortar. The majority of the roof was not assessed and there are no active leaks at the interior resulting from the sloped roofs. The library finishes and millwork are older and should be considered for replacement with any renovation.

SITE The library is located on a tight site with no room for expansion. The library has on grade access from Kenmore Avenue with no additional steps or ramping required to access the building from the lot or the street, though the brick pavers need some repair. The building also has on grade access from the parking lot. Accessibility from the parking lot needs to be addressed, as the current ramp is not compliant. The limited landscaping around the site is in fair condition, but needs to be maintained. The hardscape around the site is typically in fair condition.

MECHANICAL The Hough Branch HVAC system consists of two constant volume split system HVAC units and two 80% efficient boilers. The split system air handlers and condensing units are in poor condition and have reached the end of their service life; they should be replaced within the next five years. The combustion air is not code compliant and should be replaced. When the units are replaced, consideration should be made to go to a Variable Air Volume system with a Building Automation System for increased system efficiency. The two boilers were replaced in 1994 and are in fair working condition. They have reached the end of their service life and should be replaced. The primary heating water pumps are past their service life and should be replaced. Secondary heating water pumps should be installed.

PLUMBING The Hough Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2011, is in fair condition, and has corroded connections that are in poor condition. It should be replaced. Plumbing fixtures were in proper working order. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. The existing sewer and storm drainage system appears to be in working condition without issue.



Building Exterior



Building Interior

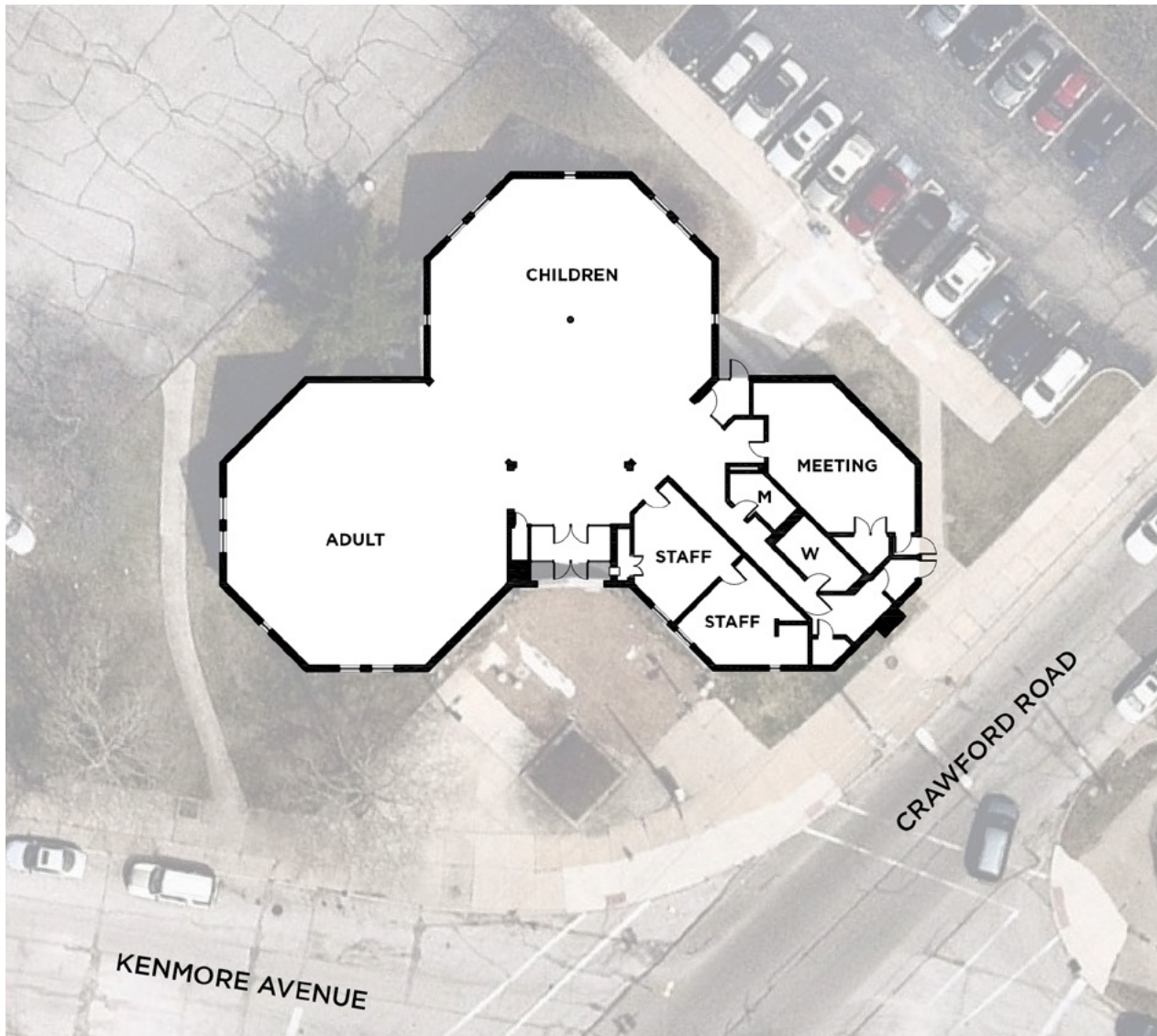
ELECTRICAL The electrical systems in the Hough branch are aged, but operational. Replacement of the existing Hough distribution equipment should be considered due to the age of the equipment and the difficulty in acquiring the appropriate overcurrent devices, which are no longer manufactured. Additionally, due to limited spare capacity in the existing branch panels, any new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to the existing fire alarm system and emergency egress lighting. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Hough library uses pole mounted high pressure sodium fixtures for site lighting. The existing exterior fixtures are in poor condition and have reached the end of their life cycles. The Hough branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

**TOTAL COST OF DEFERRED
MAINTENANCE ITEMS: \$764,129**



Hough under construction - 1983

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

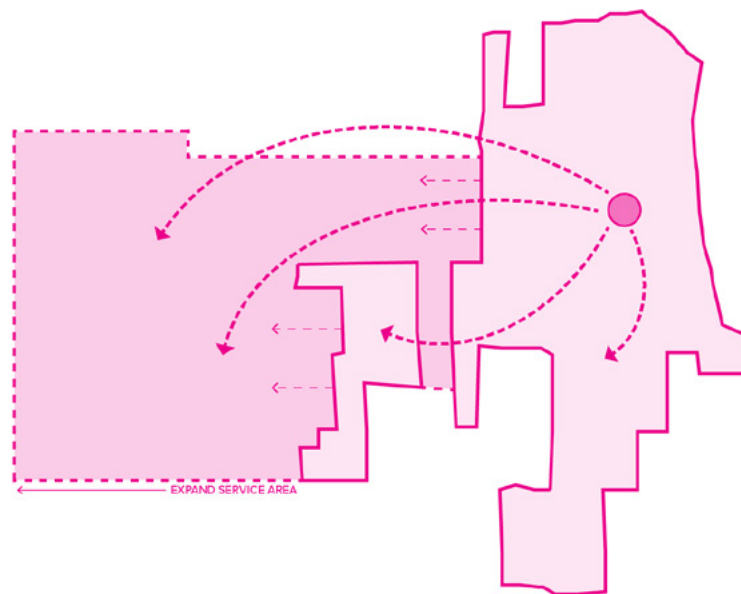
- The building lacks transparency
- Building interior is divided into distinct spaces, limiting program flexibility
- Library is introverted and set back from the street - many community members do not know it is there or that it is open
- No defined teen area
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- No small quiet study spaces
- Library designated parking is limited, but has access to overflow parking at the surrounding CMHA property
- Branch and site size is too small to meet the criteria of a Neighborhood Branch
- Interior layout does not have good sightlines throughout and does not meet the goals of the library's service model
- Significant maintenance and accessibility issues

Branch Recommendation

RELOCATE

CURRENT STATE The Hough Branch is poorly located to serve its community, remote from transit lines and away from active neighborhood centers. In outreach sessions it was found that many residents thought the building was closed and went to other nearby facilities even if Hough was their local branch. The layout of the building is not conducive to the library's service model goals and has numerous maintenance issues.

FUTURE VISION It's recommended that this branch be replaced with a new facility in a location on major transit lines serving the area long Hough Avenue. While it could potentially serve a much larger population than it's defined service area its proximity to the Woodland and MLK branches make it appropriate to remain a Neighborhood Branch.



Potential Relocation Options

PROCESS It is recommended that the Hough branch be relocated to a new building at a new location. The potential new site options were analyzed based on availability, accessibility, flexibility, and their impact on the community. These sites were then compared to determine which options best fit the needs of its service area.

IMPLEMENTATION COST

RELOCATION It is recommended that the Hough branch be relocated to a new facility on a new site. The facility will be a Neighborhood Branch.

IMPLEMENTATION COST \$4,600,000

POTENTIAL SITES

1. LEXINGTON AVENUE (LEAGUE PARK OPTION)

Property west of the current site along Lexington Avenue, across from the Historic League Park.

2. HOUGH AVENUE (MLK CAMPUS)

Property west of the current site along Hough Avenue, across from the Martin Luther King Jr Campus.

3. CHESTER AVENUE (COMMERCIAL CORRIDOR)

Property southwest of the current site along Chester Avenue in proximity to the commercial corridor.

4. HOUGH AVENUE (THURGOOD MARSHALL OPTION)

Property south of the current site along Hough Avenue, across from the Thurgood Marshall Recreation Center.

Potential Relocation Options

SITE CHARACTERISTICS

- Not located in an active community center
- Size of site leaves limited room for building expansion
- Shape and size of site limits flexibility
- Site is flat, but too small to accommodate a single story branch model
- Limited on-site parking, but patrons can use the adjacent CMHA owned lot for overflow parking
- Library is not centrally located to serve the needs of the community
- Not located on major transit routes

EXISTING SITE:

EXISTING HOUGH OPTION

Location: 14000 Kinsman Road, Cleveland, OH

Total Lot Size: 8,500 SF

Existing Building Size: 7,300 SF

Description: This site would re-utilize the existing property and a new building would replaces the existing branch.

Amenities:

- Martin Luther King Jr Plaza
- Surrounding property owned by Cleveland Metropolitan
- Housing Authority
- Local community garden

Site Criteria	Inadequate	Limited	Sufficient
Available			
Accessible			
Flexible			
Community Focused			



Potential Relocation Options

SITE CHARACTERISTICS

- Located near an active community center with important cultural and social amenities
- Proximity to recently redeveloped La Salle Theater has potential to spur a new arts & learning corridor along East 185th Street.
- Library has parking to accommodate a Neighborhood branch
- Co-locating the branch with Cleveland's Historic League Park and the Fatima Family Center provides opportunities for future collaboration
- Shape and size of site accommodates flexibility
- Site is flat, accommodating a single story branch model
- Site is located near several stops on the local RTA routes

POTENTIAL SITE:

LEXINGTON AVENUE & 66TH

Location: East 66th Street, Cleveland, OH

Total Lot Size: 52,000 SF

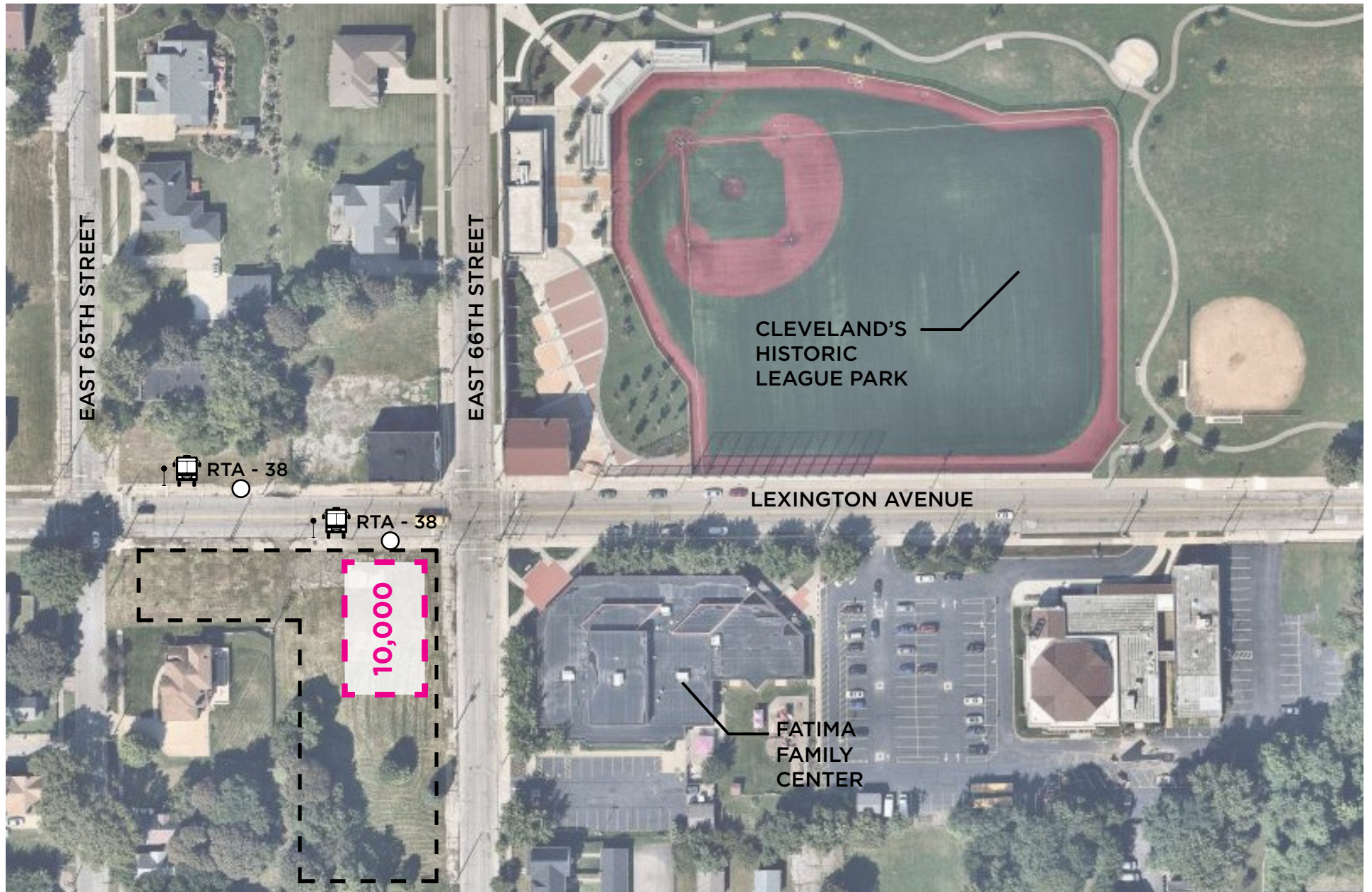
Potential Building Size: 15,000 SF

Description: This site would relocate the existing branch to a property east of the current site along Lexington Avenue. The property consists of a series of parcels across the street from the Historic League Park.

Amenities:

- Cleveland's Historic League Park
- RTA stops
- Baseball Heritage Museum
- Fatima Family Center

Site Criteria	Inadequate	Limited	Sufficient
Available			
Accessible			
Flexible			
Community Focused			



CLEVELAND

LEXINGTON AVENUE

HOUGH AVENUE

HOUGH
BRANCH
LOCATION
(POTENTIAL)

CHATEAU
HOUGH

EAST 66TH STREET

EAST 70TH STREET

HISTORIC
LEAGUE
PARK

FANNIE
M LEWIS
COMMUNITY
PARK

FATIMA
FAMILY
CENTER

Hough Branch

CONCEPT DESIGN

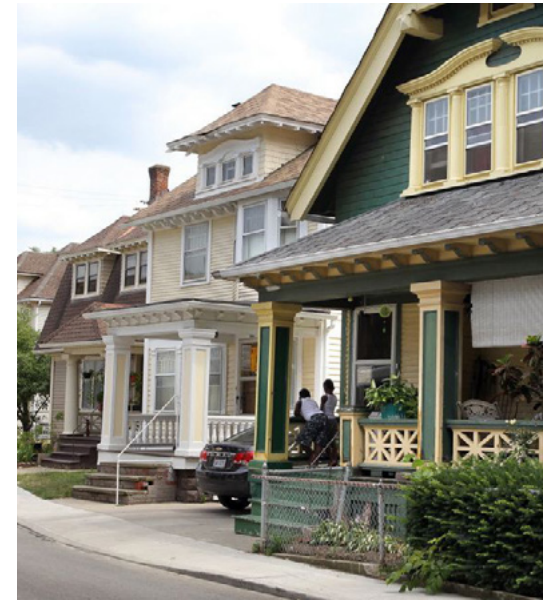
INTENT OF CONCEPT DESIGNS

The specific branch concept designs and drawings introduced in this document are not final building designs, but outlines for how the library may choose to move forward as the plan is realized over the next ten years.



Design Inspiration

VISIBILITY The Hough branch will be a beacon for a proud and engaged community. For outsiders the neighborhood is often viewed only through the lens of its troubled history with the perseverance of its slow, steady revival remaining invisible to most. The same civil unrest of the sixties that deeply scarred the Hough community resulted led to a defensible design approach to civic buildings in urban areas, as can be seen in many of the Library's branches built in the decades that followed. A design focused on transparency and engaging the street reframes perceptions of the library itself, which should always be viewed as an inclusive, vibrant space that is open to the all.

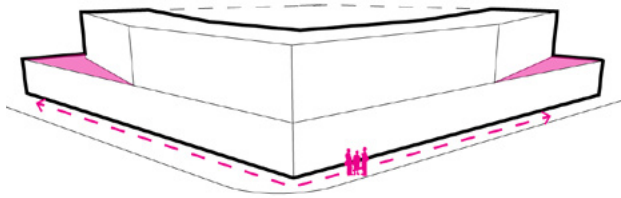


Context Diagram - Figure Ground Study

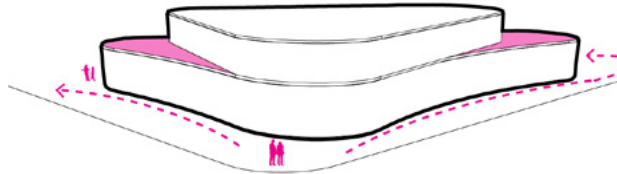


View from Lexington looking Southwest

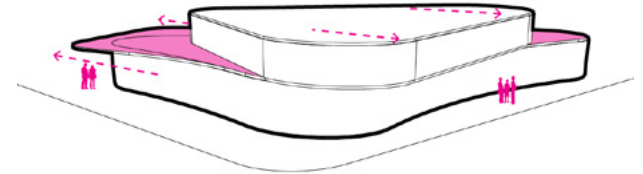
Creating Form



1. Hold the Corner



2. Erode and Soften

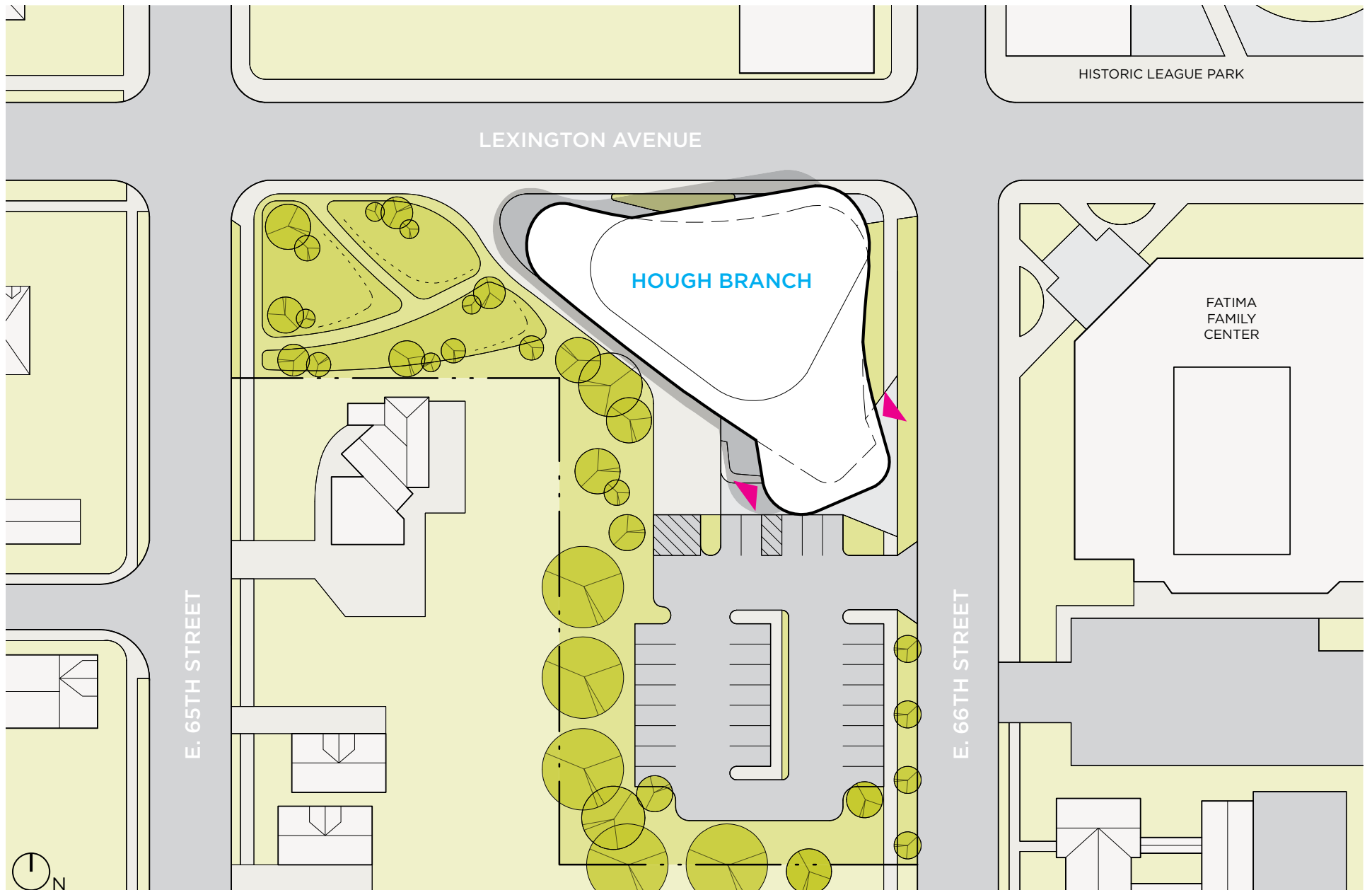


3. Stagger and Shift

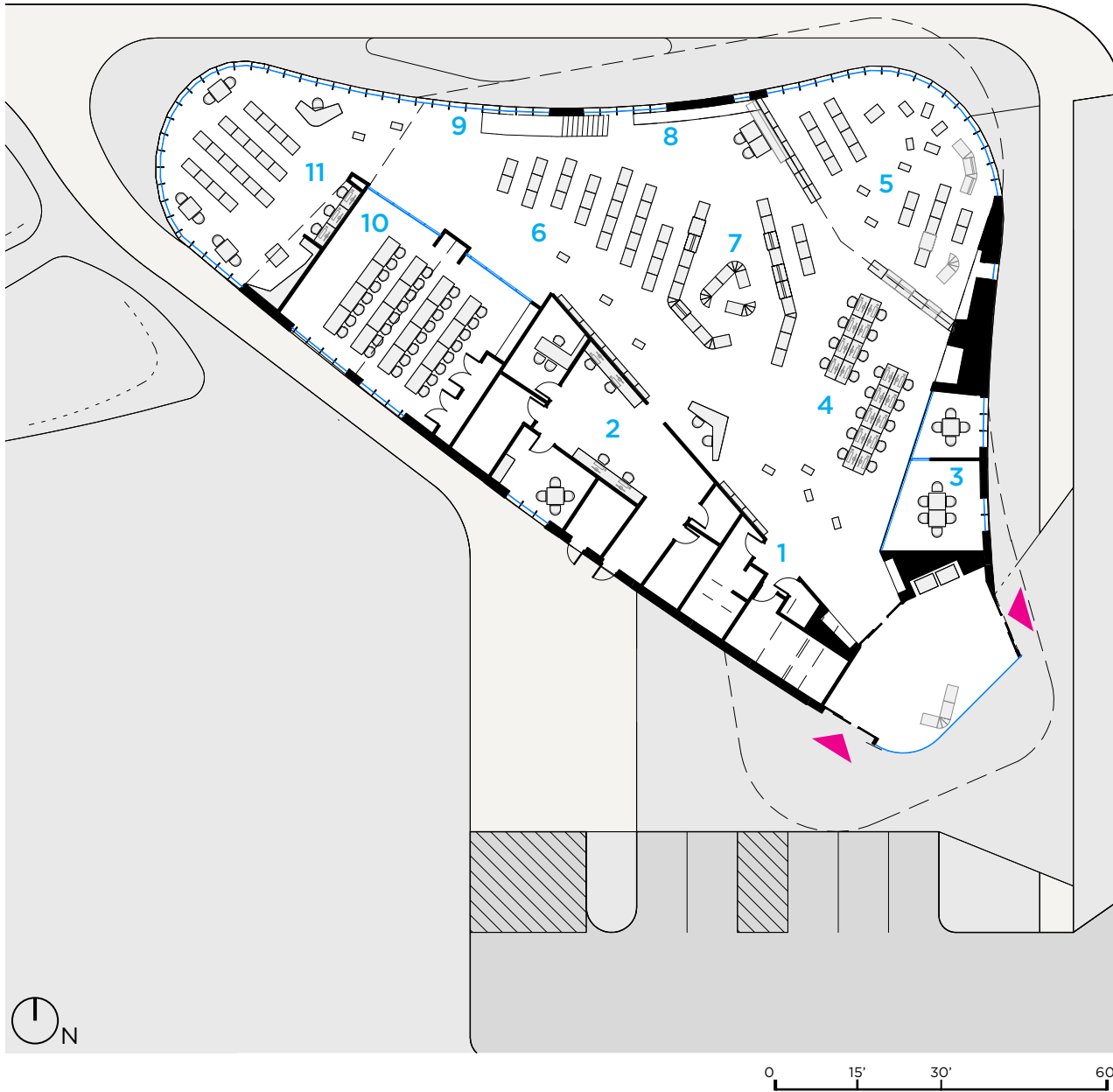
Taking cues from how Historic League Park once addressed the intersection of Lexington and 66th the library building holds the street edge with a form that tapers back to emphasize the corner.

Edges of the building are carved and softened in response to the pedestrian flow and the solid façade erodes to glass to provide views and further define entry and the prominent corner. Portions of the mass shift to create shelter at the entry and bus stop. The resulting establishes a dynamic, responsive relationship to the street edge.





SITE PLAN



- 1 After Hours Lobby
- 2 Staff Area
- 3 Small Meeting Rooms
- 4 Computers
- 5 Children's Area
- 6 Adult Collection
- 7 'Living Room'
- 8 Cafe/Teen
- 9 to Reading Loft (above)
- 10 Meeting Room
- 11 Sports Research Collection

FLOOR PLAN

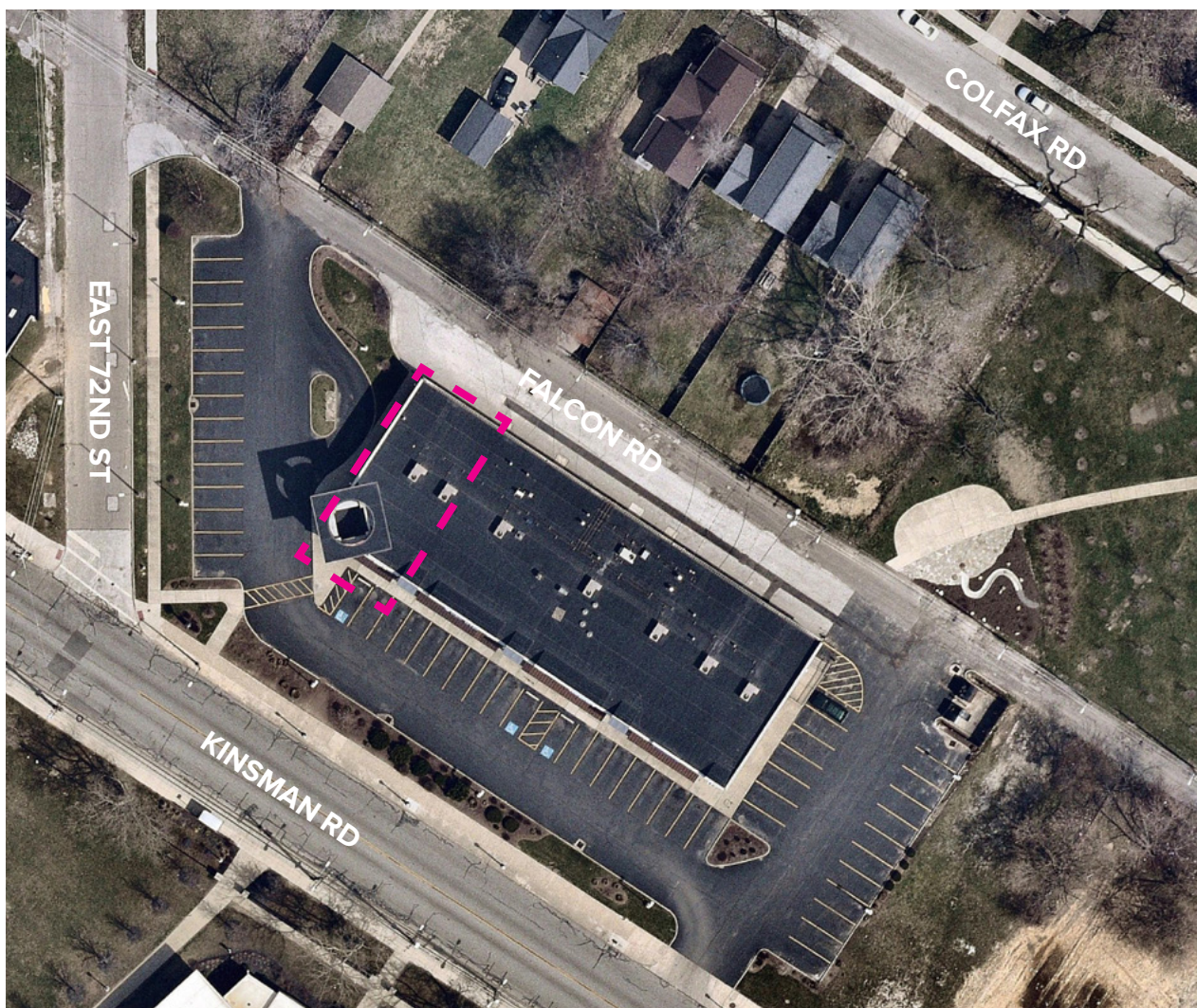


Garden Valley Branch

Garden Valley Neighborhood



Branch Information



BRANCH STATISTICS

- Location: 7201 Kinsman Rd
- Year Constructed: 2008
- Size: 3,517 sf
- Parking: Lot shared with neighboring retail stores

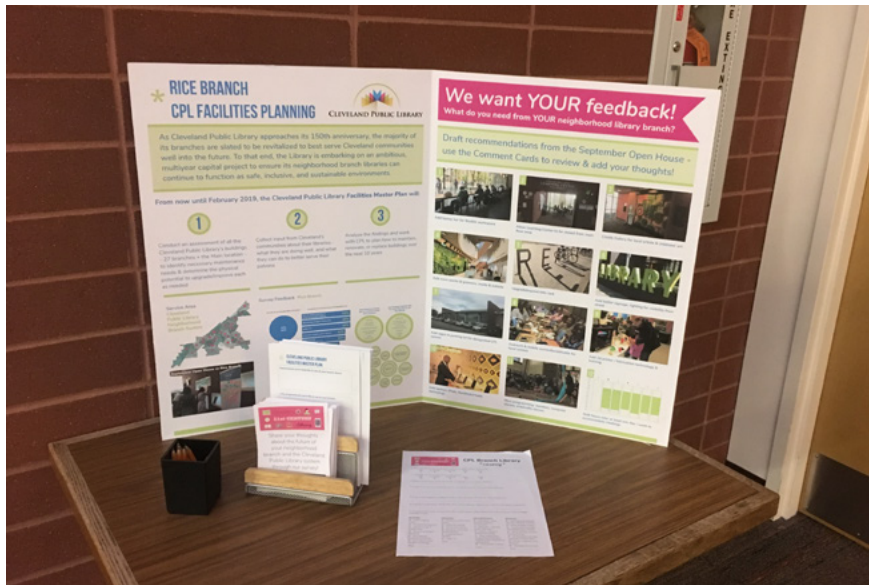
The Cleveland Public Library Garden Valley Branch opened in 2008 and is located at 7201 Kinsman Road on the city's east side between E 72nd and E 75th streets in the Bridgeport Place commercial center. It is located mid-block with access from the sidewalk, parking in the front, and a bus stop across Kinsman Road. The space is leased, 3,517sf, single story, with collections and reading areas, a meeting room, dedicated computer room, staff and mechanical spaces. The building is clad in block masonry and EIFS with a flat roof. Windows on the west side allow significant light into the space with views to the exterior.

Community Outreach

OUTREACH SUMMARY As the smallest branch in the system, Garden Valley is largely perceived as too small for its competing user groups. Quiet work space and seating is difficult to find, and adult patrons spoke of its interior design being obviously child-oriented. Many local adult patrons go elsewhere or drive to a County branch. In the short term, renovating the existing interior to increase

flexibility and set a more streamlined, modern tone may help. Long-term, the branch should be expanded or relocated to accommodate both child and adult patrons and their varied space needs.

Outreach for this branch was performed as part of the facilities master plan, see Process section for summary of the outreach process



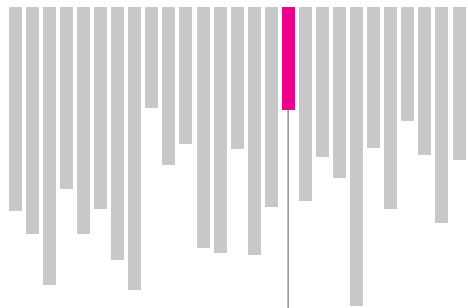
Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Refresh interior color & lighting
- Replace furnishings with more flexible seating/work options, including laptop bar at windows
- Replace some dedicated computer stations with flexible technology
- Consider opening wall to computer lab to provide more flexibility
- Work with BBC to explore long-term expansion / rebuilding opportunities - provide a “quiet room” for adult work/study
- Add more signage at exterior to communicate to Kinsman drivers
- Work with BBC to calm traffic on Kinsman
- Work with BBC to create exterior “reading garden”
- Hold adult and teen job training/job fairs

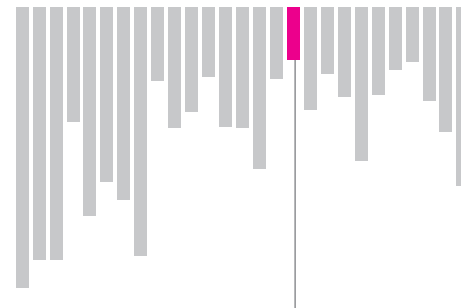
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



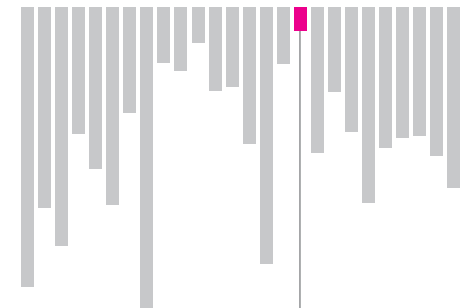
43,661 VISITS ↓
2ND LOWEST OF 27 BRANCHES

CIRCULATION



37,459 ITEMS ↓
1ST LOWEST OF 27 BRANCHES

SERVICE AREA POPULATION

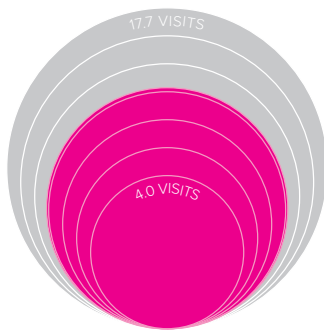


2,310 RESIDENTS ↓
1ST LOWEST OF 27 BRANCHES

2 OCCUPIED AREA ANALYSIS

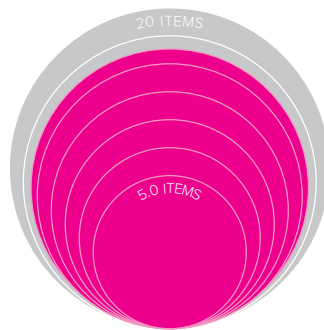
CURRENT OCCUPIED SQUARE FOOTAGE: 14,000 SF

ATTENDANCE

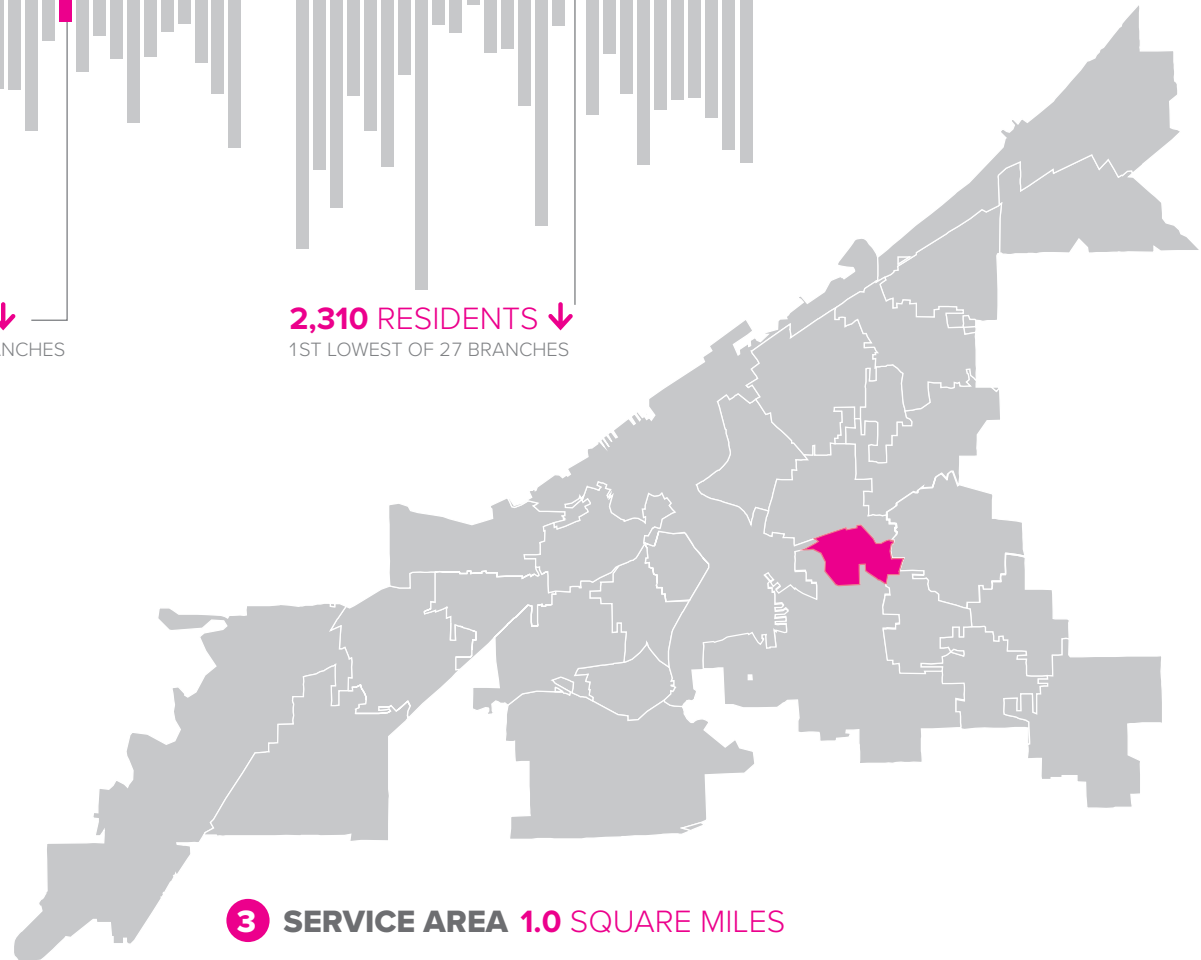


13.2 VISITS PER SF

CIRCULATION



11.4 ITEMS PER SF



3 SERVICE AREA 1.0 SQUARE MILES

KEY

DATA REPRESENTATION

System Wide
Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Garden Valley Branch is within a leased space of a commercial center. The branch is in good condition with minor accessibility and interior finish issues. Finishes and millwork are worn and should be replaced in the near future with the exception of the library shelving which is generally in good condition.

SITE The library is located on a flat site with a dedicated parking lot surrounding the north and west sides of the building. The parking lot is in good condition with an ADA stall next to the entrance that meets ADA standards.

MECHANICAL The Garden Valley Branch HVAC system consists of two rooftop units which could not be accessed. There are no boilers in the building.

PLUMBING The Garden Valley Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was replaced in 2006 and is in fair condition. It has reached the end of its service life and should be replaced. The domestic water piping system is old, in poor condition, and damaged due to a roof leak in some areas. All of the public hand washing sinks were equipped with ASSE 1070 mixing valve for tepid water. Water closets, the urinal, and lavatories are ADA compliant and may remain in service. The existing sewer and storm drainage system could not be accessed.



Building entry from Kinsman Avenue

ELECTRICAL The electrical systems in the Garden Valley branch are in good condition and should be maintained. The Garden Valley branch main distribution equipment and corresponding branch circuit panels have spare capacity for future loads. The library has multiple life safety concerns in regards to emergency egress lighting coverage. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Garden Valley library uses surface mounted wallpacks and 6" downlights for site lighting. The existing wall mounted exterior fixtures and downlights are in good condition and should be maintained. The Garden Valley branch has a mixture of automatic and manual lighting control. There are multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

**TOTAL COST OF DEFERRED
MAINTENANCE ITEMS: \$107,735**



Vibrant building interior

Current State

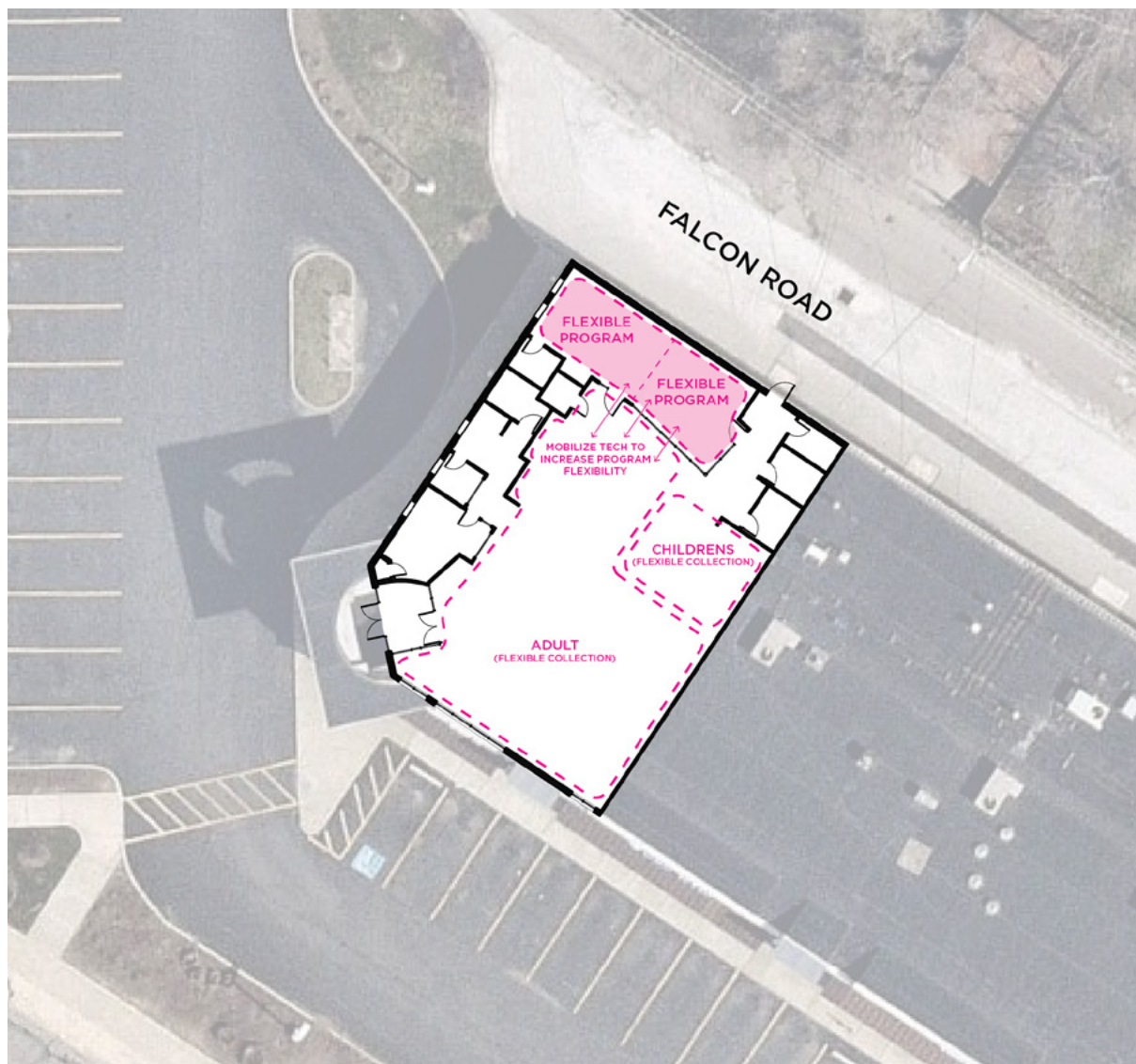


EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

- Defined tech area
- Vibrant interior
- Small footprint limits its scale of service
- Lowest attended and lowest circulated branch
- No defined teen area
- Storefront library makes expansion limited
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- Staff spaces are small and broken up
- Small footprint and current furniture create poor flexibility

Branch Recommendations



POTENTIAL FIRST FLOOR DIAGRAM

MINOR REFRESH

CURRENT STATE This branch is the smallest in the system and the only one currently in a leased space. The location is on a heavily traveled corridor but its service area has the lowest population of any in the system. The size of the branch limits the scale of service it can provide but as one of the lowest attended and lowest circulating branches in the system expansion may not be warranted. Expanding the branch would involve leasing an adjacent storefront.

FUTURE VISION It is recommended that this branch be maintained in the short term with a minor refresh to update it for the new service model. The library should consider updating the technology and collections to increase mobility and flexibility within the branch. After renovation of the Woodland facility and construction of a new Mt Pleasant branch it may be determined that this branch is no longer necessary, particularly if the Mt Pleasant branch moves further west along Kinsman. The viability of the branch should be re-evaluated at that time but in the short term it will serve to support those adjacent communities, in addition to its own, while their branches are out of service.

IMPLEMENTATION COSTS

MINOR REFRESH

Total Cost Of Implementation: **\$400,000**

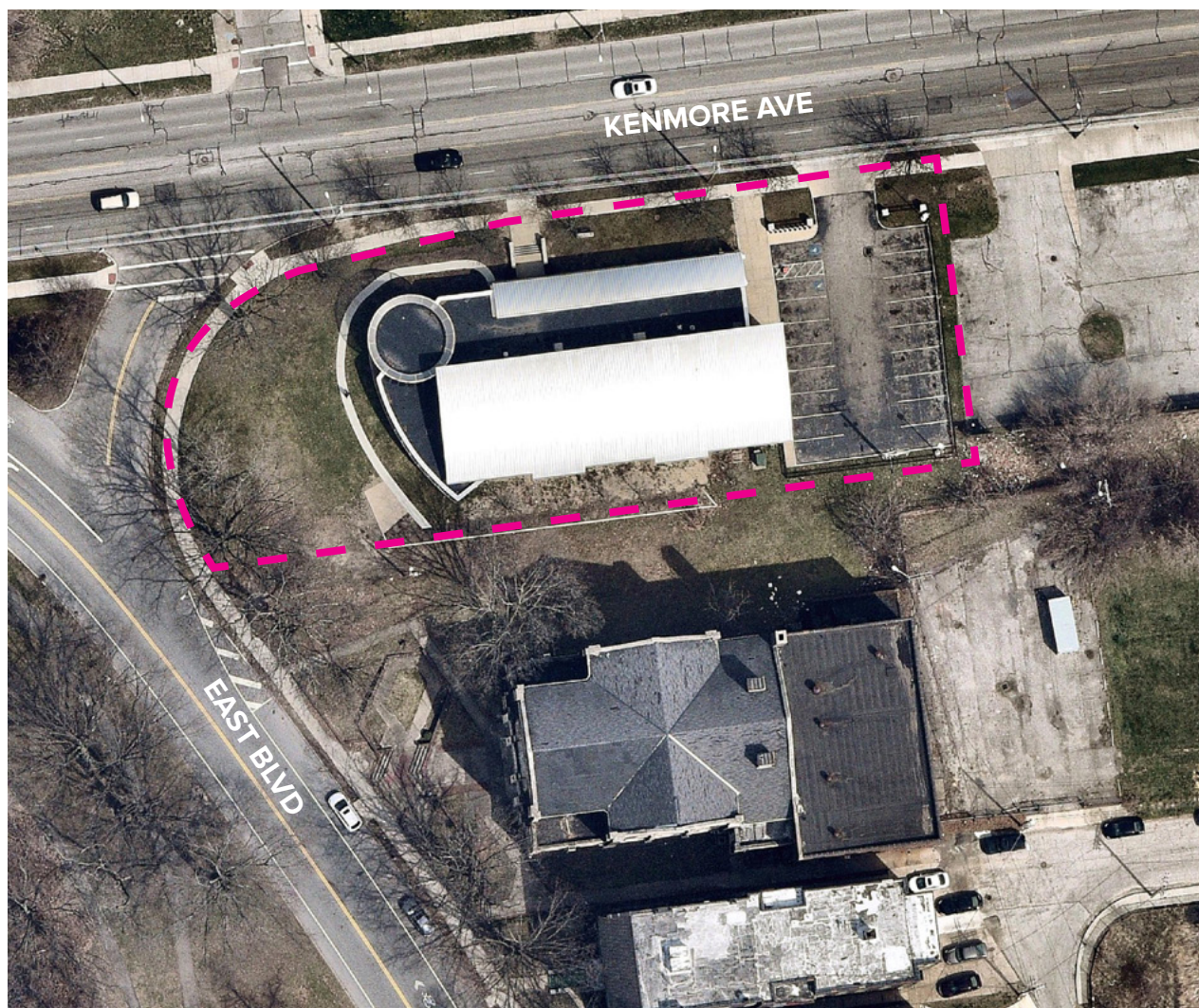
INCLUSIVE OF DEFERRED MAINTENANCE COSTS

Langston Hughes Branch

University Circle Neighborhood



Branch Information



BRANCH STATISTICS

Location: 10200 Superior Ave

Year Constructed: 1998

Size: 8,400 sf

Parking: 18 spaces

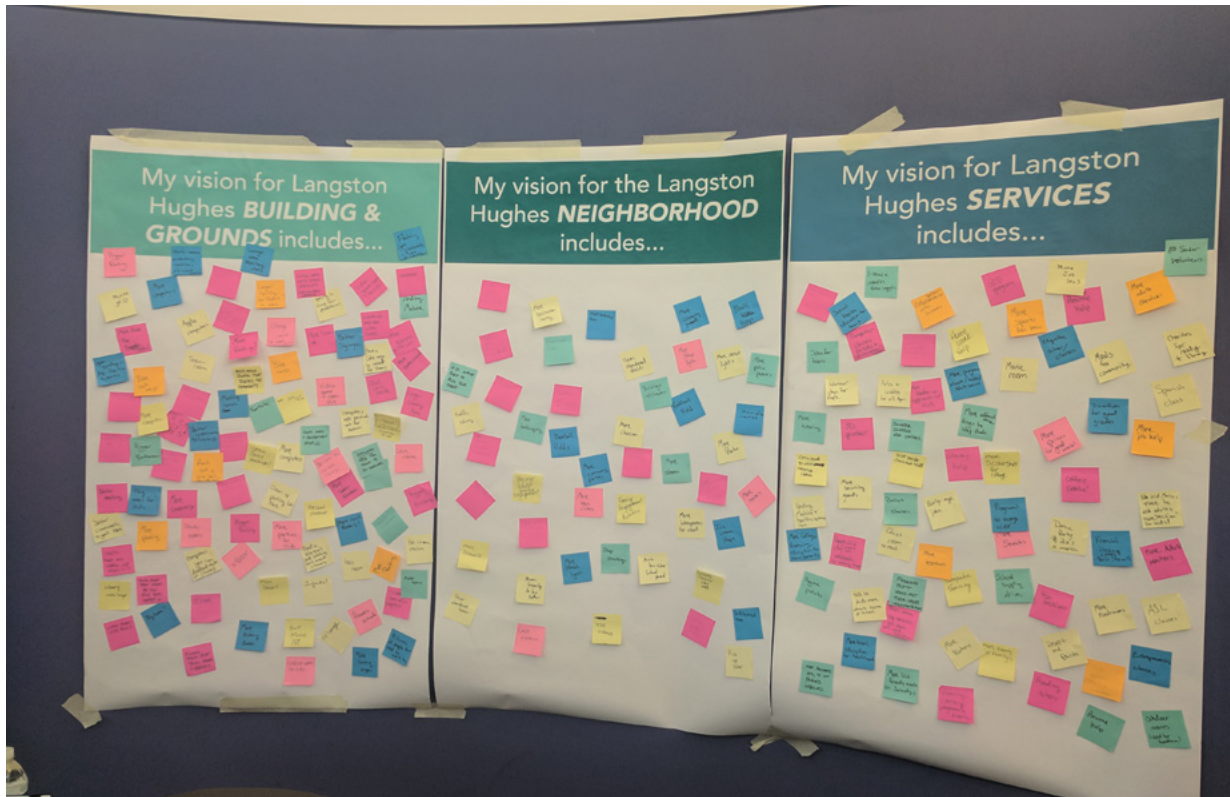
The Cleveland Public Library Langston Hughes Branch was built in 1998 and is located at 10200 Superior Avenue on the city's east side. It is located at the corner of East Boulevard and Superior Avenue with the main entry off Superior accessed from the sidewalk. Parking is located east of the branch with entry on Superior. The library site includes the building and a small landscaped area south of the building. The single-story building is 8,400sf with a meeting room, collections, reading areas, a computer area, and a children's reading area. The building is clad in red brick with a curved roof on the majority of the building and a flat roof over the meeting room and the central bay of the circulation space.

Community Outreach

OUTREACH SUMMARY Langston Hughes is a relatively new branch in a good location, but lacks flexible meeting/work spaces. The main reading room is well-liked, especially the tall ceilings and natural light; however, the meeting room is small and difficult to use for a variety of community meeting needs. Famicos Foundation is looking to redevelop the adjacent St Mark's Church; an addition with more flexible meeting space (and

parking) could be of use to both facilities, perhaps creating a larger community campus. Parking is an issue of primary concern to patrons and needs to be addressed before any new space/programs are added.

Outreach for this branch was performed as part of the facilities master plan, see Process section for summary of the outreach process



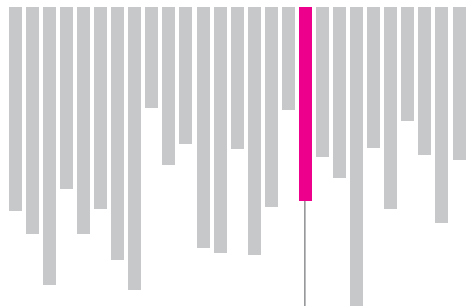
Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Add more overhead & task lighting in main reading room
- Add more color & art to interior finishes
- Create displays in collaboration with local arts institutions; feature Langston Hughes' life in the neighborhood more prominently
- Add more flexible community meeting/work spaces
- Explore a shared parking agreement with adjacent property owner
- Explore a pull-off lane in front of building for pick-up/drop-off
- Work with Famicos for St Marks Church campus redevelopment
- Collaborate with local schools for outreach & shared programming

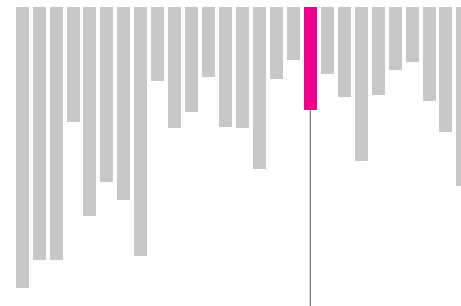
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



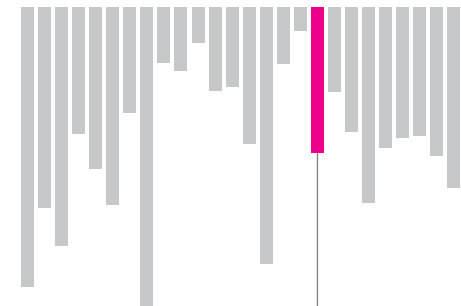
82,558 VISITS

CIRCULATION



73,011 ITEMS

SERVICE AREA POPULATION

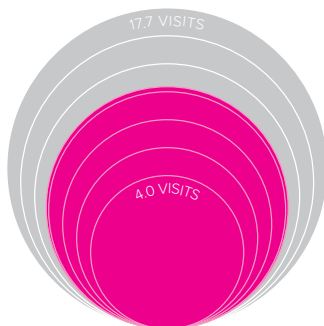


14,439 RESIDENTS

2 OCCUPIED AREA ANALYSIS

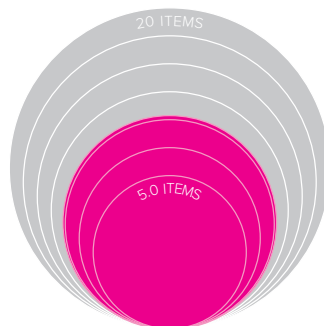
CURRENT OCCUPIED SQUARE FOOTAGE: 14,000 SF

ATTENDANCE

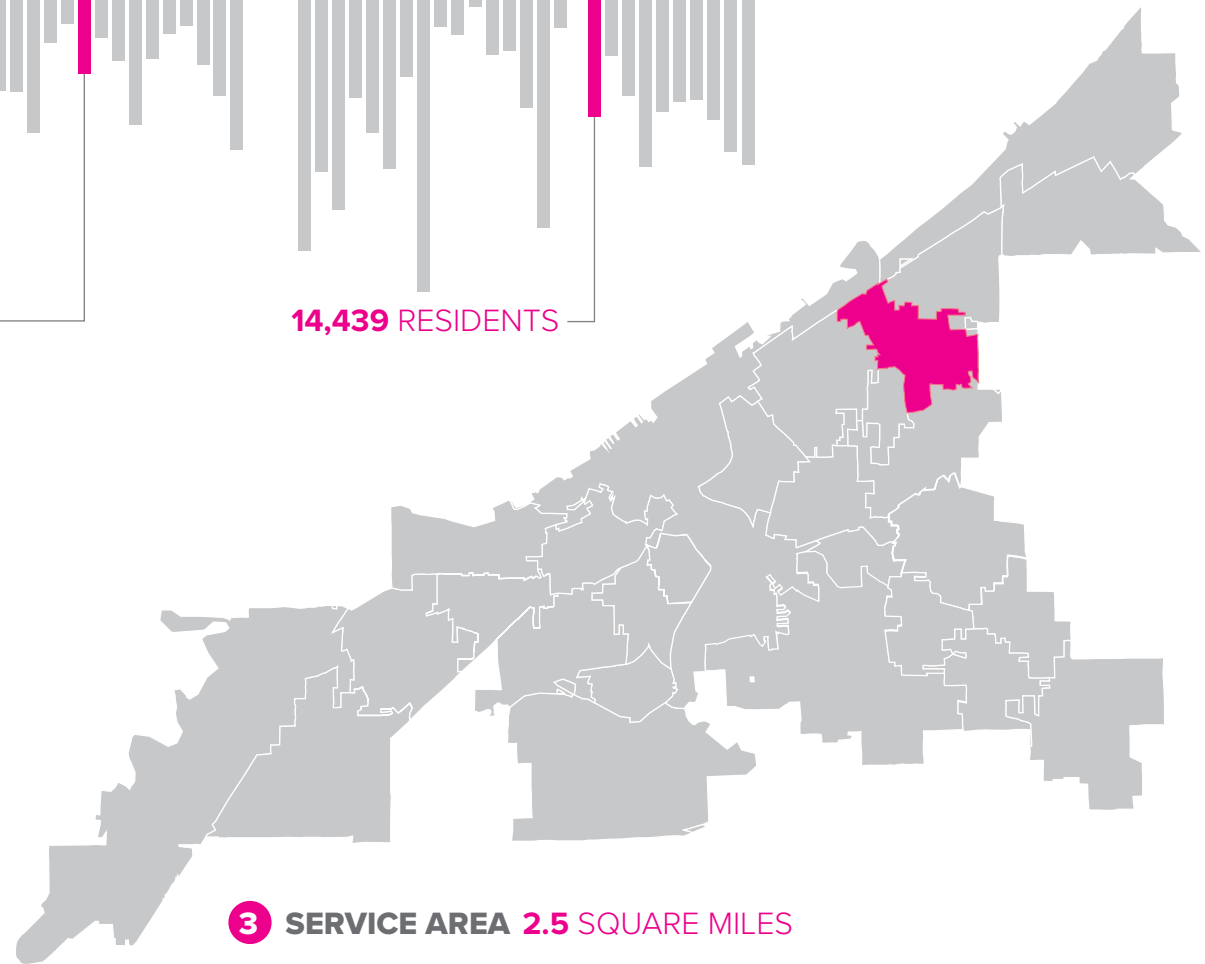


10.1 VISITS PER SF

CIRCULATION



8.9 ITEMS PER SF



3 SERVICE AREA 2.5 SQUARE MILES

KEY

DATA REPRESENTATION

- System Wide
- Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Langston Hughes branch is generally in good condition on the interior and the single-story layout eliminates many of the accessibility issues from other branches. The branch has recently been updated for accessibility in public areas. There are still some minor issues with the envelope, primarily at the main entry storefront units and at the sealant used around the aluminum windows throughout the building. Finishes and millwork are worn and should be considered for replacement as part of any significant renovation.

SITE The branch does not have on grade access from the sidewalk bordering Superior Avenue with steps used to access the building from the sidewalk. Accessibility from the sidewalk was partially addressed during some recent work with the addition of an accessible ramp from the sidewalk to the covered walkway. The library has on grade access from the parking lot with no steps or ramping required to access the building from the parking lot. Accessibility from the parking lot was addressed with some recent work and a small garden space was installed on the south lawn. A small outdoor reading space was installed on the side of the building facing East Boulevard.

MECHANICAL The Langston Hughes Branch has a geothermal heating and cooling system that consists of 4 water source heat pumps that are fed from a loop underneath the parking lot. Some of the insulation on the system's piping should be replaced, and a number of exhaust fans should also be replaced. The building's temperature is currently controlled by automated electric thermostats with DDC controls. It may remain in service.

PLUMBING The Langston Hughes Branch plumbing system consists of one gas-fired domestic water heater, manually operated faucets, automatic flush valve water closets, and an automatic flush valve urinal. The domestic water heater was installed in 2017 and is in fair condition; it may remain in service at this time. Plumbing fixtures were in proper working order and in compliance with ADA standards. All of the public hand washing sinks were equipped with ASSE 1070 mixing valve for tepid water. The storm and sanitary sewer systems are in fair working condition, but the strainers for the roof drains are in poor condition and should be replaced.



Outdoor Mosaic - 1998

ELECTRICAL The electrical systems in the Langston Hughes branch are in good condition and should be maintained. The Langston Hughes distribution system has limited spare capacity in the existing branch panels, and any new/additional work will result in a new branch circuit panel. The library's existing fire alarm system and emergency egress lighting provide the appropriate coverage and should be maintained. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Langston Hughes library uses pole mounted fixtures and surface mounted wallpacks for site lighting. The existing surface mounted wallpacks are in poor condition and have reached the end of their life cycles. The Langston Hughes branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

**TOTAL COST OF DEFERRED
MAINTENANCE ITEMS: \$262,600**

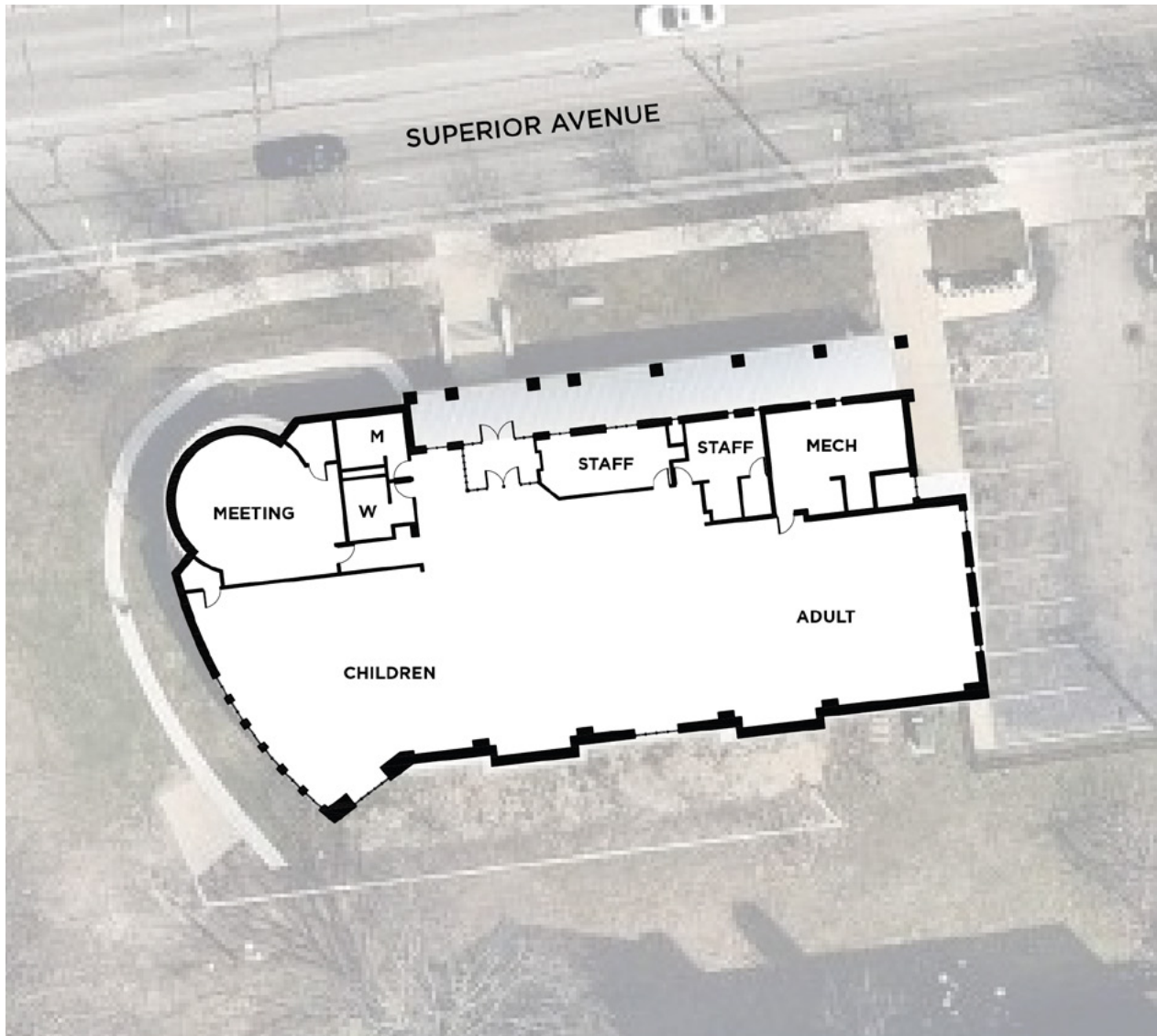


Building Interior - 1998



Front Entry

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

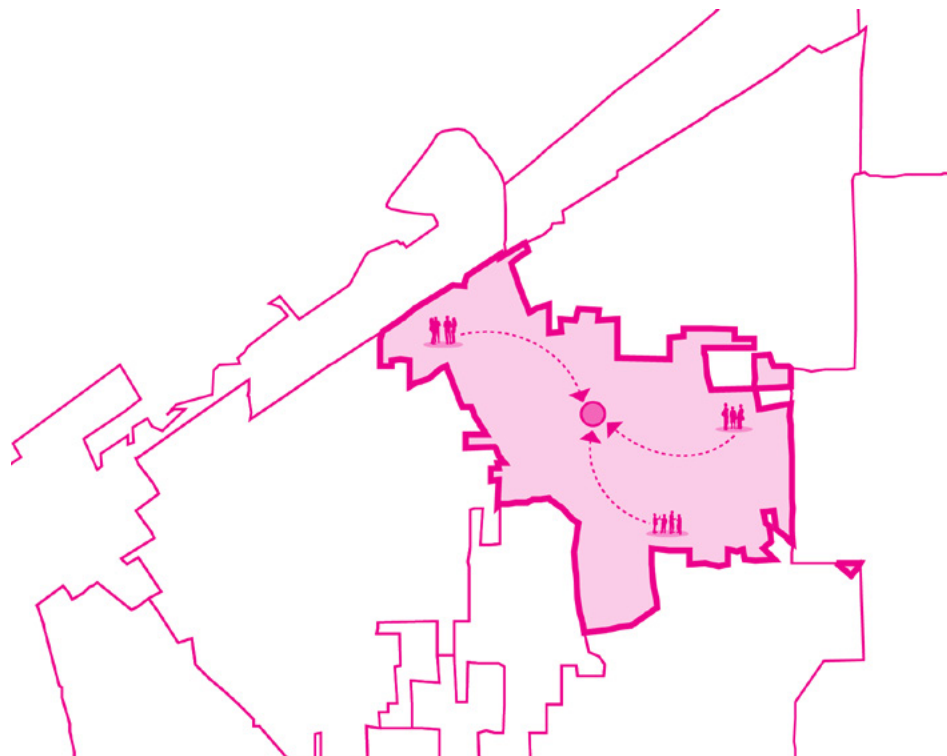
- The building is set back from the two major roads that surround it
- Simple, open layout lends itself to flexibility
- No defined teen area
- One of the newest branches in the system
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- No small quiet study spaces
- Ample room for expansion on site
- On-site parking is limited

Branch Recommendations

RENOVATION WITH POSSIBLE ADDITION

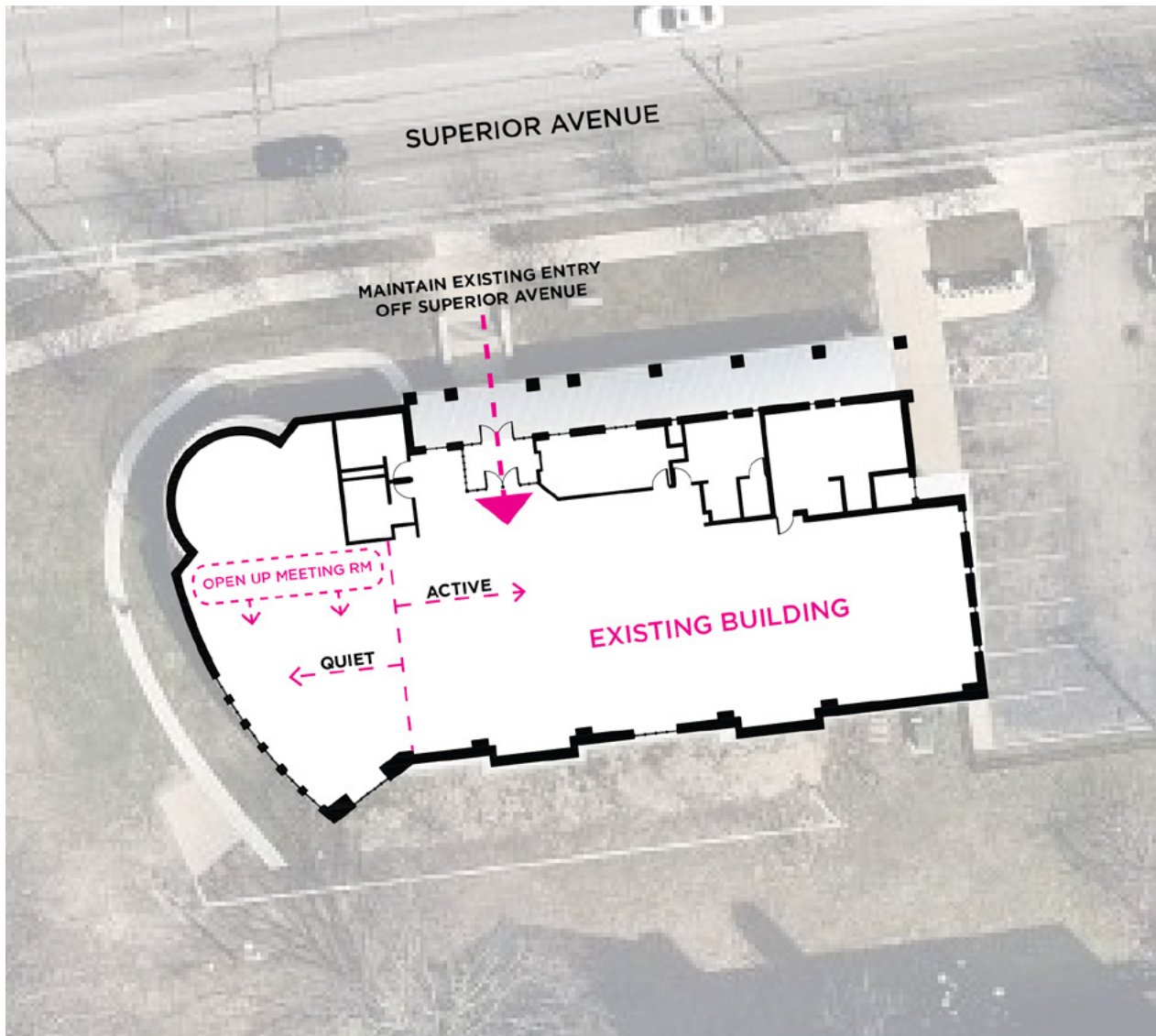
CURRENT STATE Langston Hughes is one of the newest branches in the system and, though still 20 years old, it's in better condition than many older branches. The corner site on a major road offers visibility though the building itself is set back far from the corner with frontage on Superior. The simple open layout of the collections space lends itself to flexibility and reorganization but the meeting room is poorly laid out for its function and there are few other opportunities for quiet collaboration spaces.

FUTURE VISION It's recommended that this branch be renovated with consideration given to building a new addition on the west end of the building. The addition, though not critical to meeting the library's service model goals, would provide the flexibility to create a new, expanded meeting space. The current footprint of the meeting room could be re-purposed as a quiet reading area. Its location would also bring more prominence to the building at the corner of Superior Avenue and East Boulevard. Due to the proximity to other locations significant expansion is not necessary and, with some updates, this branch would serve the system well remaining a Neighborhood Branch.



Neighborhood Branch Diagram

Future Vision

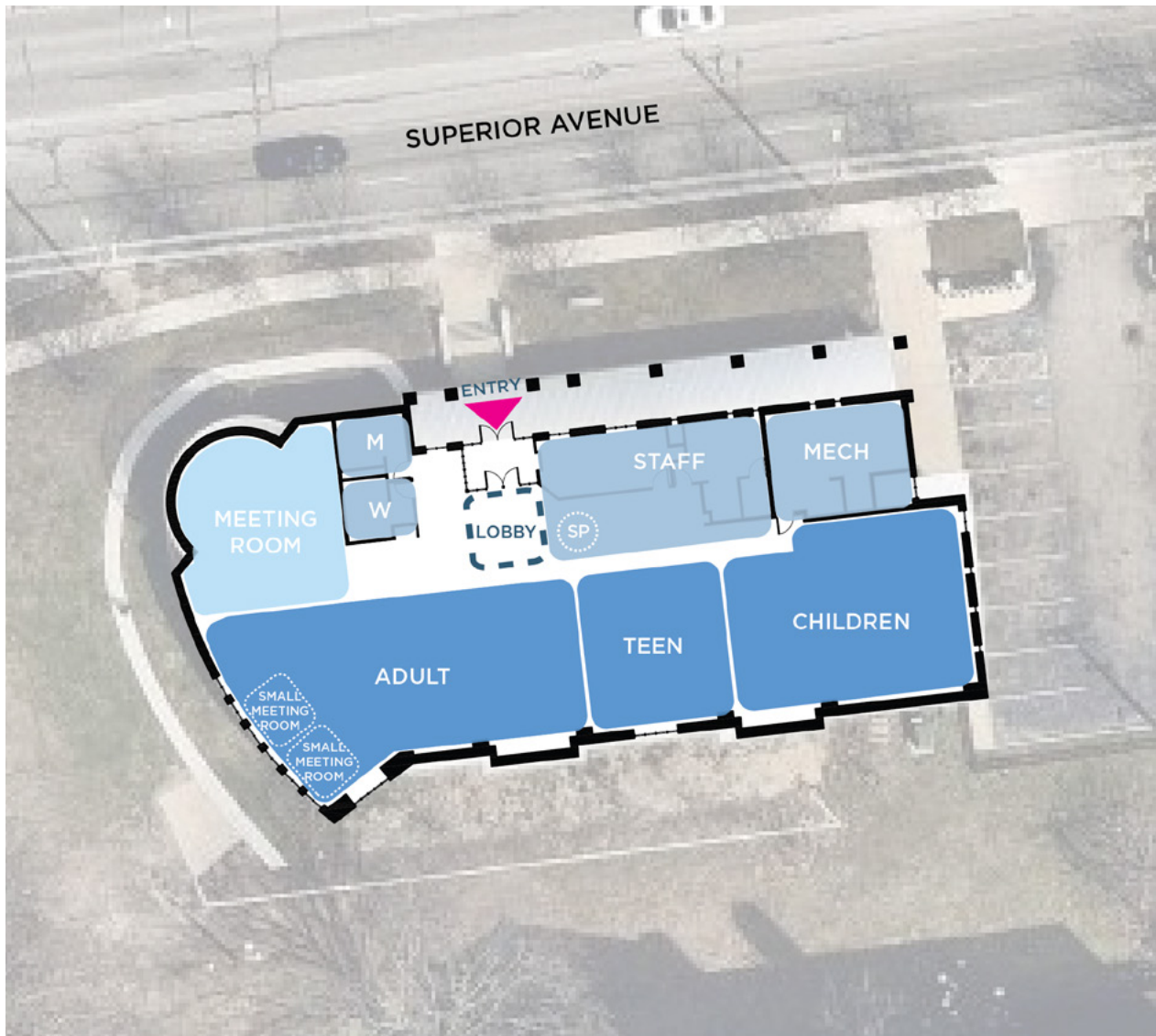


POTENTIAL FIRST FLOOR PLAN DIAGRAM

RECOMMENDATIONS

- Consider creating a small addition for a new meeting room that would improve the visual connection from East Blvd
- Maintain existing entrance
- Create a defined teen space
- Improve connection between the library and the local Cultural Gardens
- Open up meeting room up to provide increased flexibility
- Improve wayfinding
- Create new 'Community Living Room'
- Add small quiet study space near the adult collections
- Improve children's collection with larger interactives area
- Consider an after-hours lobby or book lockers for extended service
- Explore purchasing land to the east to expand parking lot
- Utilize spatial configuration to break up active and quiet spaces
- Consider creating a small addition for a new meeting room that would improve the visual connection from East Blvd

Future Vision



POTENTIAL FIRST FLOOR PLAN PROGRAM

IMPLEMENTATION COSTS

RENOVATION WITH POSSIBLE ADDITION

Total Cost Of Implementation: **\$1,000,000**

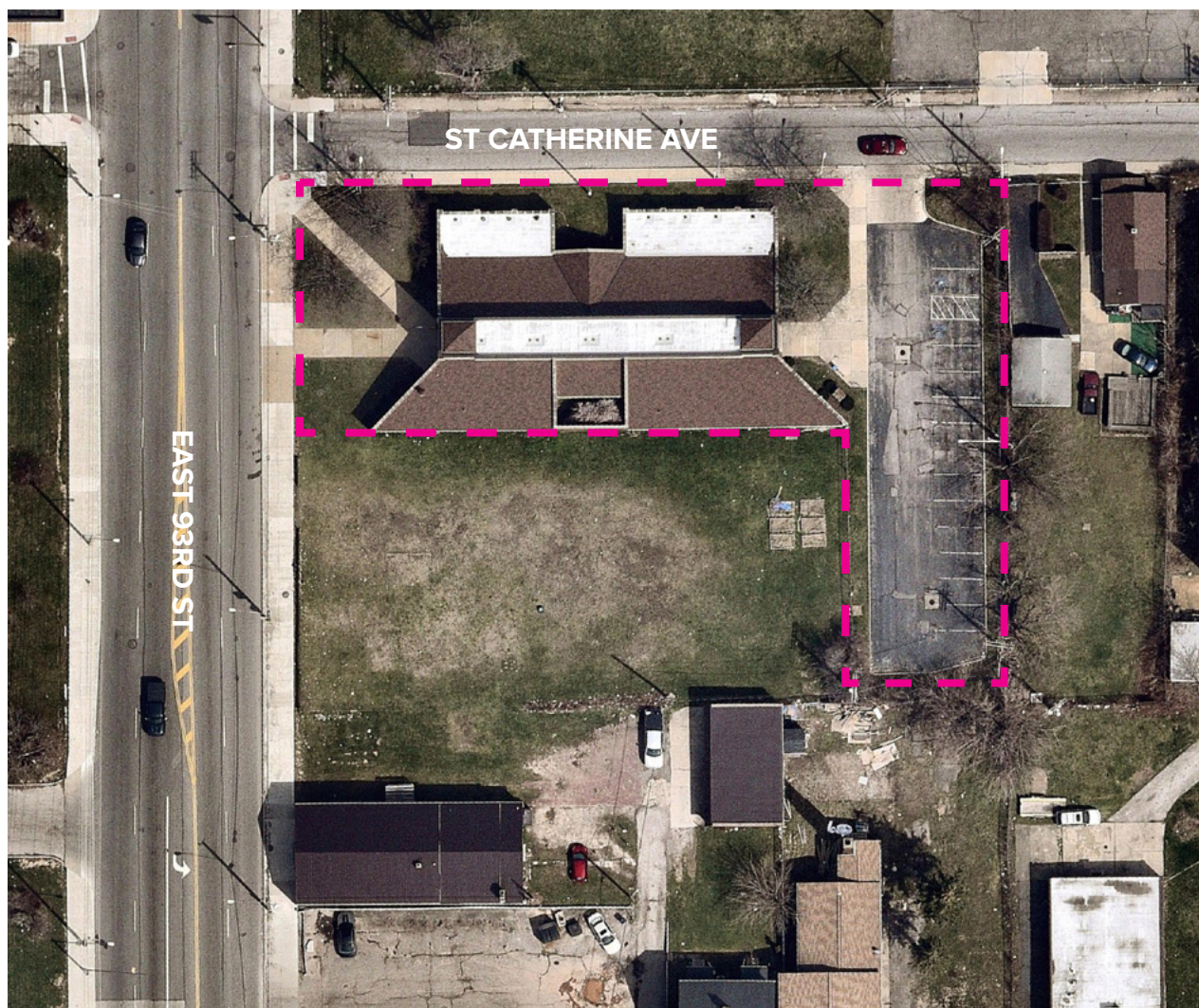
INCLUSIVE OF DEFERRED MAINTENANCE COSTS

Union Branch

Union-Miles Park Neighborhood



Branch Information



BRANCH STATISTICS

Location: 3463 East 93rd St.

Year Constructed: 1982

Size: 9,100 sf

Parking: 15 spaces

The Cleveland Public Library Union Branch was built in 1982 and is located at 3463 East 93rd Street on the city's east side. It is at the corner of St. Catherine and East 93rd with the entry off the main street accessed from the sidewalk, parking is located in the rear off of St. Catherine with a second main entry door. The library site extends to the south with a large lawn. The building is 9,100sf on a single story with a meeting room, collections, reading areas, and children's reading area. The building is clad in red brick with a sloped asphalt shingle roof on the majority of the building. A high clerestory runs along the main circulation space with a flat roof and peaked towers at the two entries.

Community Outreach

OUTREACH SUMMARY The interior space of the Union Branch is generally functioning fairly well for its patrons, although the large open interior lacks a dedicated teen area. However, the exterior is bland, dated, and set back from the street, making visibility difficult. A front plaza area, integrating seating, lighting, signage, and landscaping, was well-received and would help invite the community inside. Public art was especially desired here, particularly on the exterior. Parking is a concern

here as well; the small back lot could potentially be expanded into the adjacent green space in conjunction with the neighboring church.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)



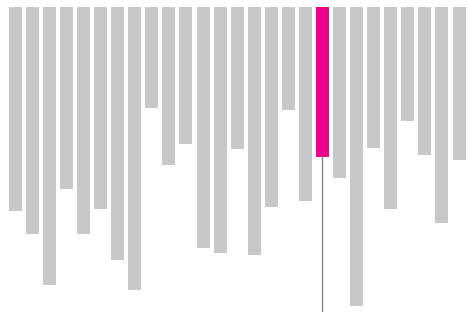
Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Add more comfortable seating and workspace options
- Find opportunity for acoustically-separate “teen room” which can double as quiet work space during daytime hours
- Update interior with color, lighting, modern furnishings
- Update exterior with more modern roofline
- Improve front entry with signage, lighting, landscaping
- Find opportunities for additional parking
- Explore ways for kids to safely get to library from schools
- Expand programming, specifically targeting technology training, jobs training, and job fairs for youth & adults
- Increase community-oriented events at branch, especially through “open houses” and picnics, to build social bonds

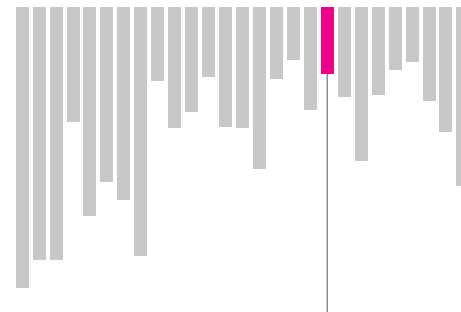
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



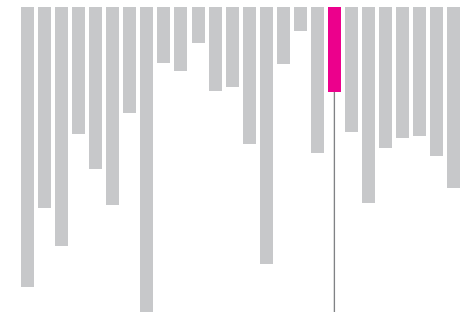
63,664 VISITS

CIRCULATION



47,723 ITEMS

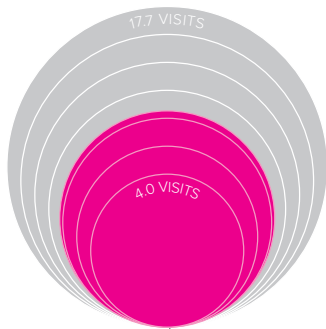
SERVICE AREA POPULATION



8,416 RESIDENTS

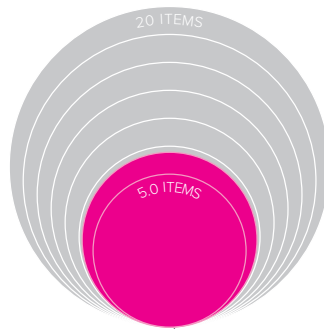
2 OCCUPIED AREA ANALYSIS

ATTENDANCE

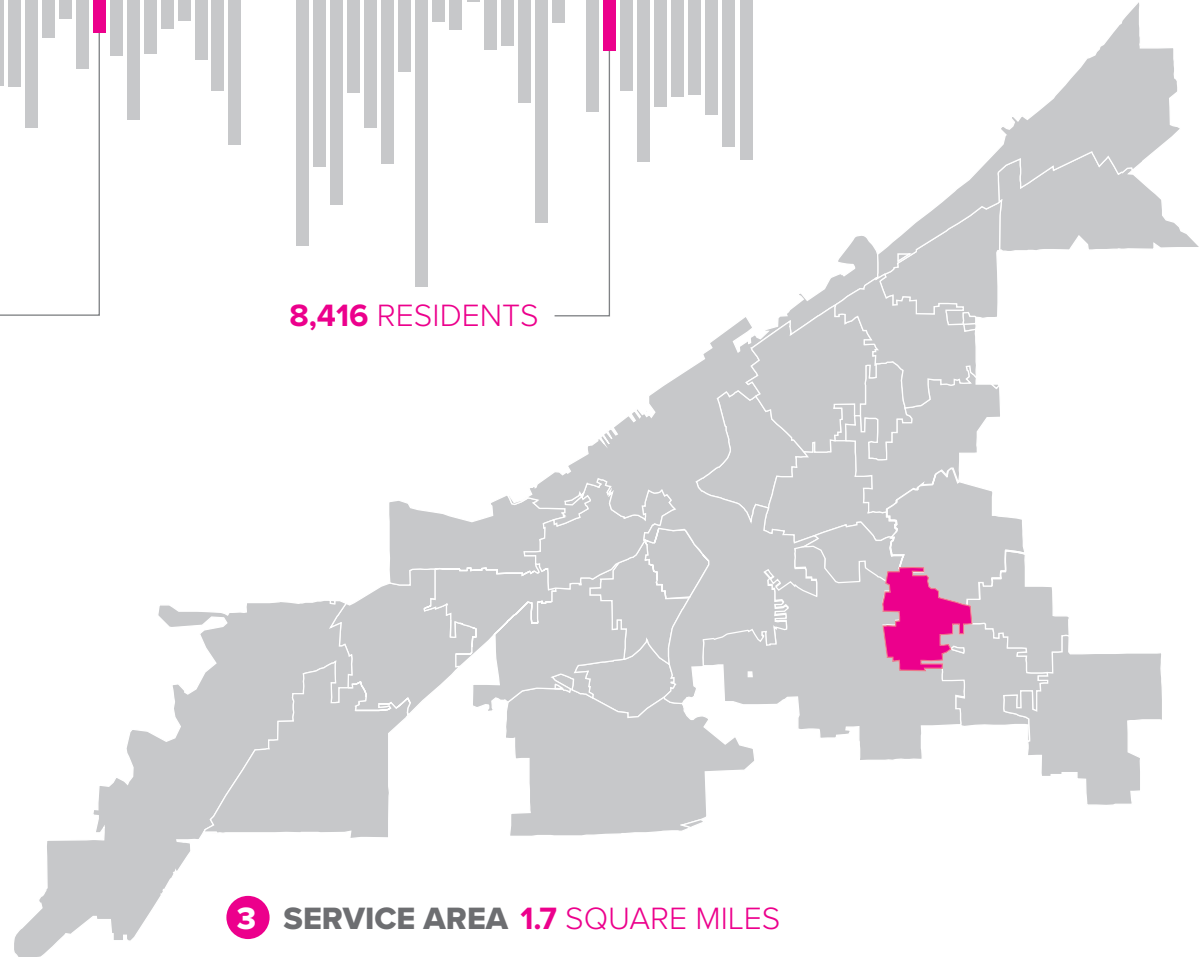


8 VISITS PER SF

CIRCULATION



6 ITEMS PER SF



3 SERVICE AREA 1.7 SQUARE MILES

KEY DATA REPRESENTATION

- System Wide
- Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Union branch is generally in good condition on the interior and the single-story layout eliminates many of the accessibility issues from other branches. There are some significant issues with the envelope, primarily at glazing, that require attention. Finishes and millwork are worn and should be considered for replacement as part of any significant renovation.

SITE The library has on grade access with no steps or ramping required to access the building from the lot or the street, though the concrete needs some repair. The adjacent site is a large open lot that could provide opportunity for future expansion.

MECHANICAL The Union Branch HVAC system consists of a self-contained AC unit, a split-system air handler, and two 80% efficient boilers. The self-contained unit is old, inefficient, past the end of its service life, and should be replaced. The split system air handling unit is in poor condition and should be replaced. The ductwork is in poor condition and is not serving the building well; it should be replaced. The exhaust fans are old and should also be replaced. When the air conditioning systems are replaced, consideration should be made to go to a Variable Air Volume system with a

Building Automation System for increased system efficiency. The two boilers were installed in 1996, are in fair condition and are at the end of their service life. They should be replaced. The four heating pumps are also near the end of their service life and should be replaced.

PLUMBING The Union Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was replaced in 2018 and is in good condition. It may remain in service. Plumbing fixtures are in proper working order. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. Water closets, the urinal, and lavatories are not ADA compliant; they should be reconfigured or replaced. The existing sewer and storm drainage system appears to be in working condition without issue.



Union under construction - 1982

ELECTRICAL The electrical systems in the Union branch are in fair condition and should be maintained. The Union branch main distribution equipment has spare capacity for future loads, but the existing branch circuit panels have limited spare capacity. As a result, any new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to the existing fire alarm system and emergency egress lighting. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Union library uses surface mounted wall packs and flood

lighting fixtures for site lighting. The existing wall mounted exterior fixtures are in fair condition and should be maintained. The existing flood light fixture is in good condition, but additional fixtures should be added to appropriately illuminate the parking lot per IES recommendations. The Union branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$772,875

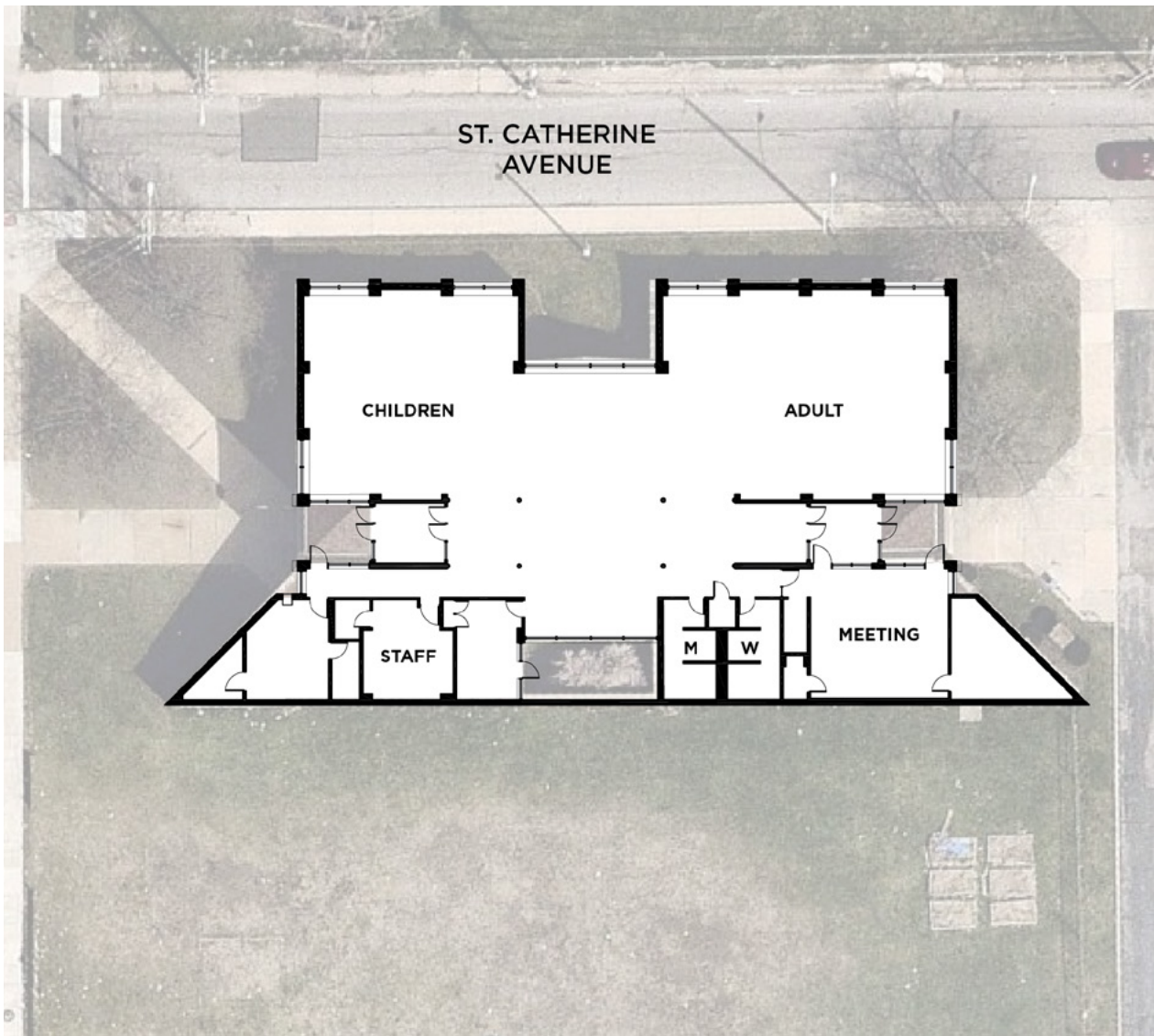


Building Interior



Building Exterior

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

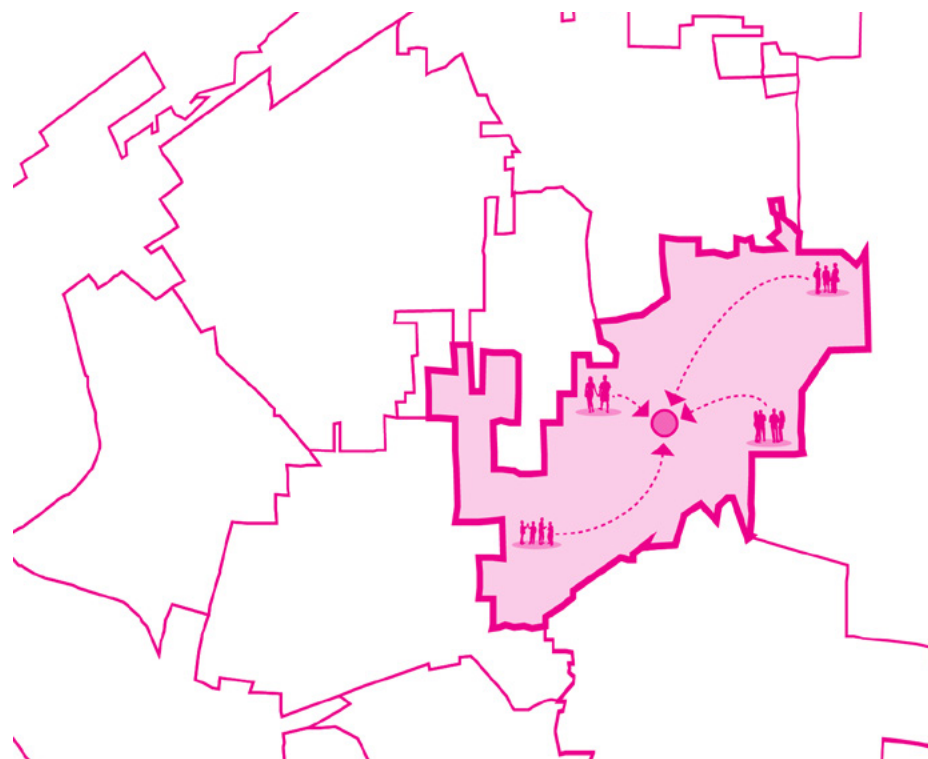
- The building lacks transparency
- Limited street presence at approach from south side
- No defined teen area
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- No small quiet study spaces
- Both entries are deeply set back into the building
- Ample on-site parking for patrons
- Existing garden is closed off
- Below average attendance and circulation rates
- Branch's existing lot leaves limited space for expansion
- Parking lot is undersized

Branch Recommendations

RENOVATION

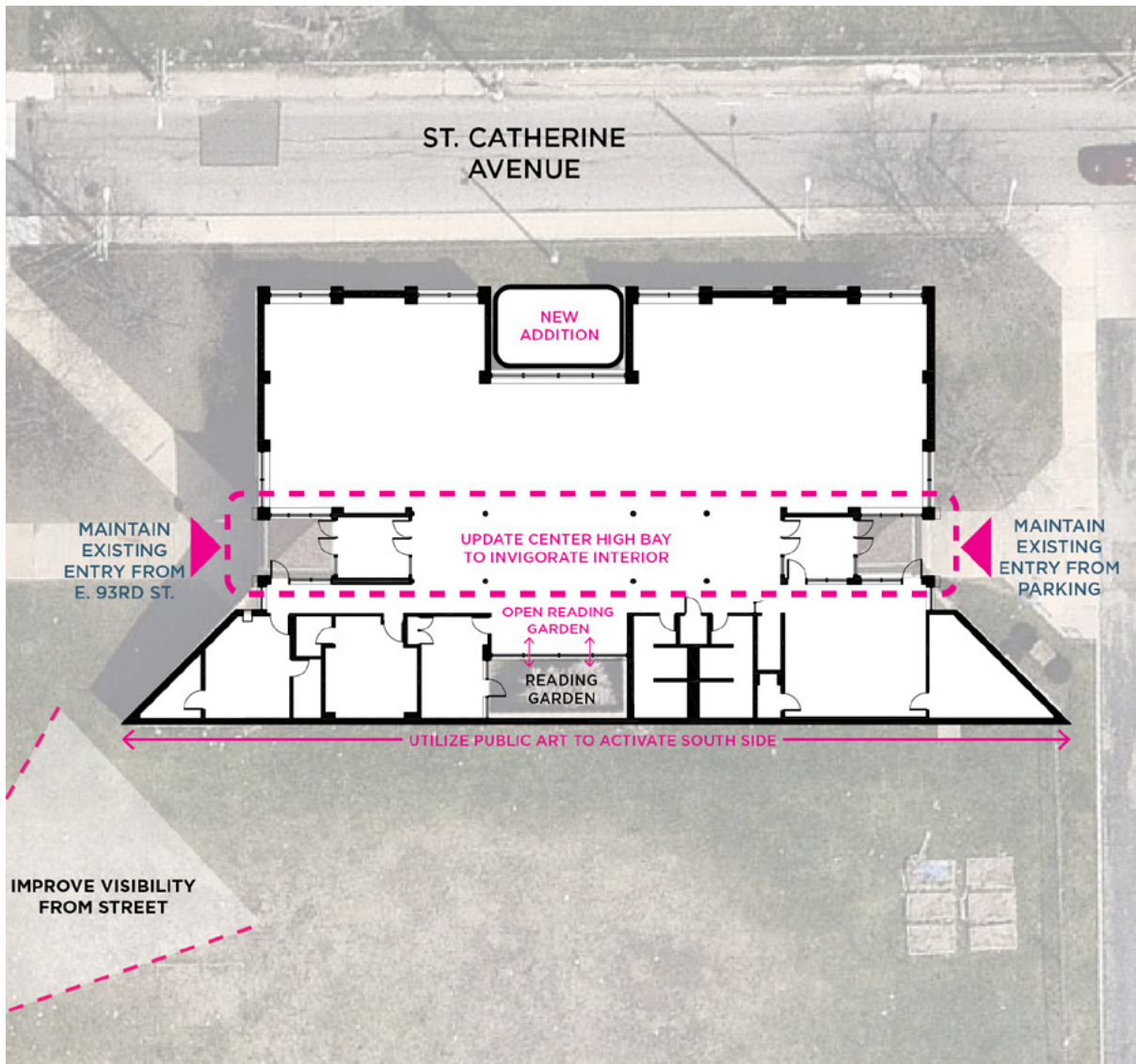
CURRENT STATE While the exterior of the Union branch appears dated and in need of some significant envelope repairs the open interior lends itself well to a flexible reorganization. The branch has below average attendance and circulation rates but its location serves a high need community in which the library is an important safe space. The library's lot leaves limited space for expansion of the building or the under-sized parking lot but an empty lot could serve as an opportunity to collaborate with the church to maximize its use.

FUTURE VISION It is recommended that this branch receive a full interior renovation with consideration given to reclaiming the small light court on the north end of the building to add more functional square footage. Modifying the exterior of the center high bay and entries would allow the library to modernize its appearance and improve visibility from the street but is not critical to the continued function of the building. The limited parking on site is an issue that may be resolved through acquiring a portion of the lot to the south which could also provide opportunity for shared services with the church or an expansion of the existing community garden. With some updates, this building would serve the system well remaining a Neighborhood Branch.



Neighborhood Branch Diagram

Future Vision

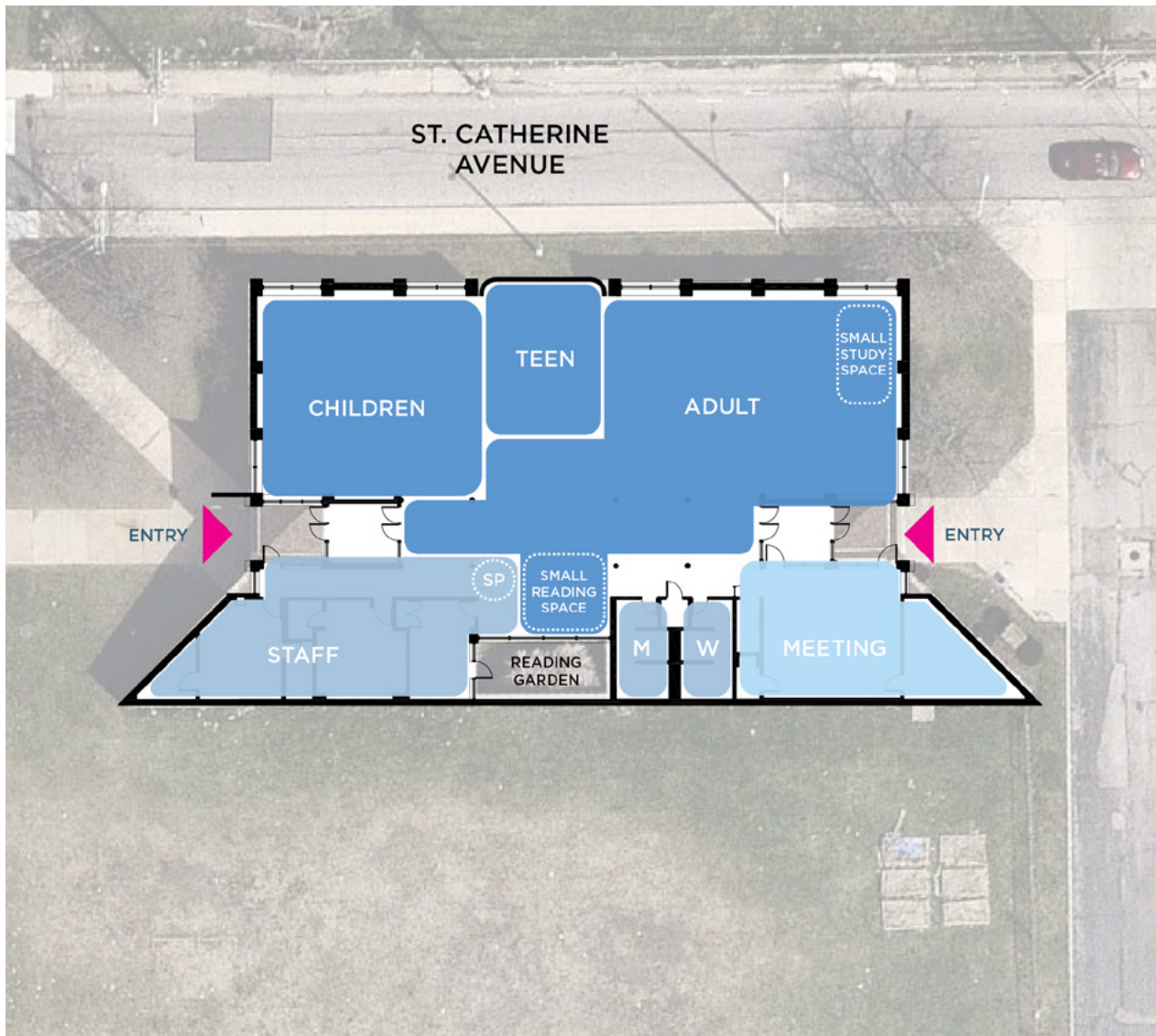


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Update center high bay to invigorate building interior
- Renovate branch to make more efficient use of the space
- Create a small addition on the north side that would open up the collection spaces
- Create a defined teen space
- Utilize public art to activate the south side of the building
- Improve wayfinding
- Improve views into and out of the building
- Add small quiet study space near the adult collections
- Improve children's collection with small interactives area
- Open interior garden up with new reading space
- Explore opportunities to expand parking through shared services with the church

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

RENOVATION

Total Cost Of Implementation: **\$1,900,000**

INCLUSIVE OF DEFERRED MAINTENANCE COSTS

Martin Luther King Jr. Branch

Hough-University Circle Neighborhood



Branch Information



BRANCH STATISTICS

Location: 10510 Euclid Ave

Year Constructed: 1970

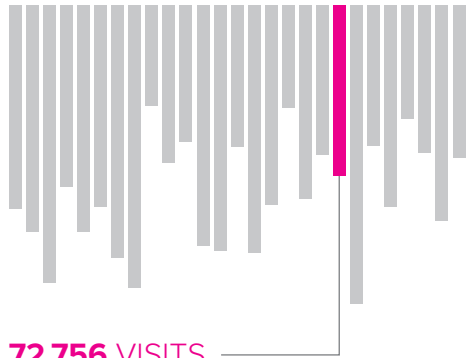
Size: 18,200

Parking: 68 spaces

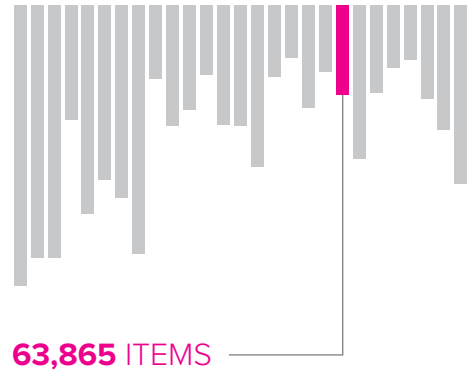
The Cleveland Public Library Martin Luther King Jr. Branch was built in 1903 and is located at 10510 Euclid Ave on the city's east side. It is located at the intersection of Stokes Boulevard and Reserve Court with the main entry off Stokes accessed from the sidewalk. Parking is located west of the branch with entry off of Stokes Boulevard and Reserve Court. A second building entry is located off the parking lot. The library site includes the building and a small landscaped area to the west of the building. The single-story building is 18,200 sf with a meeting room, collections, reading areas, a gallery, a computer area, and a teen tech room. The building is clad in brown brick with a flat roof on the majority of the building.

1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

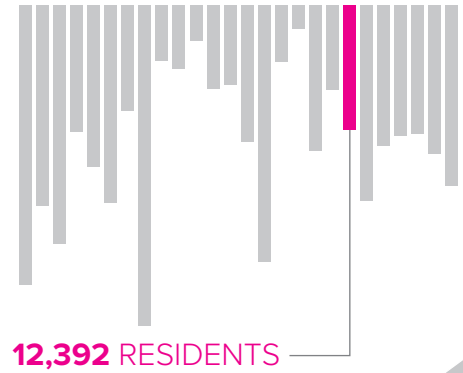
ATTENDANCE



CIRCULATION



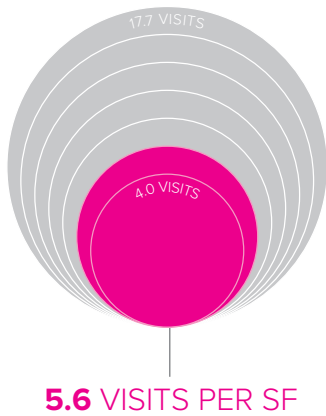
SERVICE AREA POPULATION



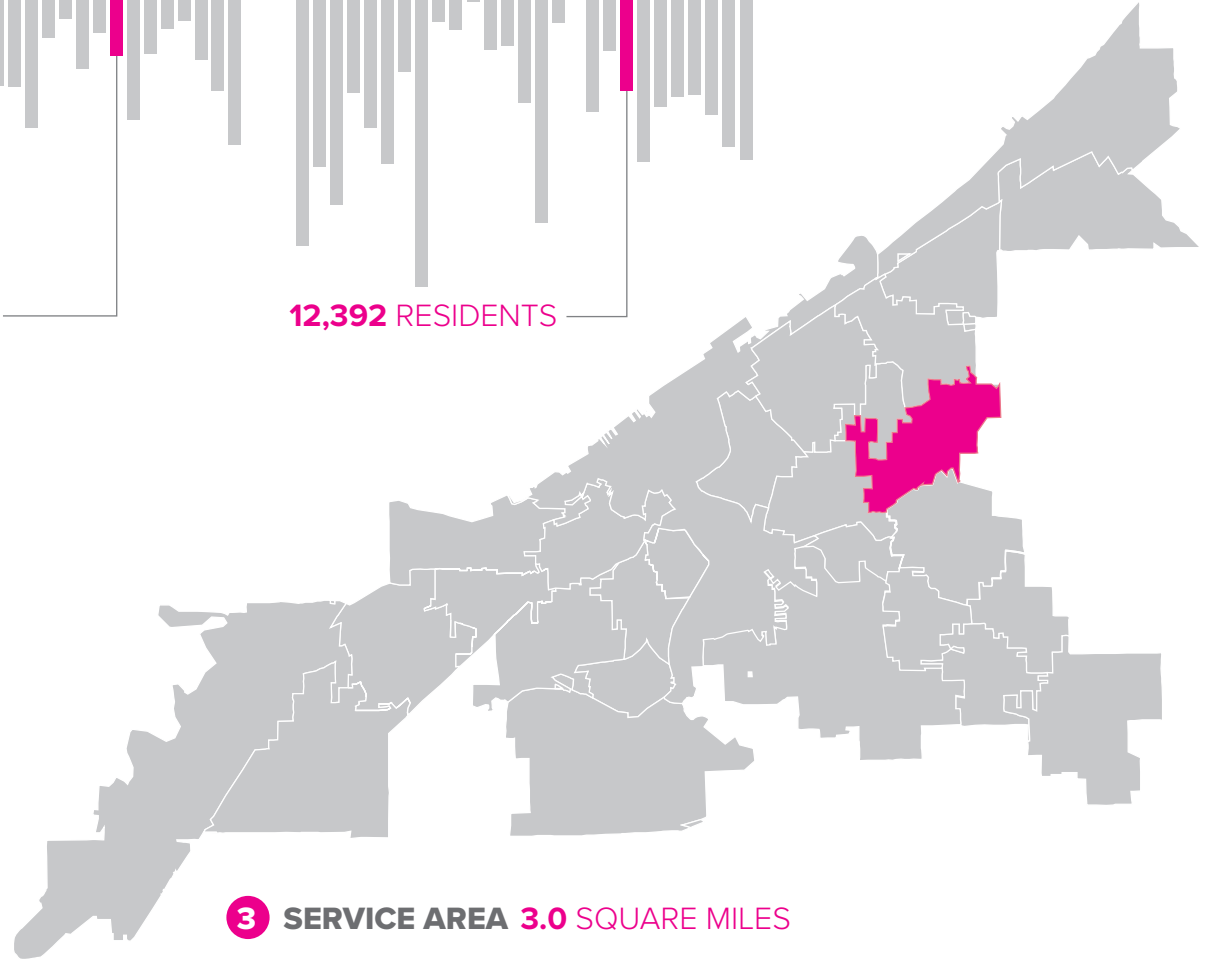
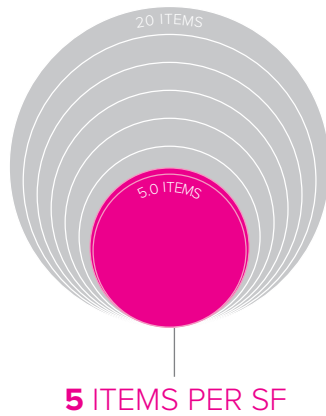
2 OCCUPIED AREA ANALYSIS

CURRENT OCCUPIED SQUARE FOOTAGE: 14,000 SF

ATTENDANCE



CIRCULATION



KEY

DATA REPRESENTATION



1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Branch Recommendations

CURRENT STATE This branch is located at the confluence of four distinct neighborhoods and provides the library a unique opportunity to embrace and unify their diverse populations. With the fast-paced development occurring in the area it was determined that this community would be best served by a new facility that will maximize its access and visibility on Euclid while serving as a building block for development in the area.

FUTURE VISION Design is currently underway on a new MLK branch, which will be the library's first new building in over a decade. As part of the plan for a large mixed-use project, with residential towers to be built above it, the MLK Branch must preserve its singular identity and presence in the community while maintaining synergy with the surrounding development. Upon its completion this will be an iconic building that will serve as one of the system's **Regional Anchors**.



Martin Luther King Jr Branch Design Concept [Architects: SO-IL w/ JKurtz Architects]

TOTAL COST OF IMPLEMENTATION

RELOCATION & NEW BUILD

The MLK branch will be relocated with a new building in conjunction with a residential project near the existing site. The facility will be a Regional Anchor Branch.

IMPLEMENTATION COST

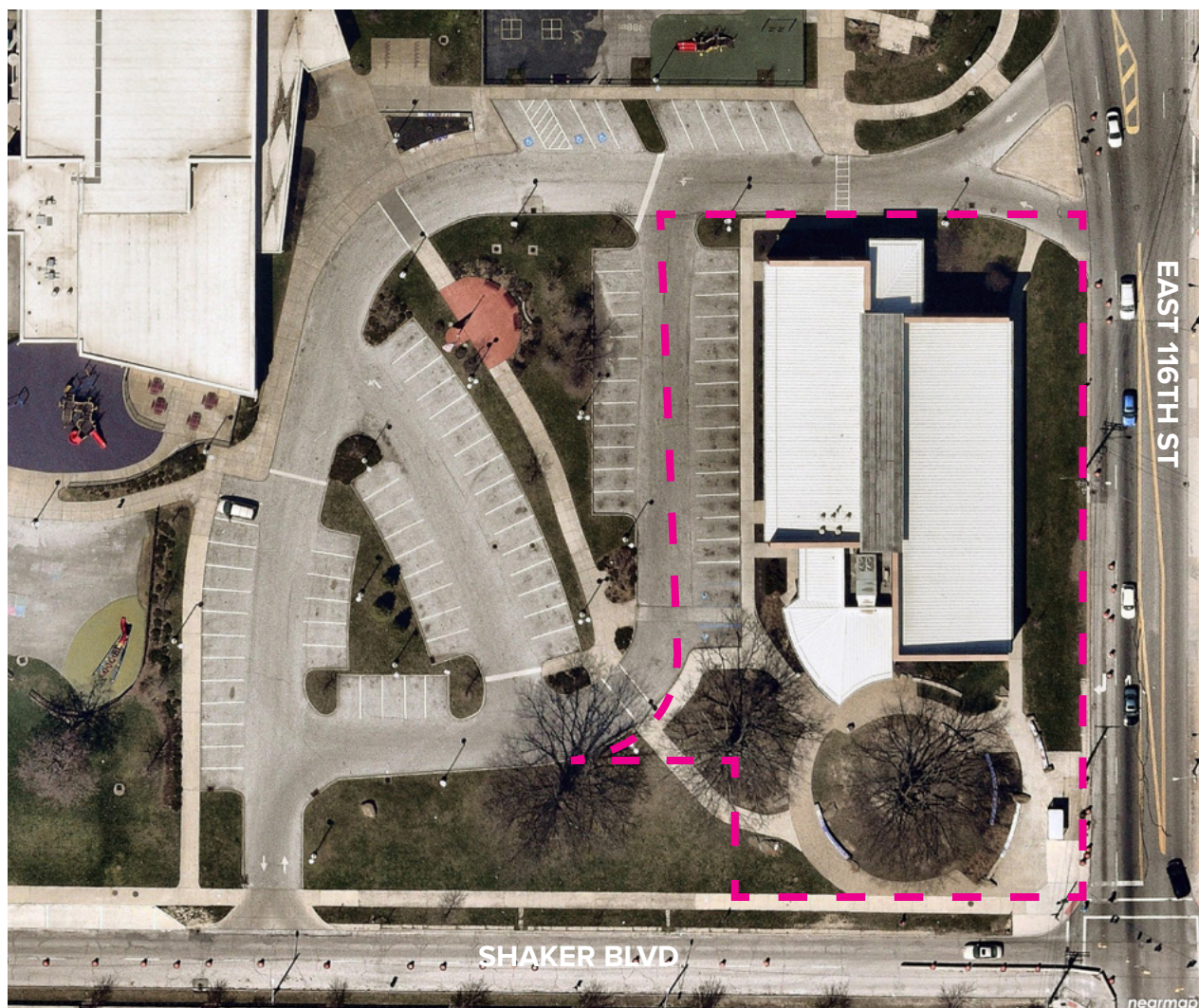
\$10,000,000

Rice Branch

Buckeye-Larchmere Neighborhood



Branch Information



BRANCH STATISTICS

Location: 11535 Shaker Blvd

Year Constructed: 2010

Size: 14,200 sf

Parking: 29 spaces

The Cleveland Public Library Rice Branch was built in 2010 and is located at 11535 Shaker Boulevard on the city's east side. It is at the corner of Shaker Boulevard and East 116th St. with the main entry off Shaker accessed from the sidewalk. Parking is shared with Harvey Rice Elementary School and is located west of the branch with entries on both E. 116th and Shaker. The library site includes the building and a large green south of the main entry. The building is 14,200sf on a single story with a meeting room, collections, reading areas, a computer area, a children's reading area, and a learning space. The building is clad in red and pink concrete masonry units, and curtain walls with metal roofing on the majority of the building. A high clerestory runs through the main circulation space with a flat roof.

Community Outreach

OUTREACH SUMMARY Rice Branch is generally working very well for its patrons, who like its large, clean, modern facility. The primary needs here are additional meeting spaces, for various large- and small-scale community activities. Installing a glass doorway into the Learning Center would allow it to be closed for programs, and additional small meeting rooms are desired as well. Exterior signage,

lighting, and landscaping were also desired, particularly to improve visibility from the adjacent streets.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)



Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Add laptop bar for flexible workspace
- Allow Learning Center to be closed from main floor area
- Create additional flexible meeting space(s) accessible to community
- Create Gallery for local artists & childrens' art
- Add more plants and greenery, inside & outside
- Improve signage & visibility of branch from street
- Update & maintain front landscaping - more flowers, color
- Add signs in parking lot for designated CPL spaces - wayfinding from parking lot to main entrance is also desired
- Outreach & mobile connections for local seniors
- 3d printing/fabrication technology & training

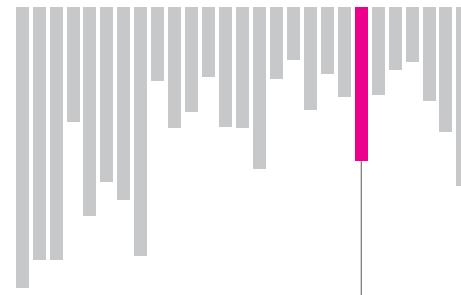
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



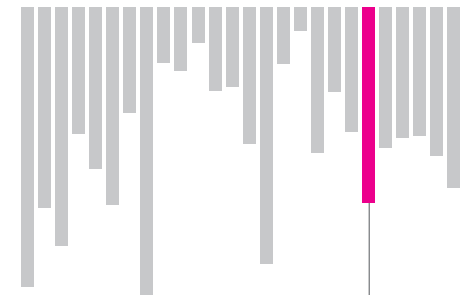
127,143 VISITS ↑
1ST HIGHEST OF 27 BRANCHES

CIRCULATION



109,544 ITEMS

SERVICE AREA POPULATION

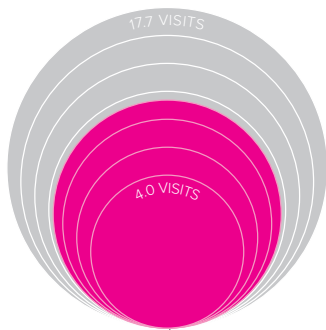


19,462 RESIDENTS

2 OCCUPIED AREA ANALYSIS

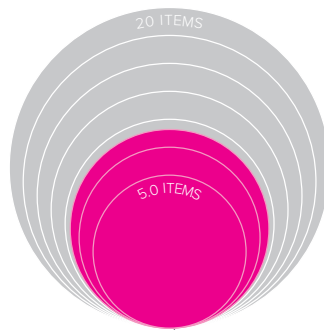
CURRENT OCCUPIED SQUARE FOOTAGE: 14,000 SF

ATTENDANCE

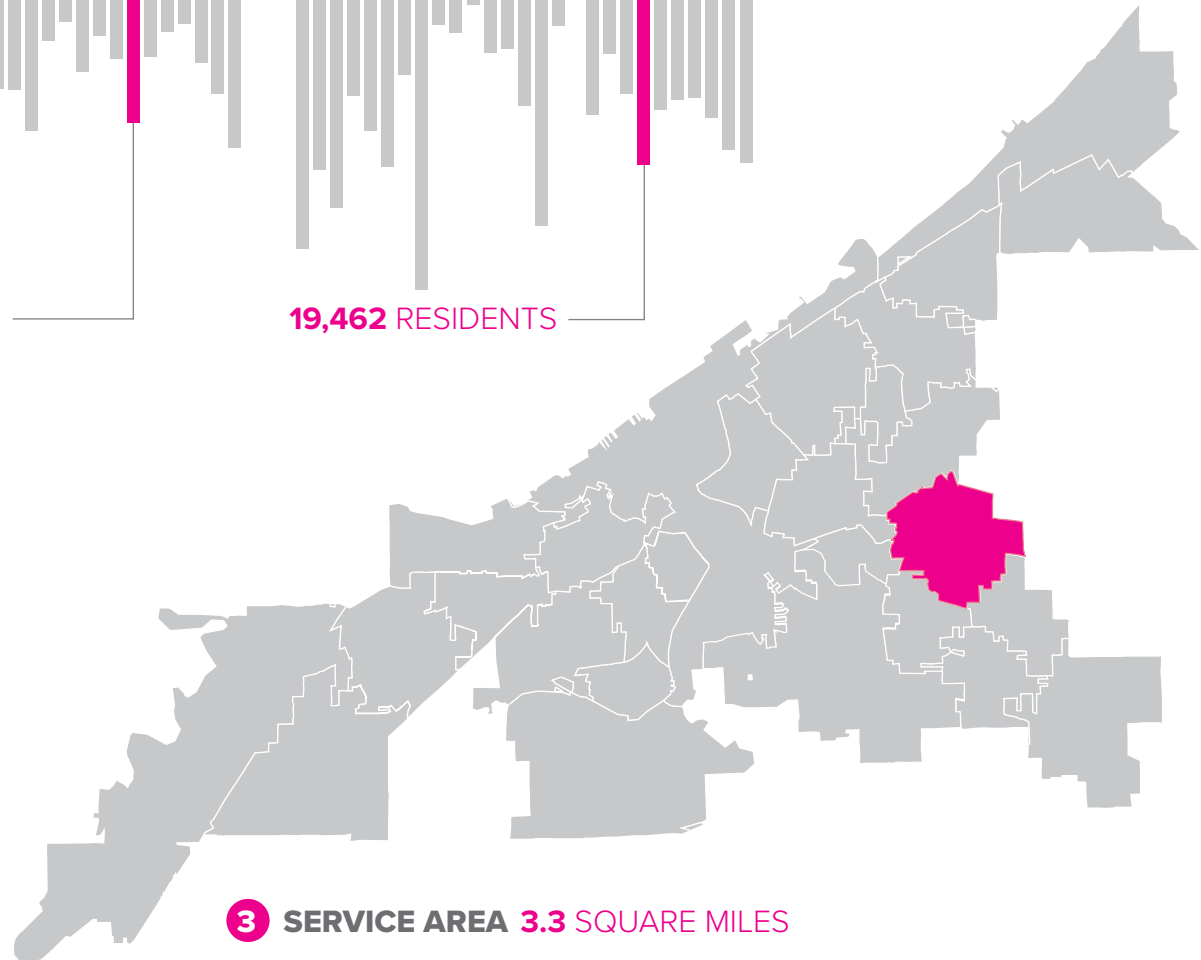


9 VISITS PER SF

CIRCULATION



7.7 ITEMS PER SF



3 SERVICE AREA 3.3 SQUARE MILES

KEY

DATA REPRESENTATION

- System Wide
- Current Branch

- 1** Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.
- 2** Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.
- 3** Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Rice Branch is the newest building in the library system and is typically in good condition though there are numerous localized conditions that require attention. In addition to typical wear there are issues with the carpet tile throughout and efflorescence on the masonry inside and out. The glue-lam beams that support the majority of the roof are showing water damage on the exterior and cracking at the interior column connection, these beams will be reviewed by a structural engineer to determine if corrective action is required.

SITE The library is located on a single level with on grade access. Slight ramping is required from the parking lot to access the main entry and the current slope is not compliant. The parking lot, shared with the adjacent school, is in good condition. Sidewalks around the site are in good condition but in the front entry court the pavers and benches are showing significant degradation and settlement issues.

MECHANICAL The Rice Branch HVAC system consists of one rooftop HVAC unit, one Leibert split system unit, and two 92% efficient boilers. The rooftop unit is in good condition and may remain in service. The building's temperature control system consists of VAV multi-zone thermostats that may also remain in service. The two boilers are in good condition. There are no recommendations of action regarding the HVAC systems at this time.

PLUMBING The Rice Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2008 and is in good condition. Plumbing fixtures were mostly in proper working order, with the exception of an incorrectly installed water cooler cover and a leaky sink. The fixtures were in compliance with ADA standards. All of the public hand washing sinks were equipped with ASSE 1070 mixing valve for tepid water. The storm and sanitary sewer systems were not assessed because the roof was not accessible



Rice Branch Interior

ELECTRICAL The electrical systems in the Rice branch are in good condition and should be maintained. The Rice branch main distribution equipment and corresponding branch circuit panels have spare capacity for future/additional loads. The library has the appropriate coverage in regards to the emergency egress lighting and fire alarm device locations. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. Existing floorbox covers, however, are in poor condition and show signs of significant wear and oxidation. The Rice library uses pole mounted fixtures and in-grade fixtures for site lighting. The existing pole mounted fixtures are in good condition and should be maintained. The existing in-grade fixtures are in fair condition and should also be maintained. The Rice branch has multiple energy savings opportunities through the use of LED and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

**TOTAL COST OF DEFERRED
MAINTENANCE ITEMS: \$291,221**

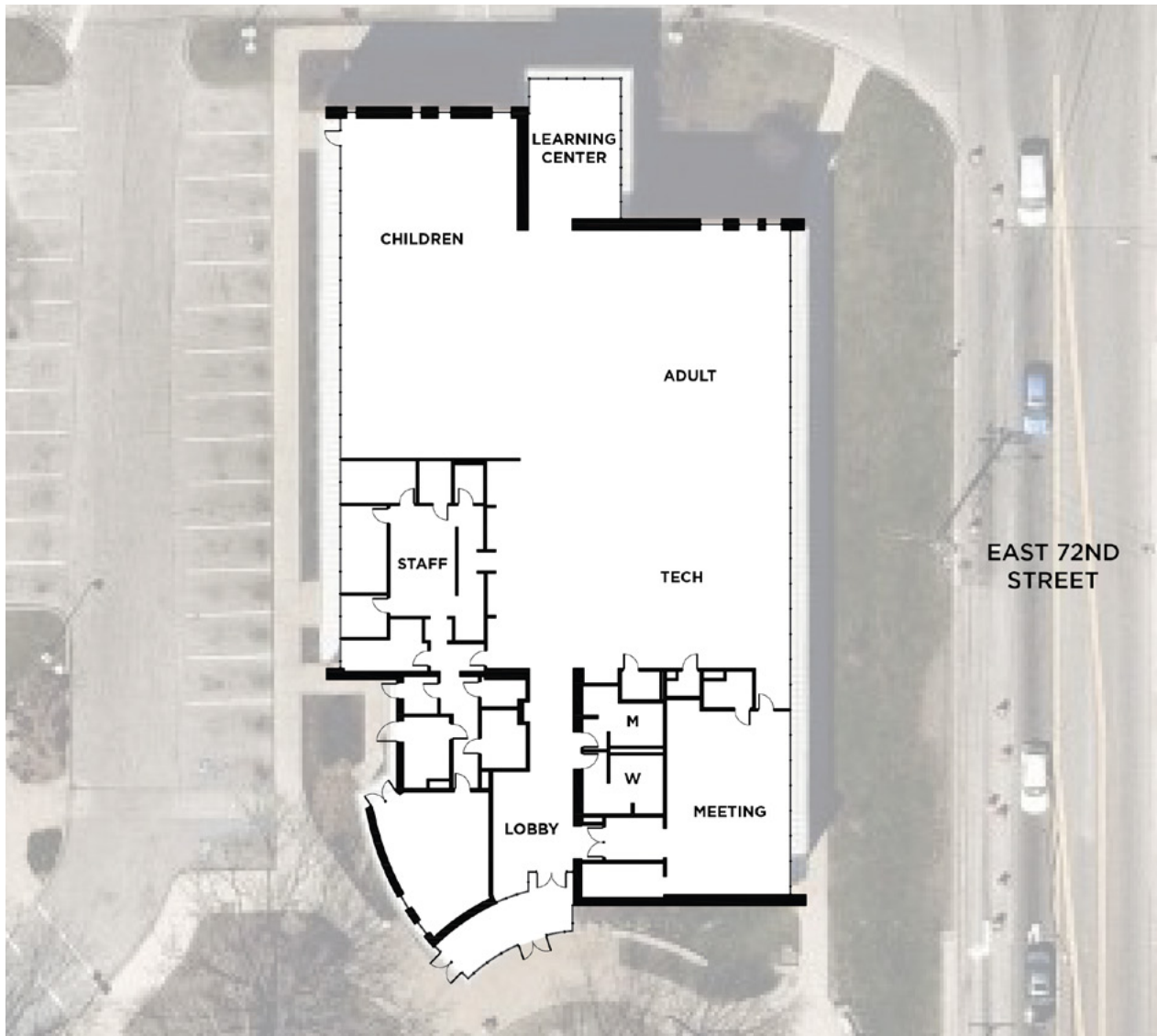


Entry path and courtyard



Approach from Shaker and East 116th

Current State



EXISTING CHARACTERISTICS

- One of the newest branches in the system
- Highly visible location
- Local parking is not library designated, but there is ample parking shared with the Harvey Rice School
- Designated learning center
- Most visited branch in the system
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces
- Open building layout lends itself toward flexibility
- No designated teen room
- No direct entry from the parking lot
- Well positioned to continue serving the system as a Community Hub Branch

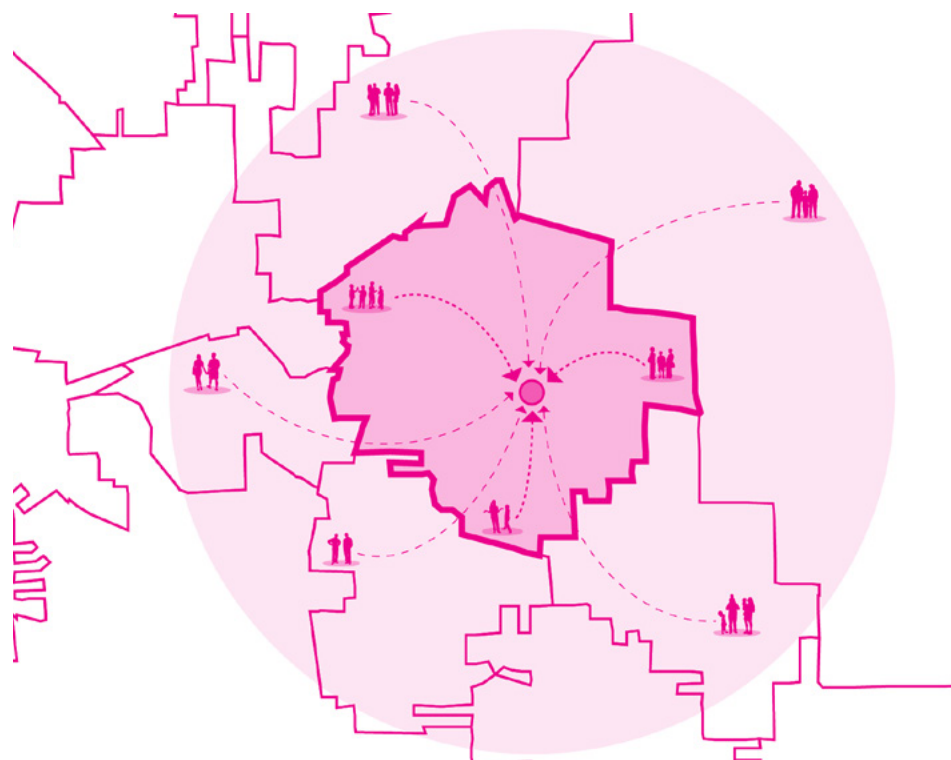
EXISTING FIRST FLOOR PLAN

Branch Recommendation

REFRESH

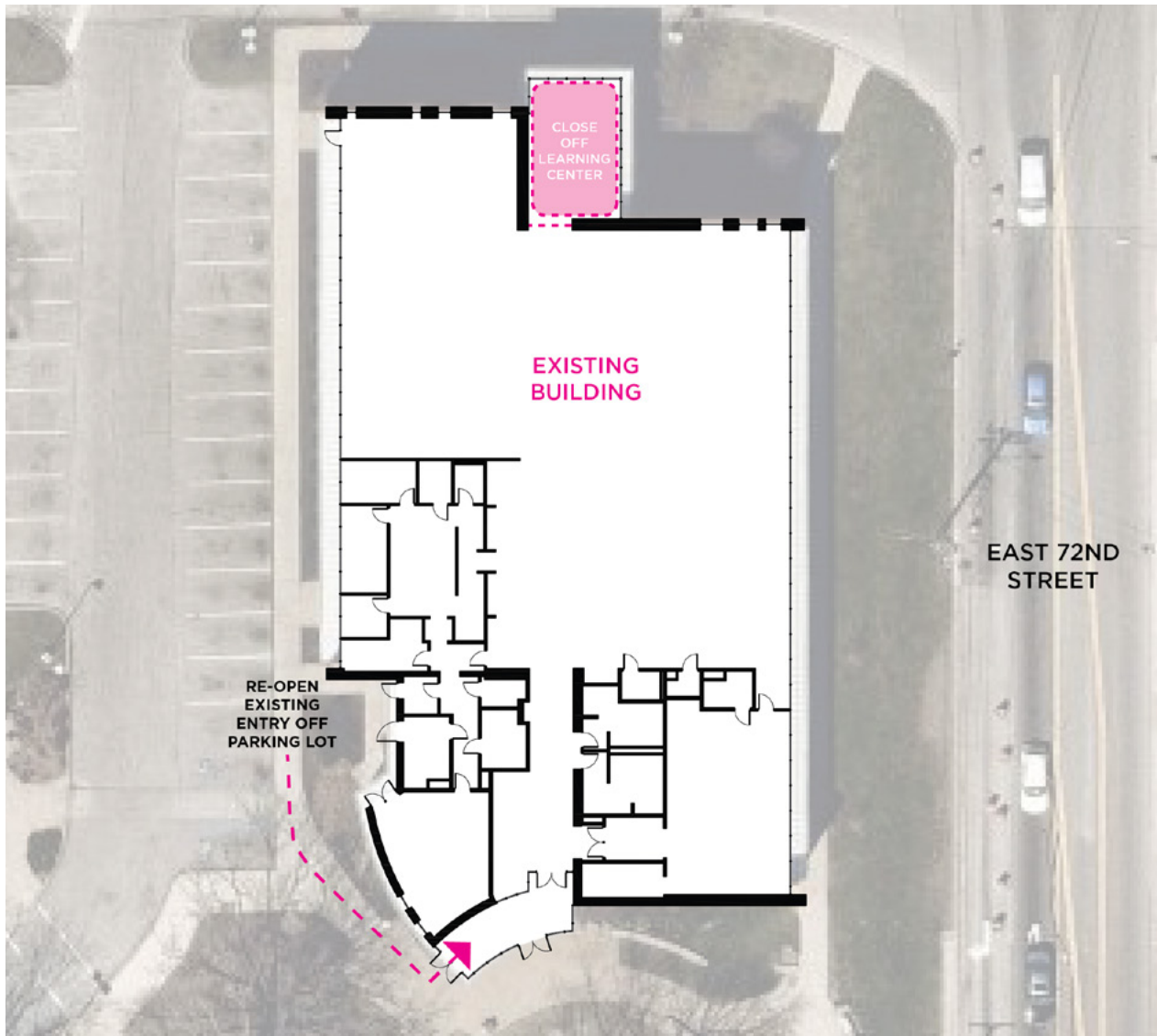
CURRENT STATE The Rice Branch is one of the newest buildings in the system and in a highly visible and accessible location. The community has responded very positively to this branch and it is the most visited in the entire system. The layout of the building works well in most regards and is flexible enough to allow for modifications to meet user needs in the future

FUTURE VISION It's recommended that this branch be maintained with minor updates and renovations to better serve the public including more options for small meetings and quiet study. This branch already meets the criteria of a Community Hub and is well positioned to continue serving the system in that capacity.



Community Hub Diagram

Future Vision

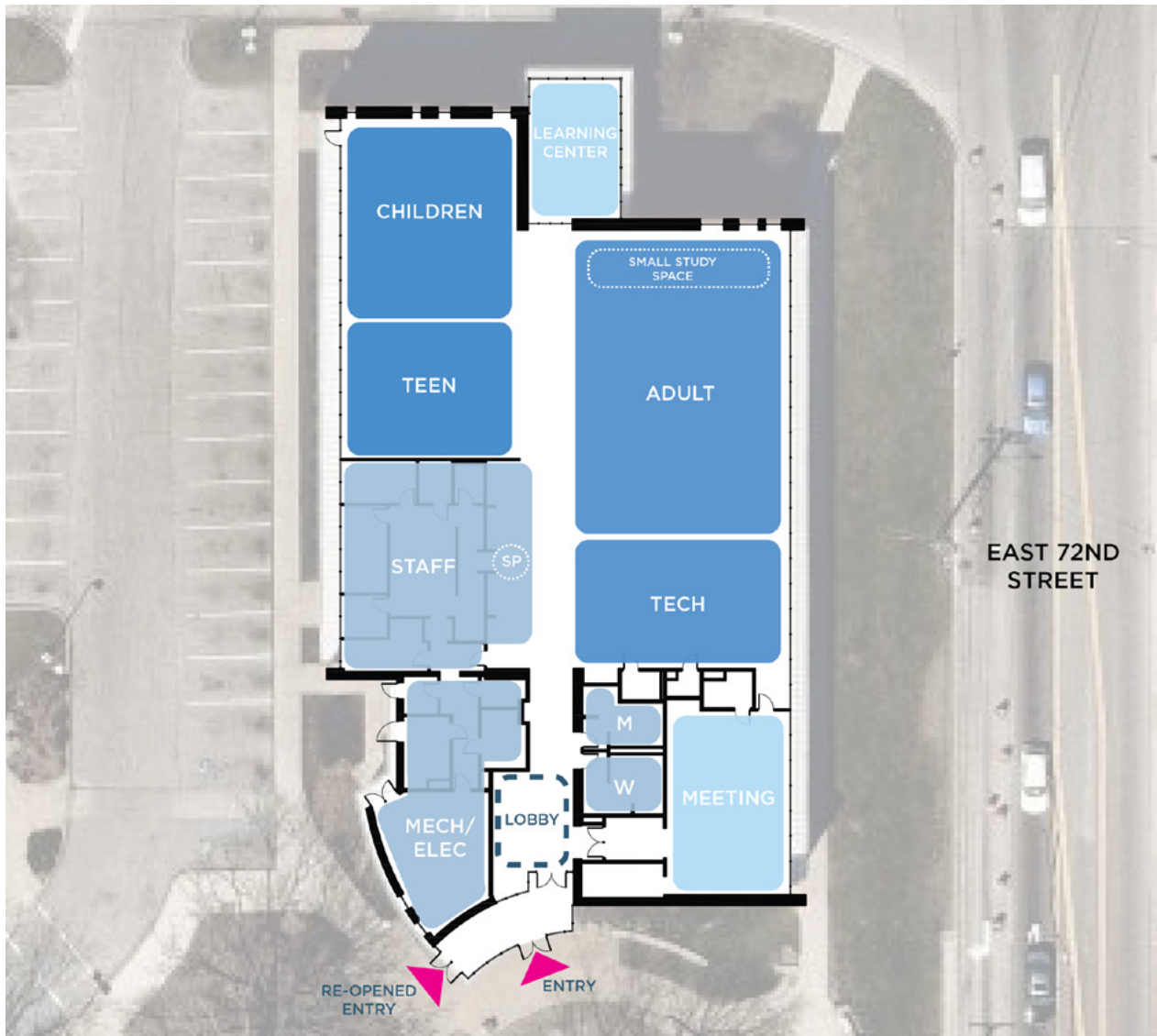


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Reopen the existing entry from the parking lot
- Create a way to close off the learning center for smaller meetings
- Maintain existing flexibility
- Improve wayfinding
- Add small group study space or other collaboration space
- Improve children's collection with small interactives area
- Create a designated teen room
- Consider an after-hours lobby or book lockers for extended service

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

REFRESH

Total Cost of Implementation: \$1,000,000

INCLUSIVE OF DEFERRED MAINTENANCE COSTS

Glenville Branch

Glenville Neighborhood



Branch Information



BRANCH STATISTICS

Location: 11900 St. Clair Ave

Year Constructed: 1980

Size: 11,800 sf

Parking: 26 spaces
(including secondary lot)

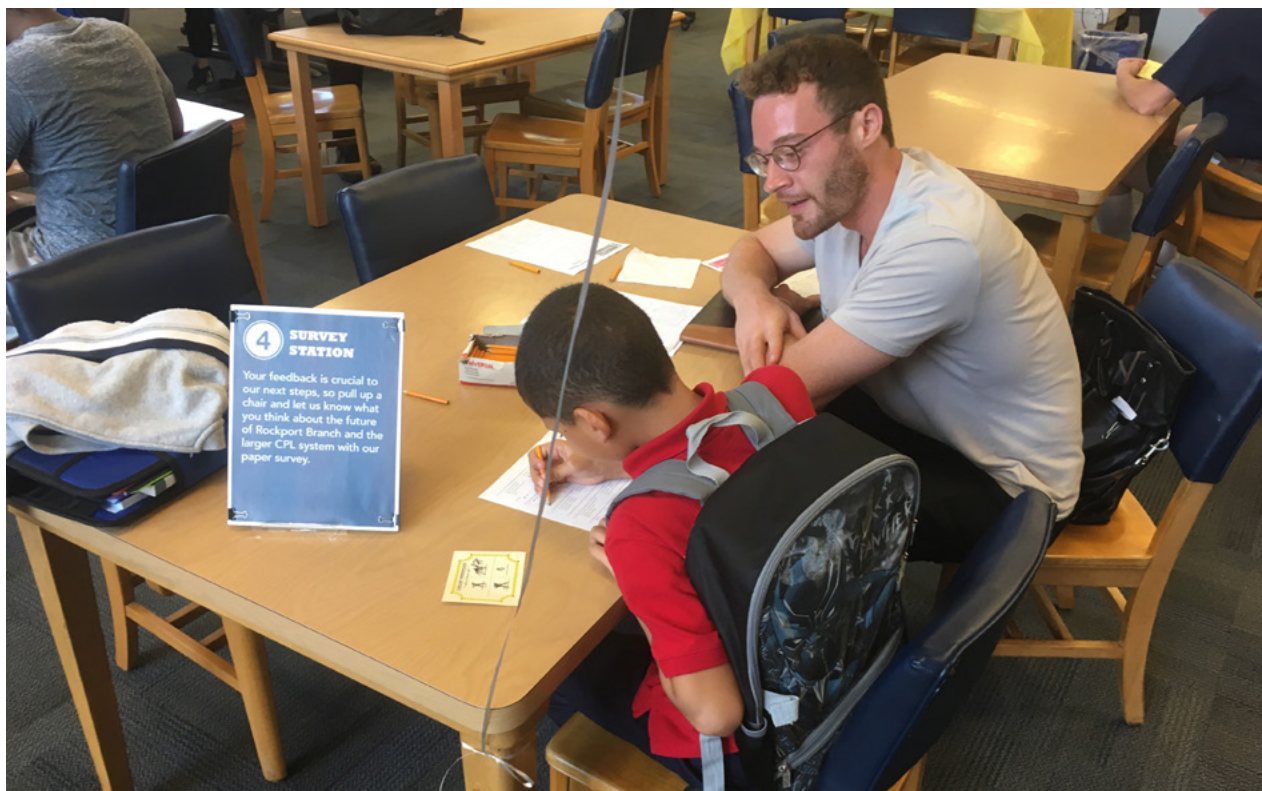
The Cleveland Public Library Glenville Branch was built in 1980 and is located at 11900 St. Clair Avenue on the city's east side. It is located between East 118th Street and East 120th Street along St. Clair Avenue with the main entry off St. Clair accessed from the sidewalk. Parking is located east of the branch with entry on E. 120th Street. An additional out lot was recently completed across 118th Street providing additional parking. The library site includes the building and a small landscaped area south of the building. The single-story building is 11,800sf with a meeting room, collections, reading areas, a computer area, and a children's reading area. The building is clad in red brick with a flat roof on the majority of the building.

Community Outreach

OUTREACH SUMMARY The Glenville branch is a substantial size, but much of the space in the central bay is underused. Reconfiguring the interior could help address community meeting & workspace needs. Patrons are not aware of the additional parking lot to the west of the branch, so wayfinding/promotion is needed. Similarly, the new reading garden is underused. Overall, branch patrons wished for the building to have brighter

colors, art, signage, and lighting on the exterior and interior in order to brighten what they perceive as a dull and unfriendly building and invite the larger Glenville community inside.

Outreach for this branch was performed as part of the facilities master plan, see Process section for summary of the outreach process



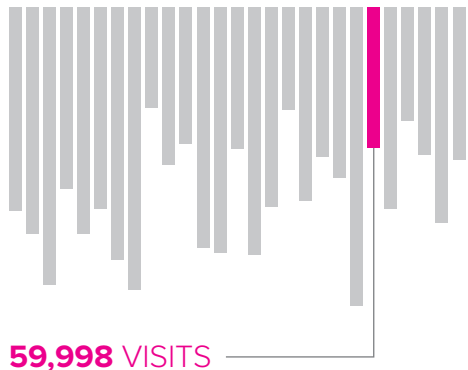
Community Outreach Session

PRIMARY COMMUNITY NEEDS

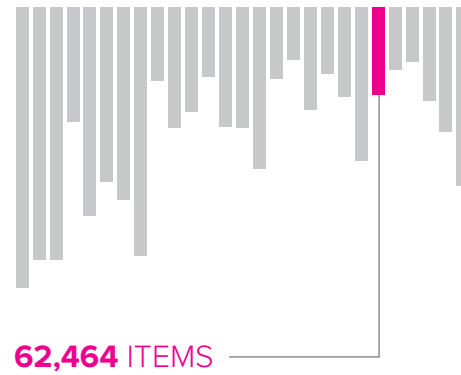
- Update interior finishes - more color, lighting, art
- Add more comfortable seating/ work space areas
- Improve the computers and strengthen the wifi
- Create smaller meeting spaces - partition the meeting room, etc
- Promote resources/events to larger public on exterior message sign
- Add brighter signage/art/color on exterior for inviting visibility
- Work with City/Famicos on maintaining/ repairing street lighting, sidewalks
- Host financial literacy workshops/programs
- Shift/extend hours for later meetings
- Consider "steering committees" with neighborhood organizations/ stakeholders to coordinate partnerships and resource sharing
- Install displays with specific neighborhood history and culture

1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



CIRCULATION



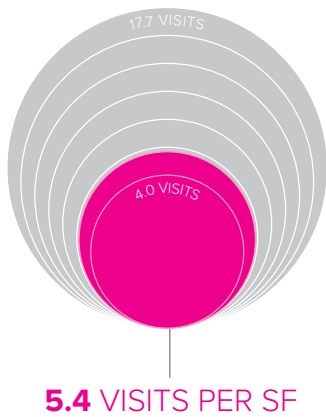
SERVICE AREA POPULATION



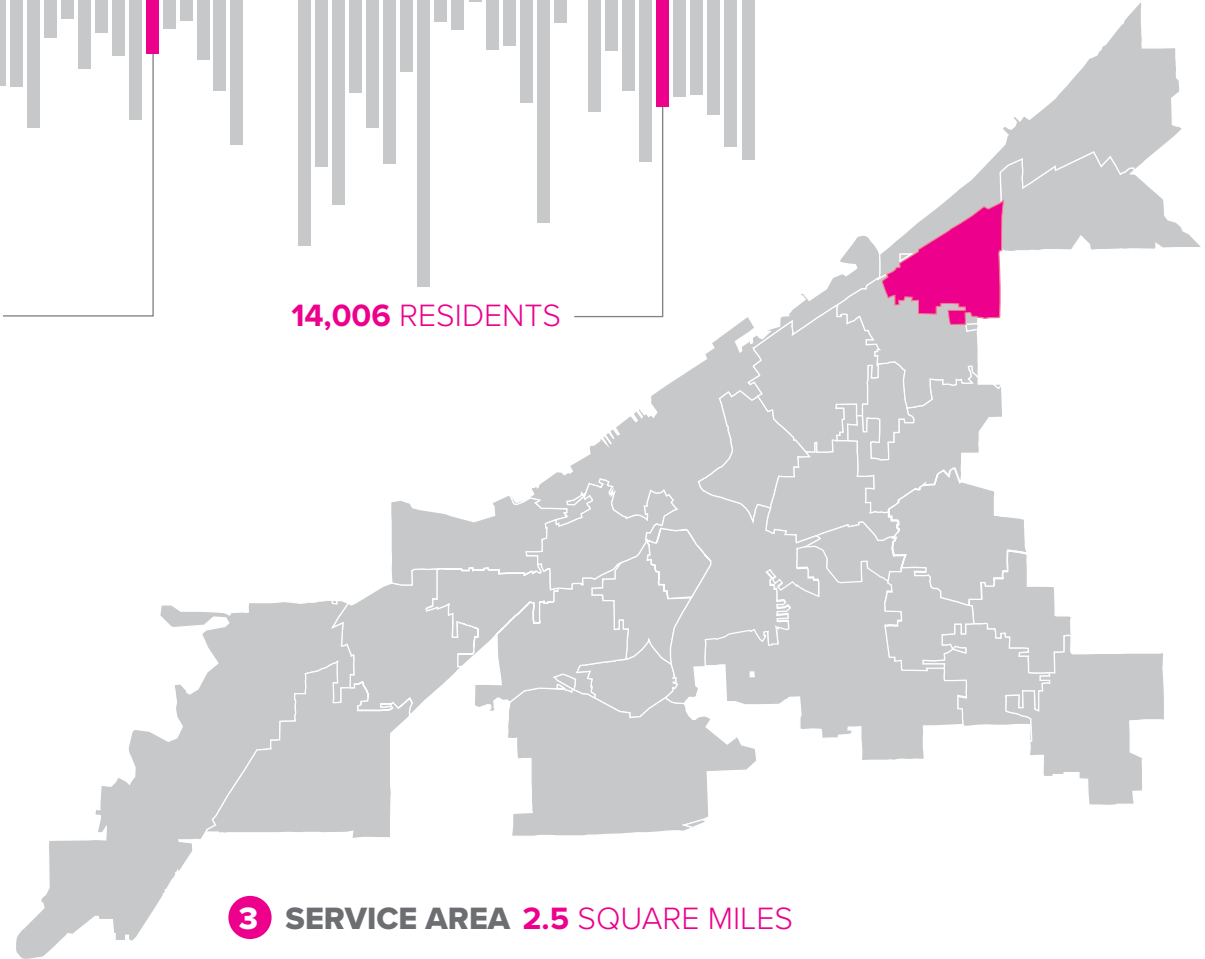
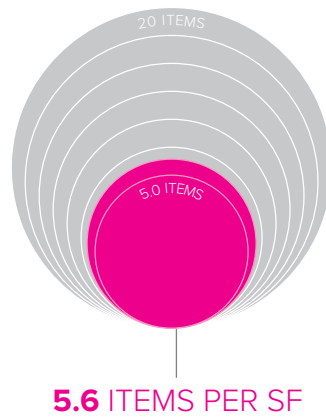
2 OCCUPIED AREA ANALYSIS

CURRENT OCCUPIED SQUARE FOOTAGE: 14,000 SF

ATTENDANCE



CIRCULATION



KEY

DATA REPRESENTATION

System Wide
Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Glenville branch is generally in fair condition on the interior and the single-story layout eliminates many of the accessibility issues from other branches. The branch has recently been updated for accessibility in public areas. A new roof was installed in 2018 along with other minor envelope repairs. There are still some significant issues with the envelope, primarily at sloped skylight that require attention. Finishes and millwork are worn and should be considered for replacement as part of any significant renovation.

SITE The library has on grade access with no steps or ramping required to access the building from the lot or the street, though the concrete needs some repair. Accessibility from the parking lot was partially addressed with some recent work and a small reading garden space was installed on the south lawn.

MECHANICAL The Glenville Branch HVAC system consists of two (2) rooftop HVAC units and two 80% efficient boilers. The rooftop units are in fair condition and may remain in service. The building's temperature control system consists of VAV multi-zone thermostats that may also remain in service. The two boilers are at the end of their service life and should be replaced along with the primary and secondary heating pumps.

PLUMBING The Glenville Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2015 and is in fair condition. Plumbing fixtures were in proper working order and in compliance with ADA standards. All of the public hand washing sinks were equipped with ASSE 1070 mixing valve for tepid water. The storm and sanitary sewer systems are in working condition, but the roof drain strainers are in poor condition and should be replaced.



Glenville Branch Interior - 1982

ELECTRICAL The electrical systems in the Glenville branch are in fair condition, but consideration for their replacement should be considered due to age and availability of spare equipment. The Glenville branch main distribution equipment and corresponding branch circuit panels do not have any spare capacity for future loads. The library has multiple life safety concerns in regards to the emergency egress lighting and fire alarm coverage. In general, security and technology devices/equipment are in acceptable condition and

serve the current needs of the library. The Glenville library uses surface mounted wallpacks for site lighting. The existing wall mounted exterior fixtures are in poor condition and should be replaced. The Glenville branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$573,189

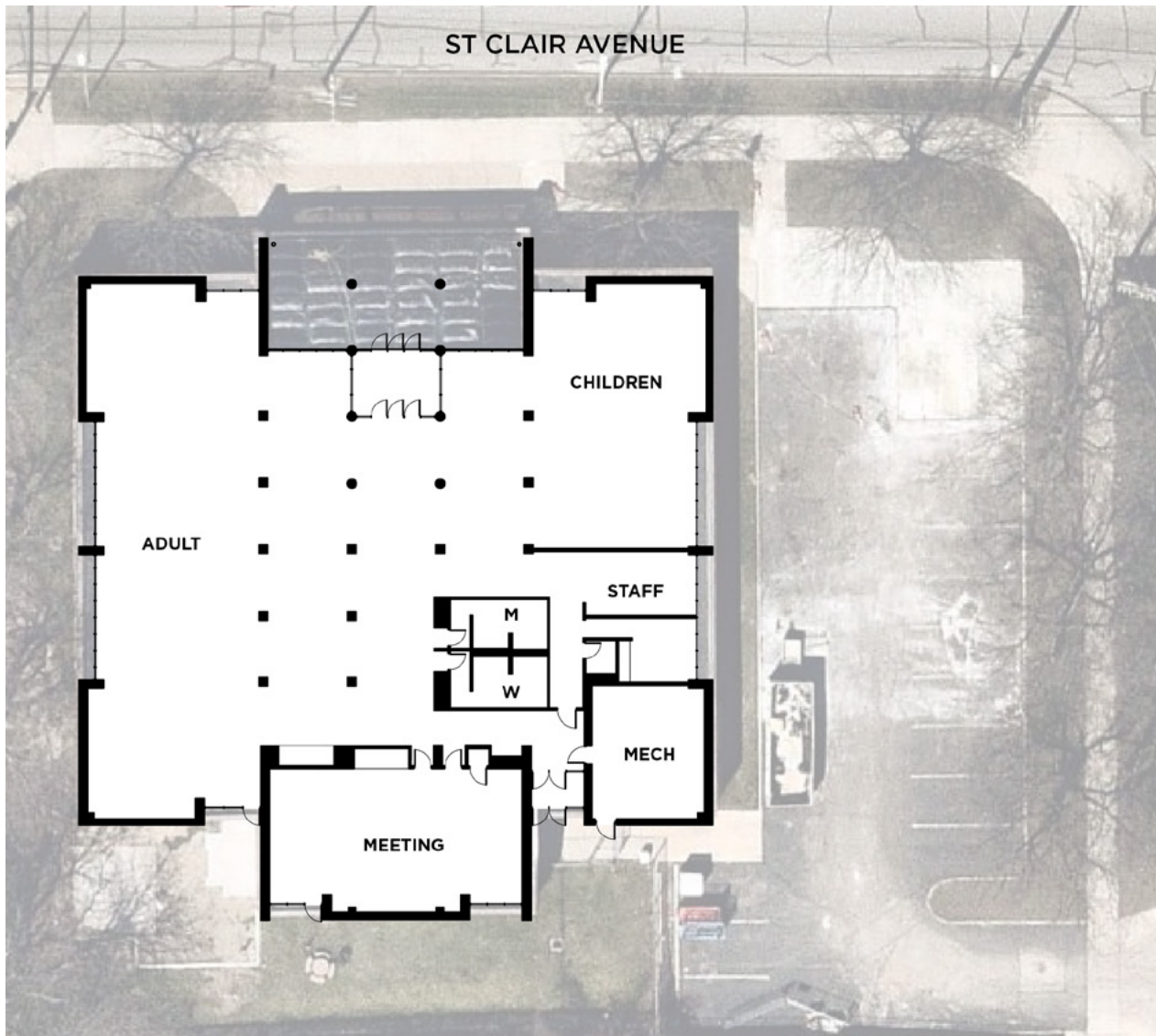


Building Interior



Main Entry from St. Clair Avenue

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

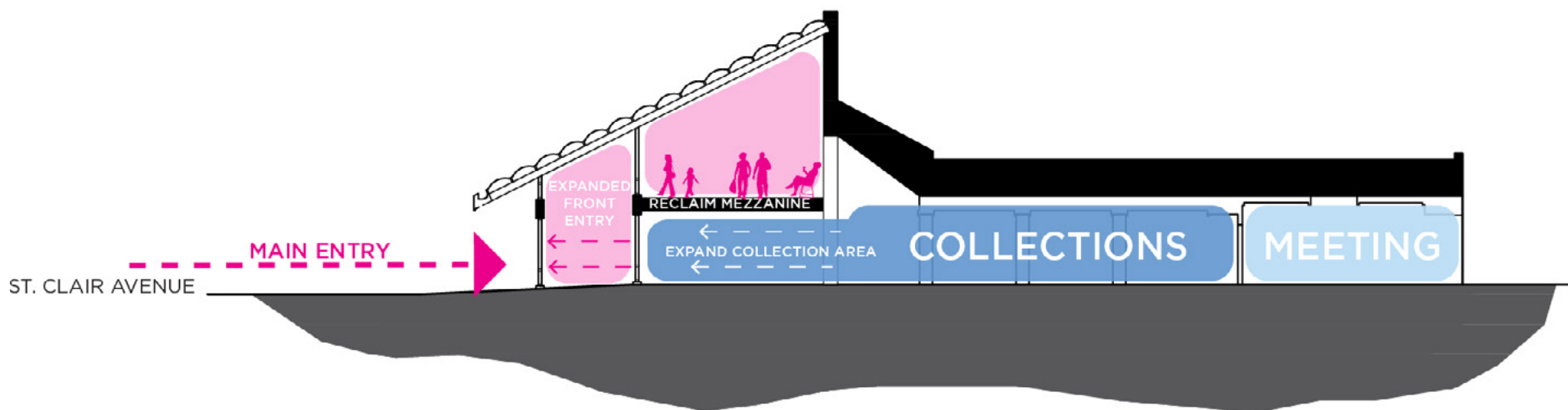
- Main entry is deeply recessed from St Clair Avenue
- Building lacks transparency
- Inefficient floor layout
- Limited signage & wayfinding
- Large meeting room is closed off and cannot be broken up for smaller meetings
- Lack of dedicated teen space
- Existing book drop is located at the secondary entry
- Existing reading mezzanine is inaccessible
- Parking is limited on site but an additional lot was recently built across 118th Street.
- Some resources are underutilized, including the reading garden and the secondary parking lot

Branch Recommendations

RENOVATION WITH MINOR ADDITION

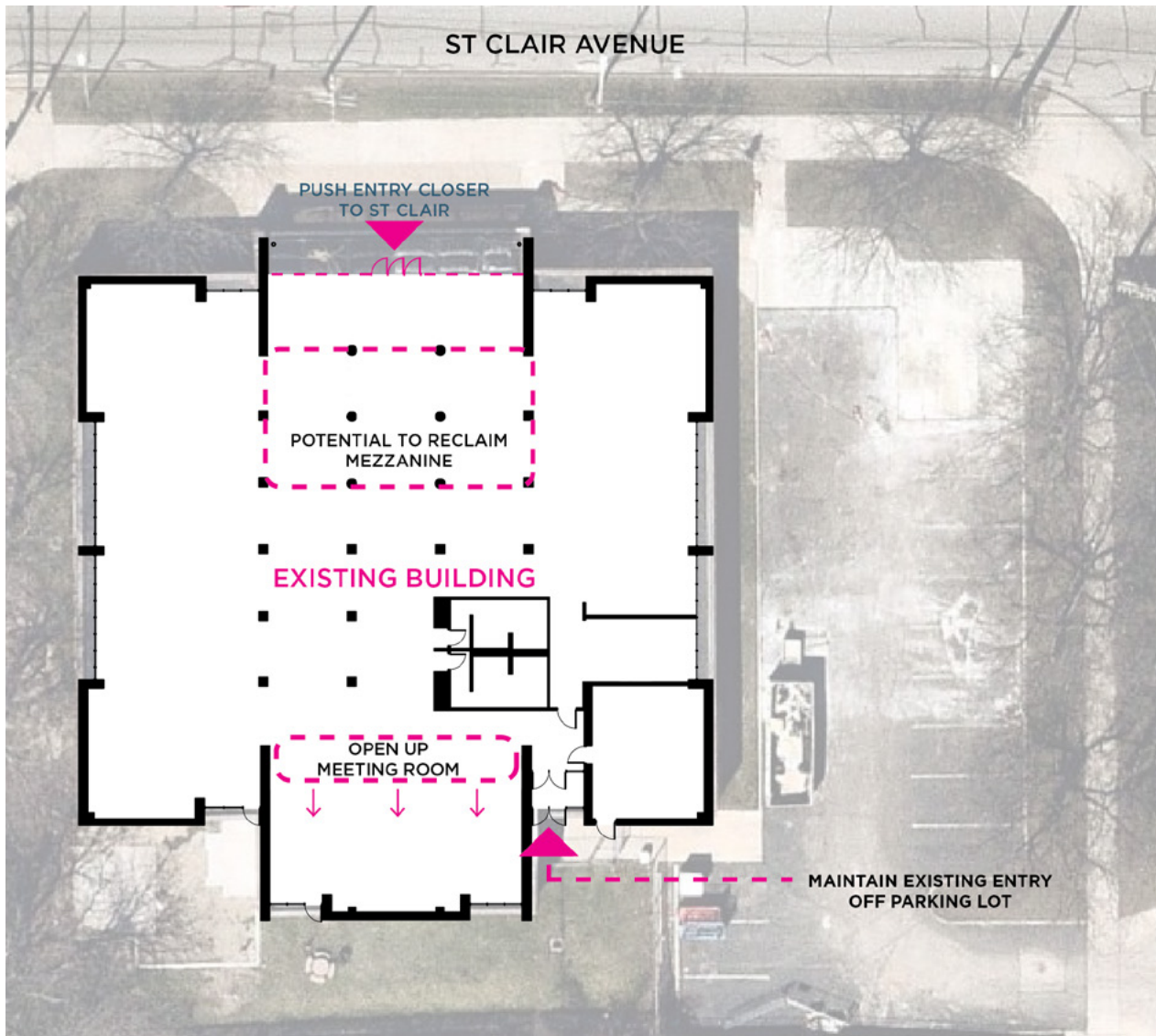
CURRENT STATE The Glenville branch is located on an active portion of St Clair and uses its site efficiently. However, the exterior of the building is perceived as unwelcoming and the deeply recessed entry does not provide a presence at the street. The building is on a single story and is one of the larger branches in the system but the current layout leaves a significant amount of space underutilized. Parking is limited on site but there is little opportunity to expand and no adjacent lots to consider for acquisition.

FUTURE VISION It is recommended that this branch be renovated to modernize and make better use of the space. A small addition at the north face could push the entry closer to the St Clair and create a more welcoming presence at the street edge. As the entry is reconfigured consideration should be given to whether the existing mezzanine should be made accessible for limited use with a new stair or removed to take full advantage of the volume of the lobby space. There is no space to expand parking on site but the library may consider pursuing a shared parking agreement with the church lot across St Clair and working with the city to add a cross walk to facilitate access.



SECTION DIAGRAM

Future Vision

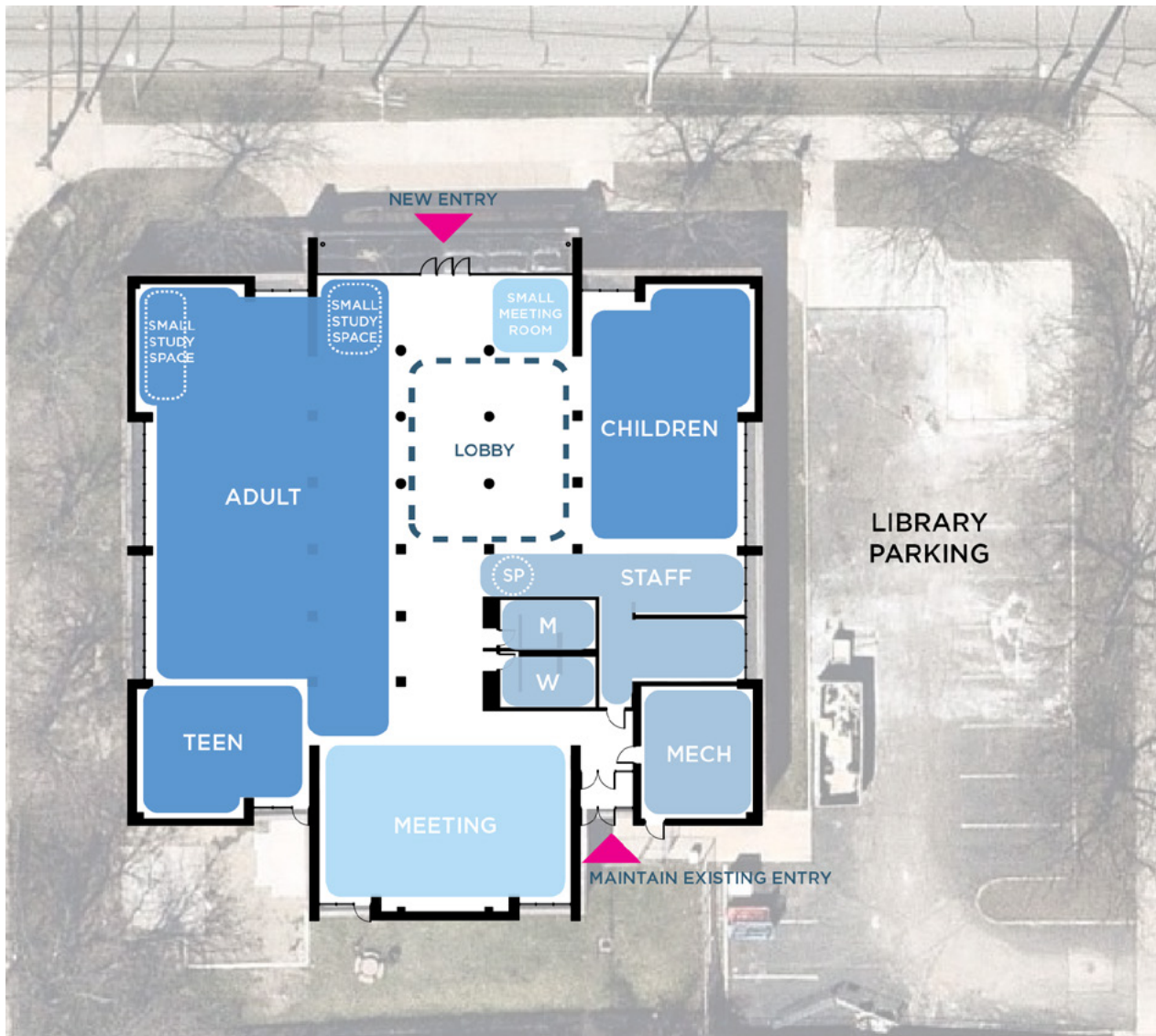


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Create small addition that would push the main entry out toward St. Clair Avenue
- Renovate branch to make more efficient use of the space
- Reclaim reading mezzanine
- Install new stair to access to reading mezzanine
- Create designated teen area
- Open meeting room up to provide increased flexibility
- Create designated children's area w/ small scale interactives
- Improve wayfinding
- Create new 'Community Living Room'
- Create a designated computer area with fixed stations and a 'laptop bar'
- Maintain existing secondary entry off of the library parking lot

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

RENOVATION WITH MINOR ADDITION

TOTAL COST OF IMPLEMENTATION

\$2,000,000

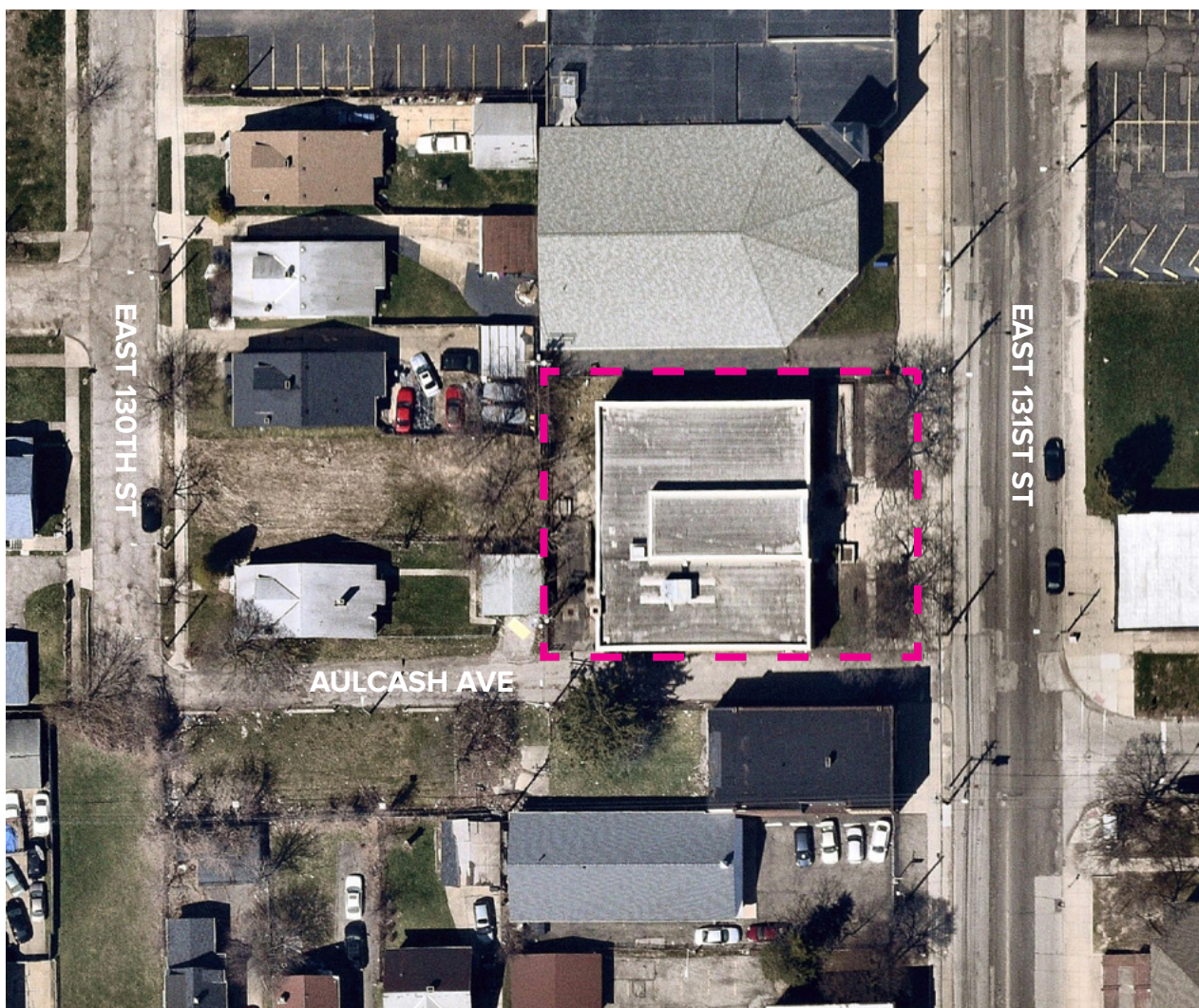
INCLUSIVE OF DEFERRED MAINTENANCE COSTS

East 131st Street Branch

Corlett Neighborhood



Branch Information



BRANCH STATISTICS

Location: 7910 Detroit Ave
 Year Constructed: 1929 (renovated 1979)
 Size: 9,600 sf
 Parking: None

The Cleveland Public Library East 131st Street Branch was built in 1929, designed by renowned Cleveland architects Walker and Weeks with a renovation in 1979 that maintains most of the original character on the building's exterior. It is located at 3830 East 131st Street on the city's east side between Corlett and Aulcash Avenue. It is a tight, mid-block site along an alley with access from the sidewalk. There is no parking lot, but the library patrons use a lot across 131st street owned by the others. The building is 14,100sf over one story and a basement with collections, reading areas, meeting room, and staff spaces all at the first floor. The basement has been abandoned with the exception of mechanical. The building is clad in buff with glazed terra cotta accents and a flat, asphalt roof.

Community Outreach

OUTREACH SUMMARY Mt Pleasant and East 131st Branches were grouped together for the purposes of their engagement. In 2013 a neighborhood plan showed the two branches consolidated into one new branch building located on Union Ave, part of a new Civic Commons which includes a neighborhood recreation center. That plan, though produced with community consensus, was not developed through CPL. As a result, for these two branches the engagement process centered around (though was not limited to) the question of consolidation. Consolidating the two branches was the community preferred alternative throughout the entire engagement process, including at youth focus groups and in talks with community development stakeholders. However, vacating the existing branch buildings—particularly East 131st Branch, caused some concern around losing important civic landmarks in a neighborhood that has already seen many of its old structures decline.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)

Note: Outreach for Mt Pleasant and East 131st Street branches was performed jointly due to the community's interest in consolidation



Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Pursue branch consolidation with E 131st and work with Mt Pleasant NOW on new Union Ave community campus development
- Determine secure future use for E 131st Carnegie building
- Provide lounge seating, laptop bar, and more reading/study furnishings
- Create space for a flexible public meeting room within building which allows for a variety of uses
- Create private study rooms for quiet reading/study in branch
- Create playful/colorful kids' area AND dedicated teen spaces
- Integrate public art from local artists on branch interior, exterior & grounds
- Create an outdoor reading garden
- Program outdoor space with temporary events and public art installations
- New library signage on Union
- Integrate sufficiently large parking lot with drive-through drop-off
- Provide after-school tutoring/mentoring programs for local youth
- Develop shared programming with Rec Center
- Expand Workforce Training programming & jobs fairs for adults & teens

1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



86,016 VISITS

CIRCULATION



45,036 ITEMS

SERVICE AREA POPULATION

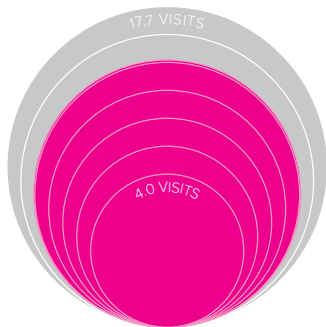


13,025 RESIDENTS

2 OCCUPIED AREA ANALYSIS

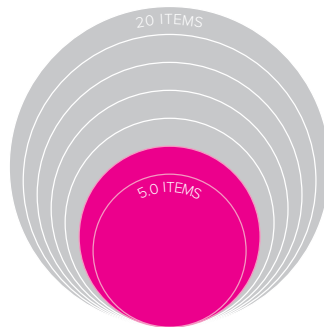
CURRENT OCCUPIED SQUARE FOOTAGE: 14,000 SF

ATTENDANCE

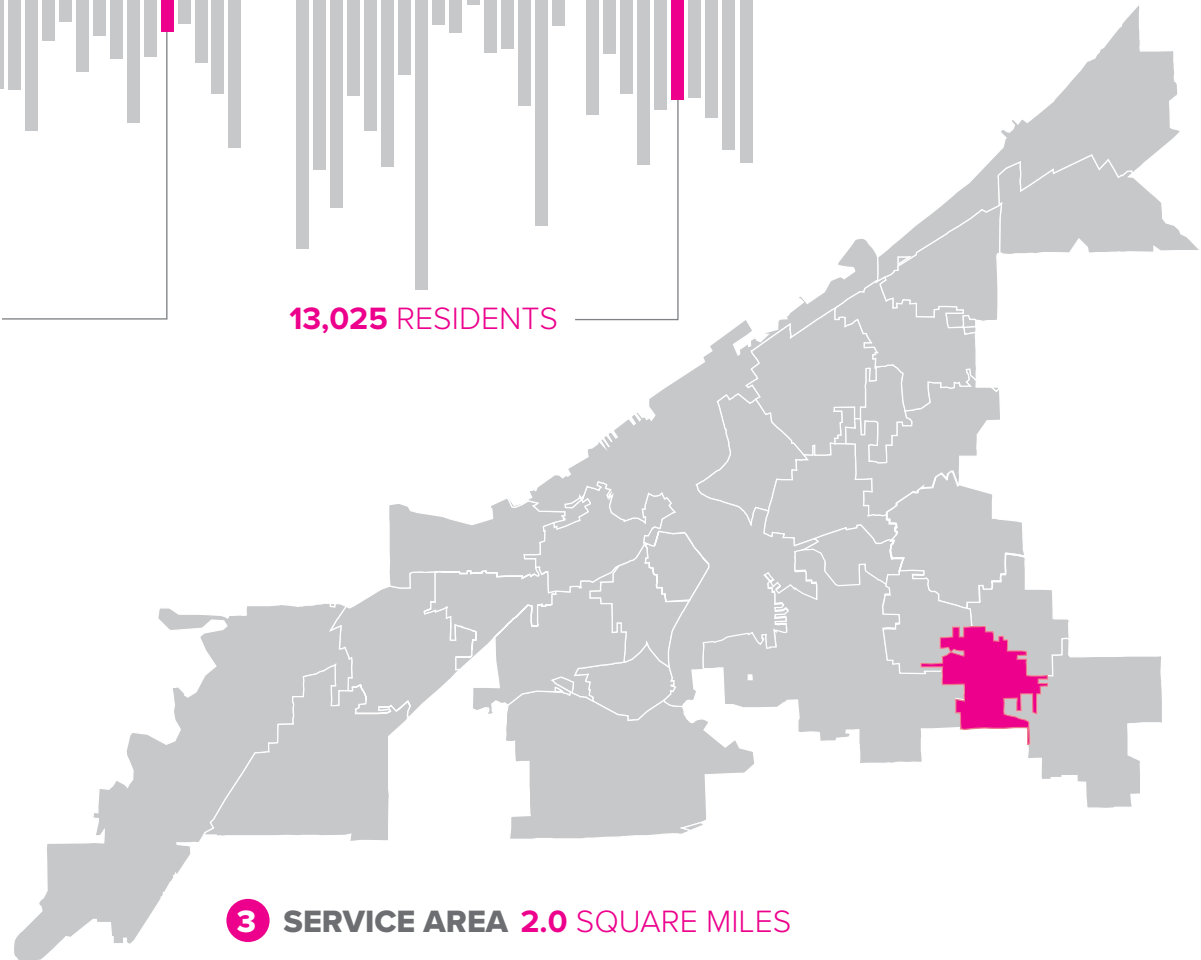


12.3 VISITS PER SF

CIRCULATION



6.4 ITEMS PER SF



3 SERVICE AREA 2.0 SQUARE MILES

KEY

DATA REPRESENTATION

- System Wide
- Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

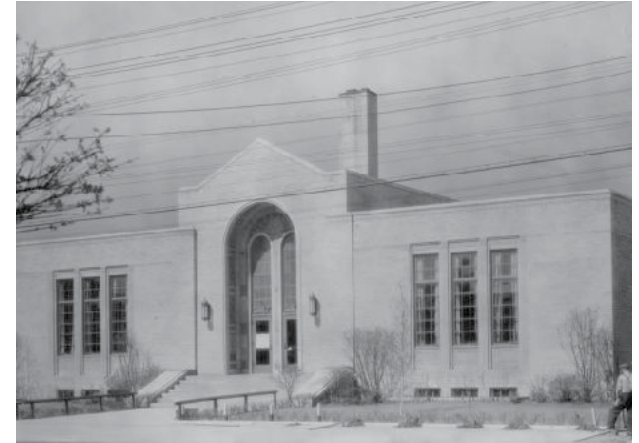
3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL While much of the historic character of the East 131st Branch is intact the building overall is in poor condition. There is widespread cracking in the exterior masonry and significant water infiltration issues in the basement level that have caused damage throughout including evidence of mold growth. Much of the degradation is likely due to failure of below grade waterproofing. The basement is currently abandoned and if it were to be repaired and updated for public an elevator would need to be added to allow for access. The existing roof installation is older and in poor condition.

SITE The library is located on a very tight site with no dedicated parking or space for expansion. The entry to the library is raised up from grade level and the stairs and ramp that access it from the street are in very poor condition.

MECHANICAL The East 131st St. Branch HVAC system consists of a rooftop unit and a boiler. The existing system is a cooling only VAV system with six (6) zones of control, and it is past its expected service life and should be replaced. When the HVAC units are replaced, a Building Automation System should be provided for increased system efficiency. The boiler was installed more than 30 years ago, is in fair condition, and is past its service life. The primary and secondary heating water pumps are past their service life and should be replaced. The unit heaters, finned tube radiation, and convectors are showing age and should also be replaced.



East 131st Branch Exterior - 1928

PLUMBING The East 131st St. Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2016 and is in good condition. Plumbing fixtures were in proper working order. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. An existing storm drain is draining into the sump causing it to overflow and flood the basement. The basement sump pump should be replaced with a duplex pump properly sized for the duty. The sanitary sewer system is in working order. The strainers for the roof drains are in poor condition and should be replaced.

ELECTRICAL The electrical systems in the East 131st branch are in poor condition and are near the end of their service lives. The East 131st branch main distribution equipment and branch circuit panels do not have any spare capacity for future loads. As a result, any new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to the existing fire alarm system and emergency egress lighting. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The East 131st library uses surface mounted wallpacks for site lighting. The existing wall mounted exterior fixtures are in poor condition and have reached the end of their life cycles. The East 131st branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$1,282,184

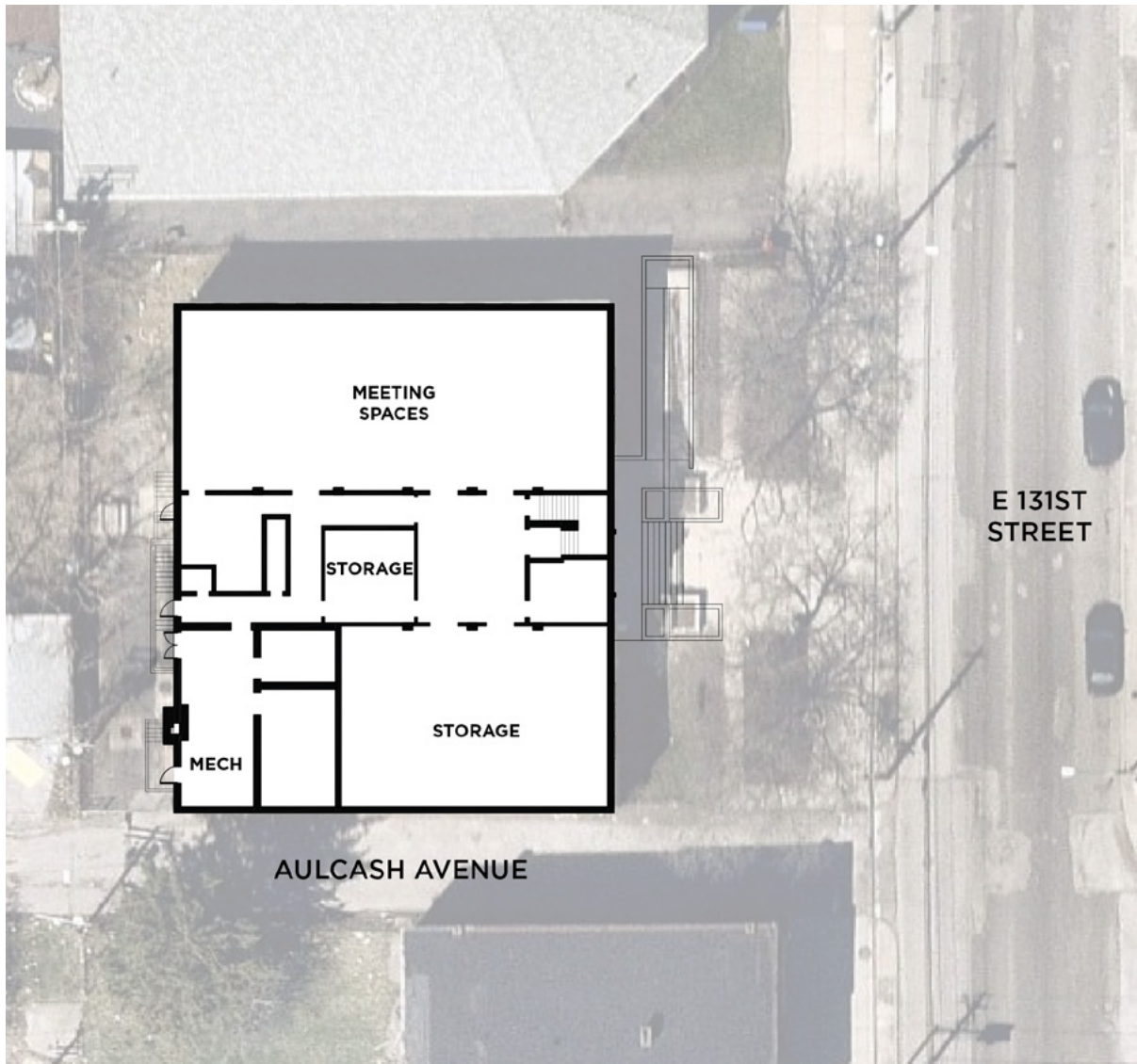


Building Interior



Building Exterior

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

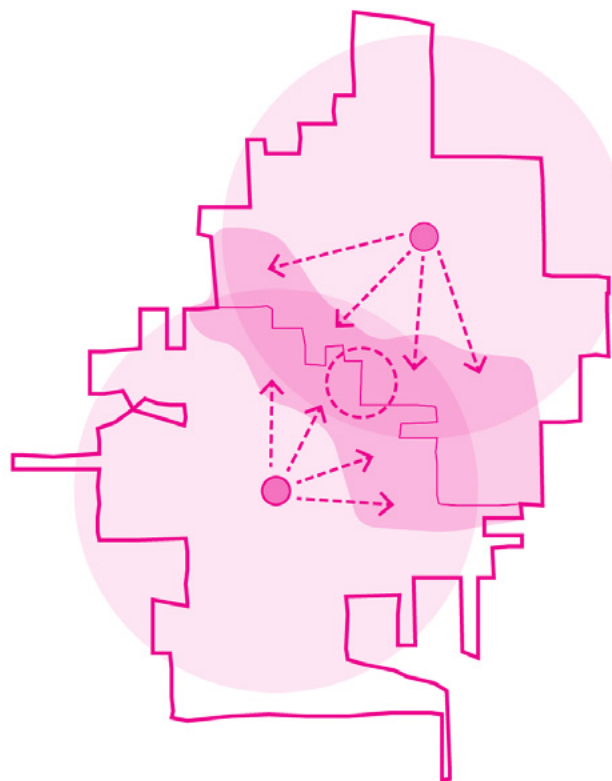
- Strong historic character
- The building lacks transparency
- Limited street presence
- Meeting rooms at lower level have been abandoned due to accessibility issues
- A recent expansion of the parking lot was completed, but appears disjointed from the library
- While not a large site, there is minor room for expansion
- No defined teen area
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- No small quiet study spaces
- Historic character of the interior was diminished during past renovation
- No on-site parking

Branch Recommendation

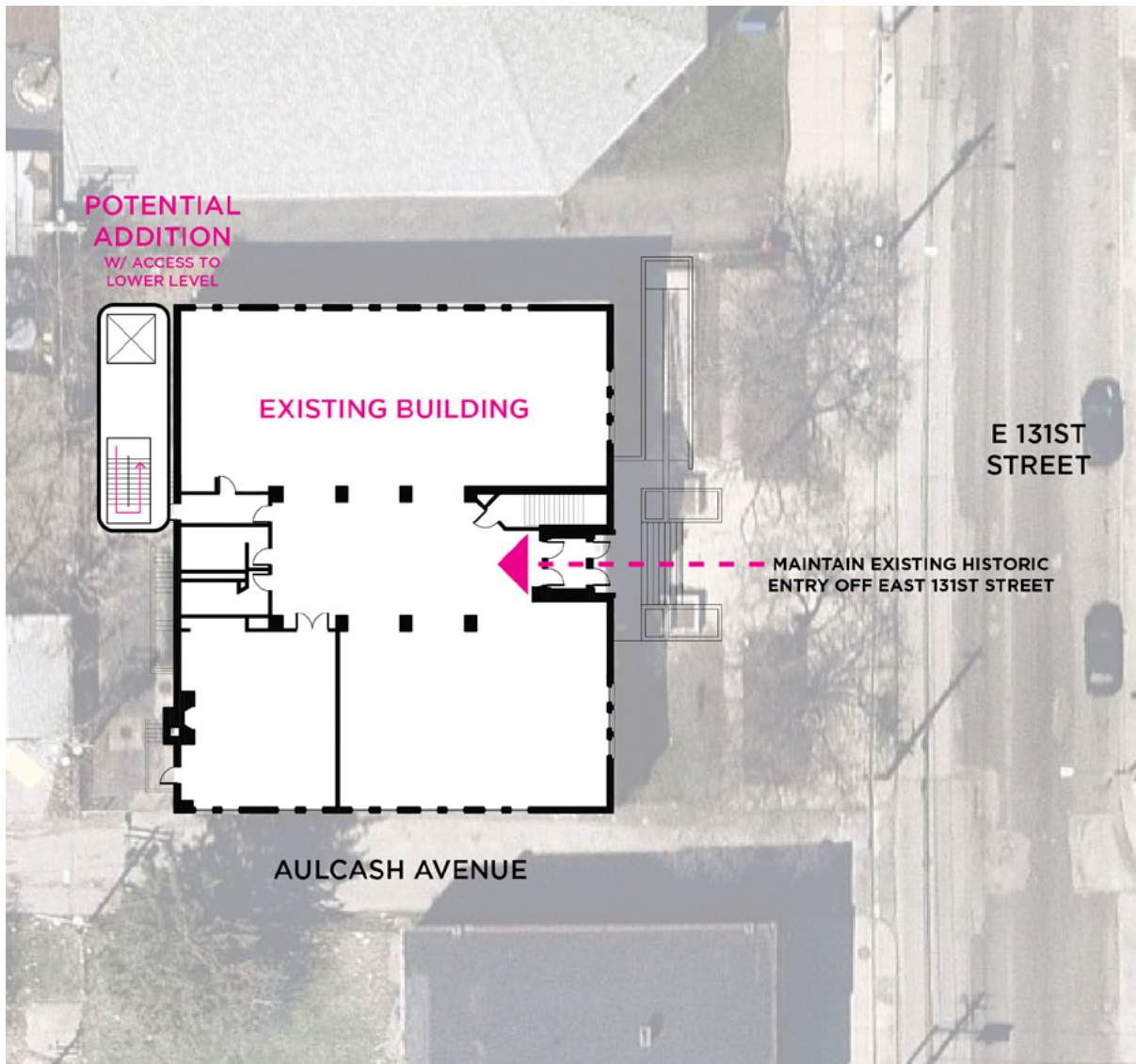
CONSOLIDATION

CURRENT STATE The East 131st Street branch is a historic building but, unfortunately, in poor condition and is one of the least attended and lowest circulating branches in the system. The abandoned basement has significant water infiltration and the façade is compromised. In order to continue serving the system a major renovation reclaiming and stabilizing the basement would be required as there is no room for expansion on site. No parking is currently provided and there is no clear means for achieving dedicated library parking.

FUTURE VISION It is recommended that this branch building consolidated with the Mt Pleasant branch. These are two of the least used branches and serve a relatively small geographic area. A high level of service can be maintained with a new building in a new location supporting a combined service area. Consideration should be given to renovating the East 131st branch for the consolidation though it is anticipated a new branch on a new site will better serve the community.



Future Vision

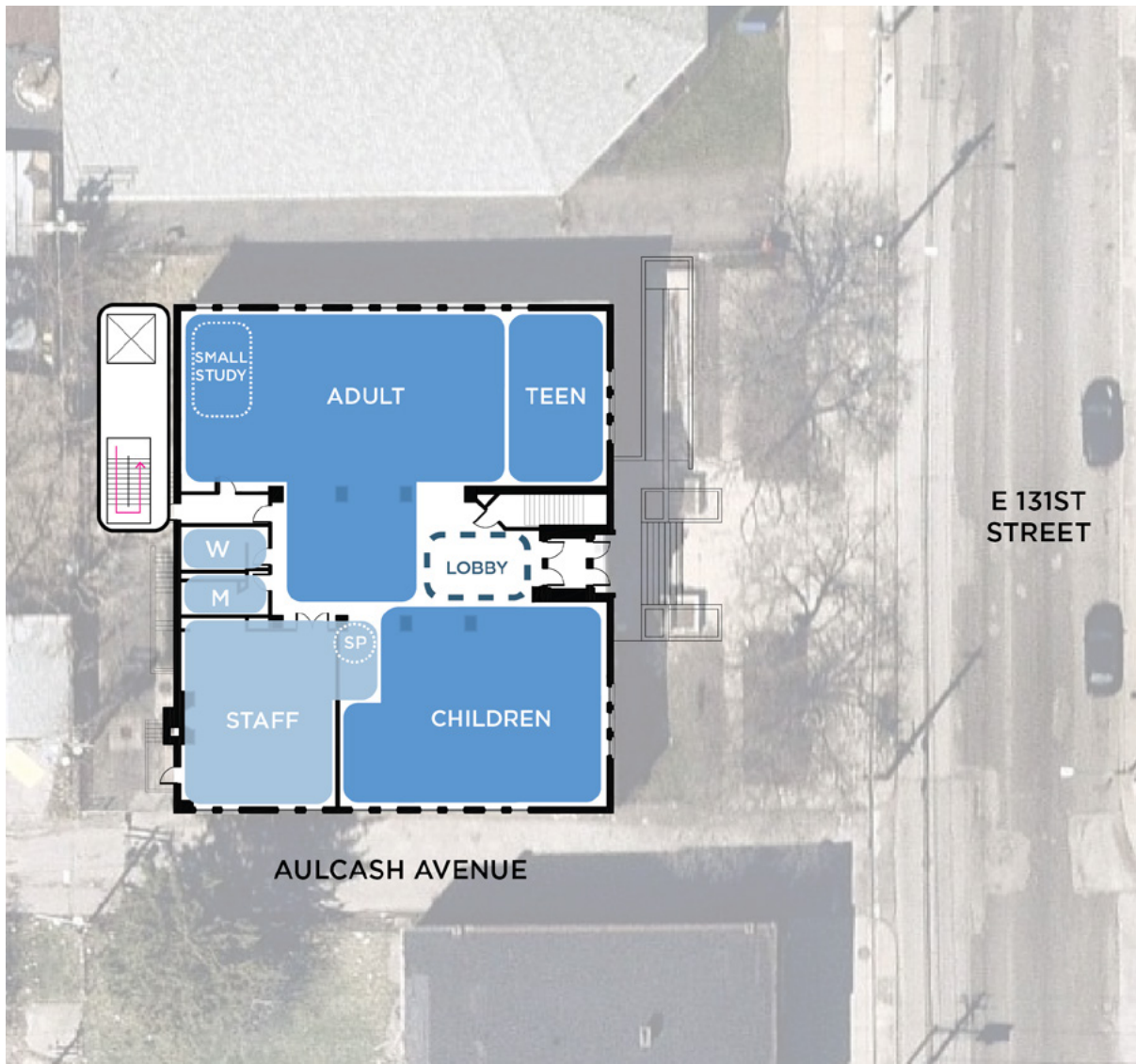


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Create a small addition with access to the ground floor and lower level
- Renovate branch to make more efficient use of the space
- Maintain existing historic entrance from East 131st Street
- Create a defined teen space
- Create new flexible meeting room as at the lower level
- Improve wayfinding
- Add small group study space or other collaboration space
- Improve children's collection with small interactives area
- Consider an after-hours lobby or book lockers for extended service
- Reclaim historic vaulted ceilings
- A CPL parcel across Aulcash Ave could provide a location for parking in the future

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

CONSOLIDATION

Total Cost Of Implementation: **\$4,200,000***

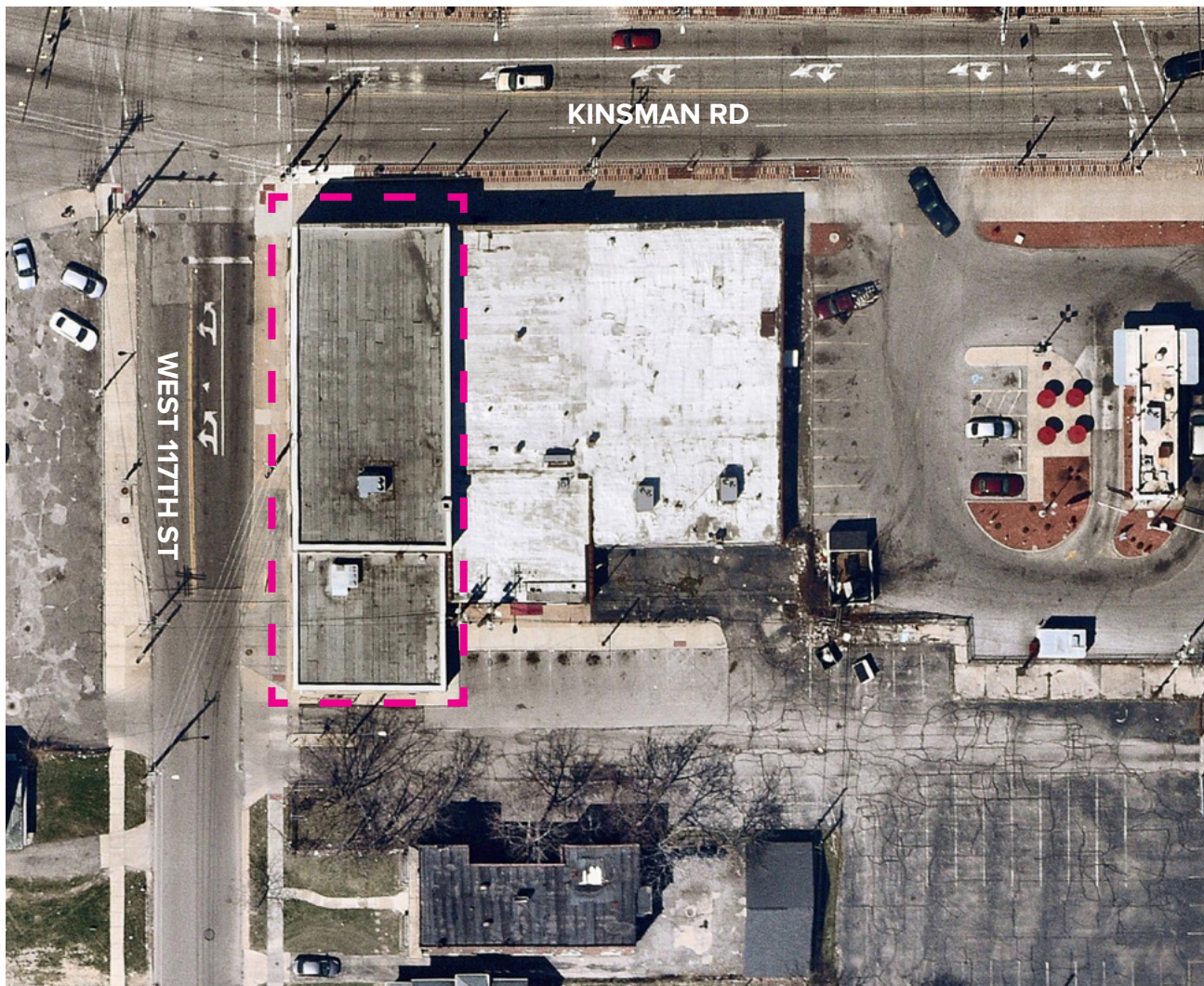
COST LISTED IS BASED ON NEW BUILDING, SEE MT PLEASANT SECTION FOR ALTERNATIVE SITE OPTIONS

Mount Pleasant Branch

Mount Pleasant Neighborhood



Branch Information



BRANCH STATISTICS

Location: 3096 Scranton Rd

Year Constructed: 1903 (renovated 1981)

Size: 8,200 sf

Parking: None

The Mt Pleasant branch of the Cleveland Public Library is located in a building that originally built in 1937 as a bank. The building was renovated in 1981 to be used as a branch library. It is located at the corner of Kinsman and East 140th Street. The library directly abuts adjacent buildings to the east and has only a sidewalk between it and the street on the north and west. The parking lot to the south is not the property of the library and not intended for its patrons. The building is 7,200sf with all occupied space on the ground level. The mechanical room is located in an otherwise abandoned partial basement and a small mezzanine floor is located in the middle third of the building that is used only for access to the roof and some ancillary storage. The majority of the building is clad in coursed stone with a granite water table with a smaller brick clad addition to the south.

Community Outreach

OUTREACH SUMMARY Mt Pleasant and East 131st Branches were grouped together for the purposes of their engagement. In 2013 a neighborhood plan showed the two branches consolidated into one new branch building located on Union Ave, part of a new Civic Commons which includes a neighborhood recreation center. That plan, though produced with community consensus, was not developed through CPL. As a result, for these two branches the engagement process centered around (though was not limited to) the question of consolidation. Consolidating the two branches was the community preferred alternative throughout the entire engagement process, including at youth focus groups and in talks with community development stakeholders. However, vacating the existing branch buildings—particularly East 131st Branch, caused some concern around losing important civic landmarks in a neighborhood that has already seen many of its old structures decline.

Outreach for this branch was performed as part of the CPL150 Community Vision Plan (See cpl150.org for more details)

Note: Outreach for Mt Pleasant and East 131st Street branches was performed jointly due to community's interest in consolidation



Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Pursue branch consolidation with E 131st and work with Mt Pleasant NOW on new Union Ave community campus development
- Determine secure future use for E 131st Carnegie building
- Provide lounge seating, laptop bar, and more reading/study furnishings
- Create space for a flexible public meeting room within building which allows for a variety of uses
- Create private study rooms for quiet reading/study in branch
- Create playful/colorful kids' area AND dedicated teen spaces
- Integrate public art from local artists on branch interior, exterior & grounds
- Create an outdoor reading garden
- Program outdoor space with temporary events and public art installations
- New library signage on Union
- Integrate sufficiently large parking lot with drive-through drop-off
- Provide after-school tutoring/mentoring programs for local youth
- Develop shared programming with Rec Center
- Expand Workforce Training programming & jobs fairs for adults & teens

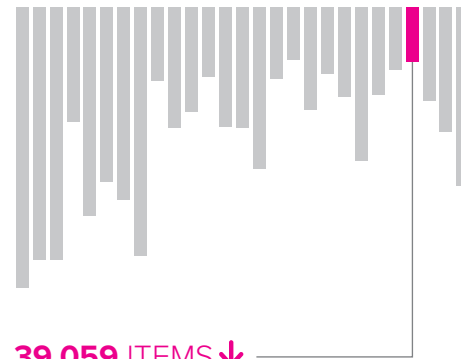
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



48,421 VISITS ↓
3RD LOWEST OF 27 BRANCHES

CIRCULATION



39,059 ITEMS ↓
2ND LOWEST OF 27 BRANCHES

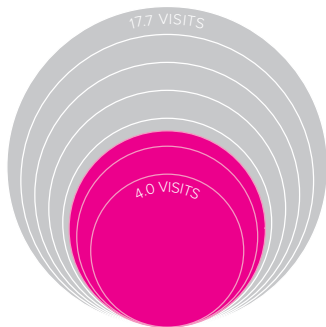
SERVICE AREA POPULATION



12,792 RESIDENTS

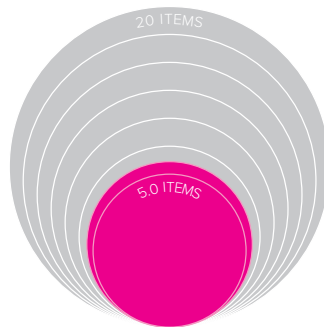
2 OCCUPIED AREA ANALYSIS

ATTENDANCE

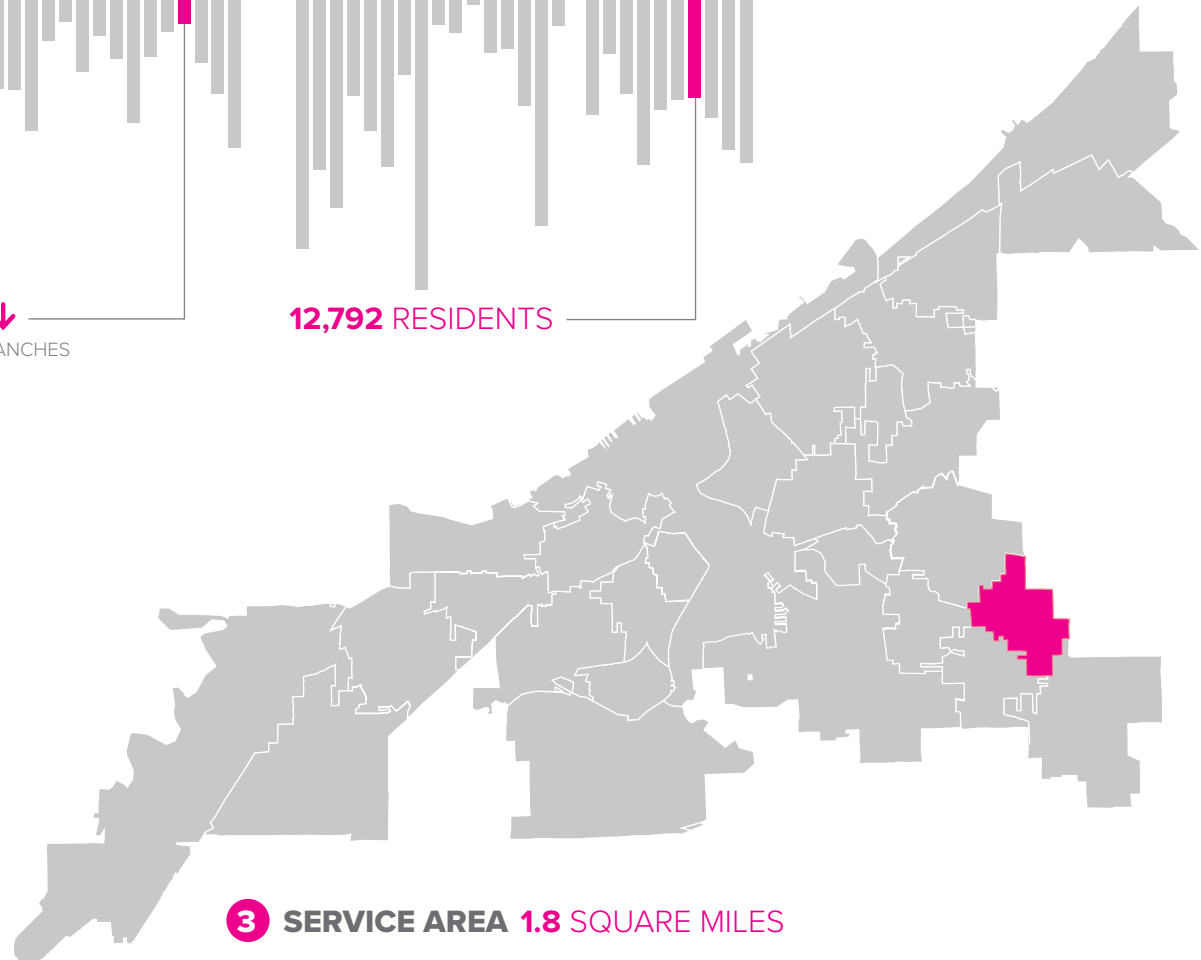


6.6 VISITS PER SF

CIRCULATION



5.4 ITEMS PER SF



3 SERVICE AREA 1.8 SQUARE MILES

KEY DATA REPRESENTATION



1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The original bank building is in generally good condition creates a branch with unique architectural character. That character could be enhanced if a future renovation reclaimed some of the unused volume above the ceilings. The building has a second entry that could allow for after hours use of the meeting room but it is not located in an area where staff can easily provide oversight which makes it a security concern. The branch has a relatively small footprint and is built to the lot line leaving no room for expansion. While there are accessibility issues throughout the fact that all occupied spaces are on a single floor and entry is on grade simplifies updates required compared to many branches.

SITE The library is located on a single level with on grade access. The library is located on a tight corner site with no public outdoor space or parking lot for its use and no space to add either without acquisition of adjacent properties.

MECHANICAL The Mt. Pleasant Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2017 and is in good condition. Plumbing fixtures were in proper working order. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. The existing sewer system appears to be in working condition without issue. The sewage ejector in the basement is in good working condition. The strainers for the roof drains are in poor condition and should be replaced.

PLUMBING The Mt. Pleasant Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2017 and is in good condition. Plumbing fixtures were in proper working order. All of the public hand washing sinks were not equipped with ASSE 1070 mixing valve for tepid water which should be installed. The existing sewer system appears to be in working condition without issue. The sewage ejector in the basement is in good working condition. The strainers for the roof drains are in poor condition and should be replaced.



Mt Pleasant Facility Exterior - 1937



Mt Pleasant Facility Interior - 1952

ELECTRICAL The electrical systems in the Mt. Pleasant branch are in fair condition and should be maintained. The Mt. Pleasant branch main distribution equipment has spare capacity for future loads, but the existing branch circuit panels have limited spare capacity. As a result, any new/additional work will result in a new branch circuit panel. The library has multiple life safety concerns in regards to the existing fire alarm system and emergency egress lighting. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Mt. Pleasant library uses surface mounted wallpacks for site lighting. The existing wall mounted exterior fixtures are in poor condition and have reached the end of their life cycles. The Mt. Pleasant branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

**TOTAL COST OF DEFERRED
MAINTENANCE ITEMS: \$724,265**



Building Exterior



Building Interior

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

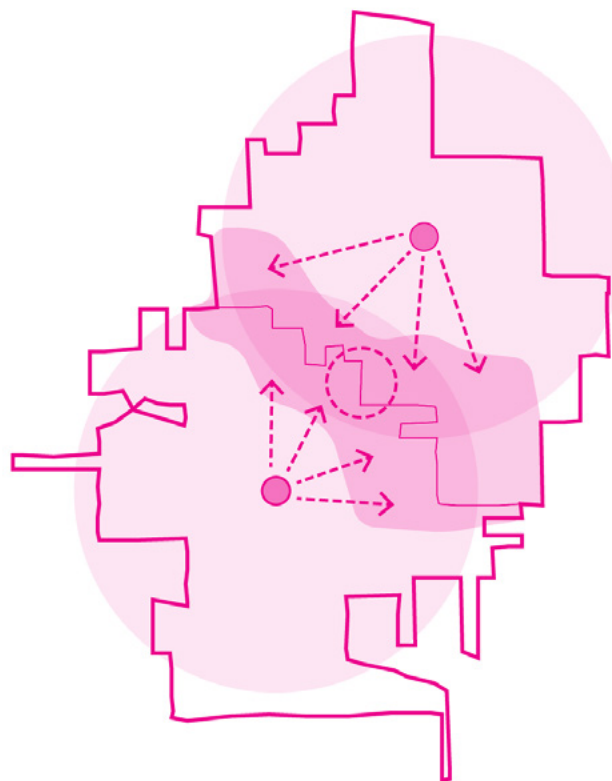
- The building lacks transparency
- Building interior is divided into distinct spaces, limiting program flexibility
- The building is located adjacent to a small commercial center, limiting natural light and limiting the ability for the building to expand
- No defined teen area
- Meeting room is closed off by other programs, limiting flexibility, but has the ability to be used for after hours gatherings
- No small quiet study spaces
- There is no library designated parking
- Branch and site size is too small to meet the criteria of a Community Hub
- Staff spaces are broken up

Branch Recommendation

CONSOLIDATE

CURRENT STATE The Mt Pleasant branch occupies a re-purposed bank building positioned at the end of a retail block. Though the building is in fair condition the branch's functionality is constrained by the small site which leaves no room for expansion and provides no library parking. Though in an active commercial area this branch is lightly attended and one of the lowest circulating in the system.

FUTURE VISION It is recommended that this branch building consolidated with the East 131st branch. These are two of the least used branches and serve a relatively small geographic area. A high level of service can be maintained with a new building in a new location supporting a combined service area. Consideration should be given to renovating the East 131st branch for the consolidation though it is anticipated a new branch on a new site will better serve the community.



Potential Relocation Options

PROCESS It is recommended that Mt Pleasant and East 131st be consolidated into a new building at a new location. The potential new site options were analyzed based on availability, accessibility, flexibility, and their impact on the community. These sites were then compared to determine which options best fit the needs of the combined service area.

IMPLEMENTATION COST

CONSOLIDATION

It is recommended that the Mt Pleasant branch be consolidated with the East 131st branch and relocated to a new facility on a new site. The facility will be a Neighborhood Branch.

Total Cost Of Implementation: **\$4,200,000**

COMBINED COST FOR MT PLEASANT AND E.131ST CONSOLIDATION

POTENTIAL SITES

1. EAST 116TH (JOHN ADAMS COLLEGE)

Located west of the two sites, at the intersection of East 166th and Corlett Avenue. (Furthest from Mt Pleasant)

2. EAST 131ST (CHARLES DICKENS)

Located between the two sites, at a concrete lot across from Charles Dickens Elementary School

3. EAST 129TH (CO-LOCATED W/ FIRE STATION)

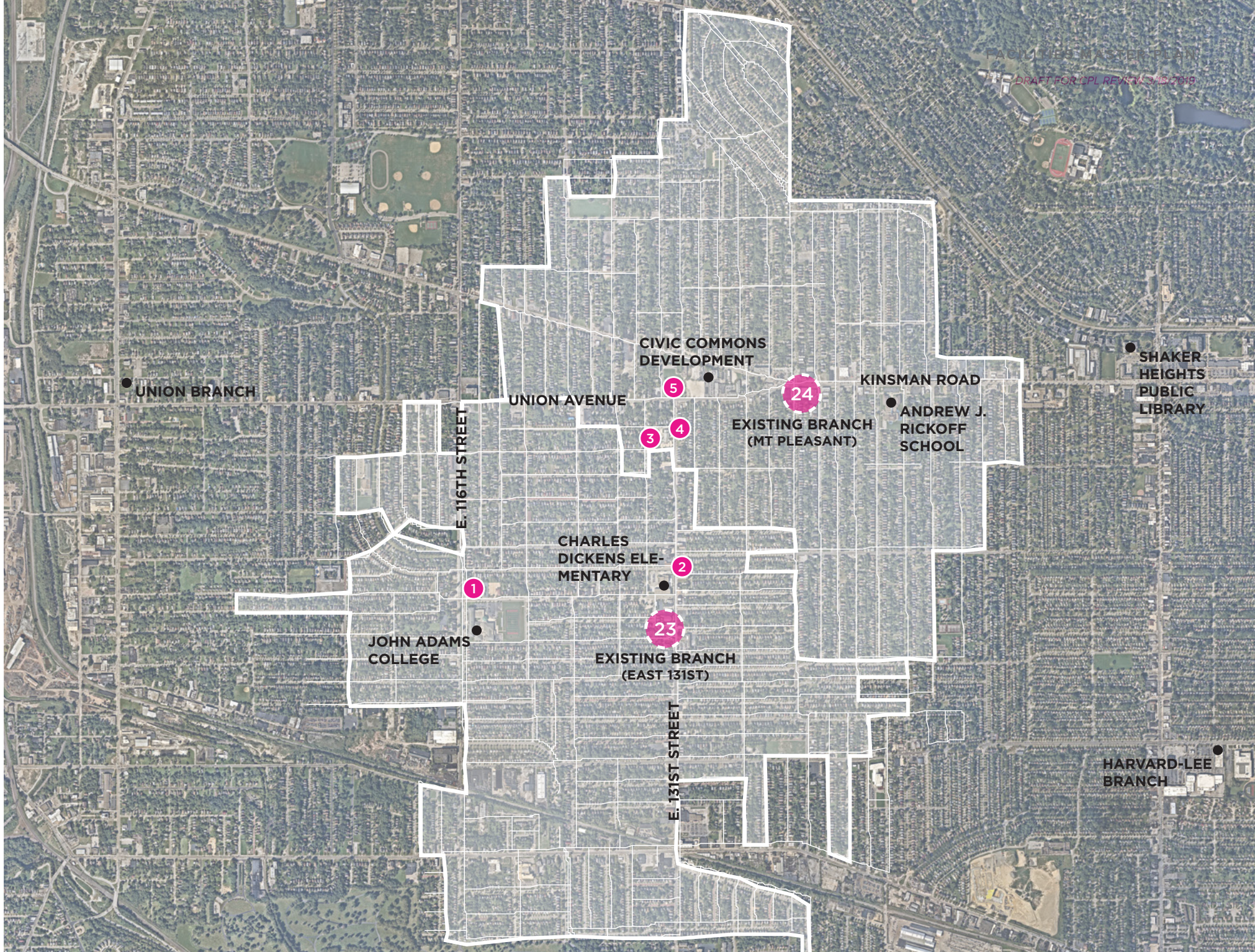
New branch would share the site with the new fire station near East 131st Street.

4. EAST 131ST (ACROSS FROM FIRE STATION)

Located between the two sites, at a series of grassy lots across from the new fire station along East 131st Street

5. UNION AVENUE (CIVIC COMMONS)

Located between the two sites, as part of the new Civic Commons District Plan at the intersection of East 131st and Union Avenue



UNION BRANCH

CIVIC COMMONS DEVELOPMENT

KINSMAN ROAD

SHAKER HEIGHTS PUBLIC LIBRARY

UNION AVENUE

5

24

ANDREW J. RICKOFF SCHOOL

EXISTING BRANCH (MT PLEASANT)

3

4

E. 116TH STREET

CHARLES DICKENS ELEMENTARY

2

23

EXISTING BRANCH (EAST 131ST)

1

JOHN ADAMS COLLEGE

E. 131ST STREET

HARVARD-LEE BRANCH

Potential Relocation Options

SITE CHARACTERISTICS

- Located on a moderately used road, but is not near an active commercial center
- Size of site limits building expansion and flexibility
- No parking and no space to provide a new lot
- Site is flat but too small to accommodate a single story branch
- No on-site parking
- Not centrally located for the consolidation of these two branches
- Located near one stop along the local RTA route
- Proximate to several learning institutions and other social and cultural amenities

EXISTING SITE:

EXISTING EAST 131ST OPTION

Location: 3830 East 131st Street, Cleveland, OH

Total Lot Size: 13,700 SF

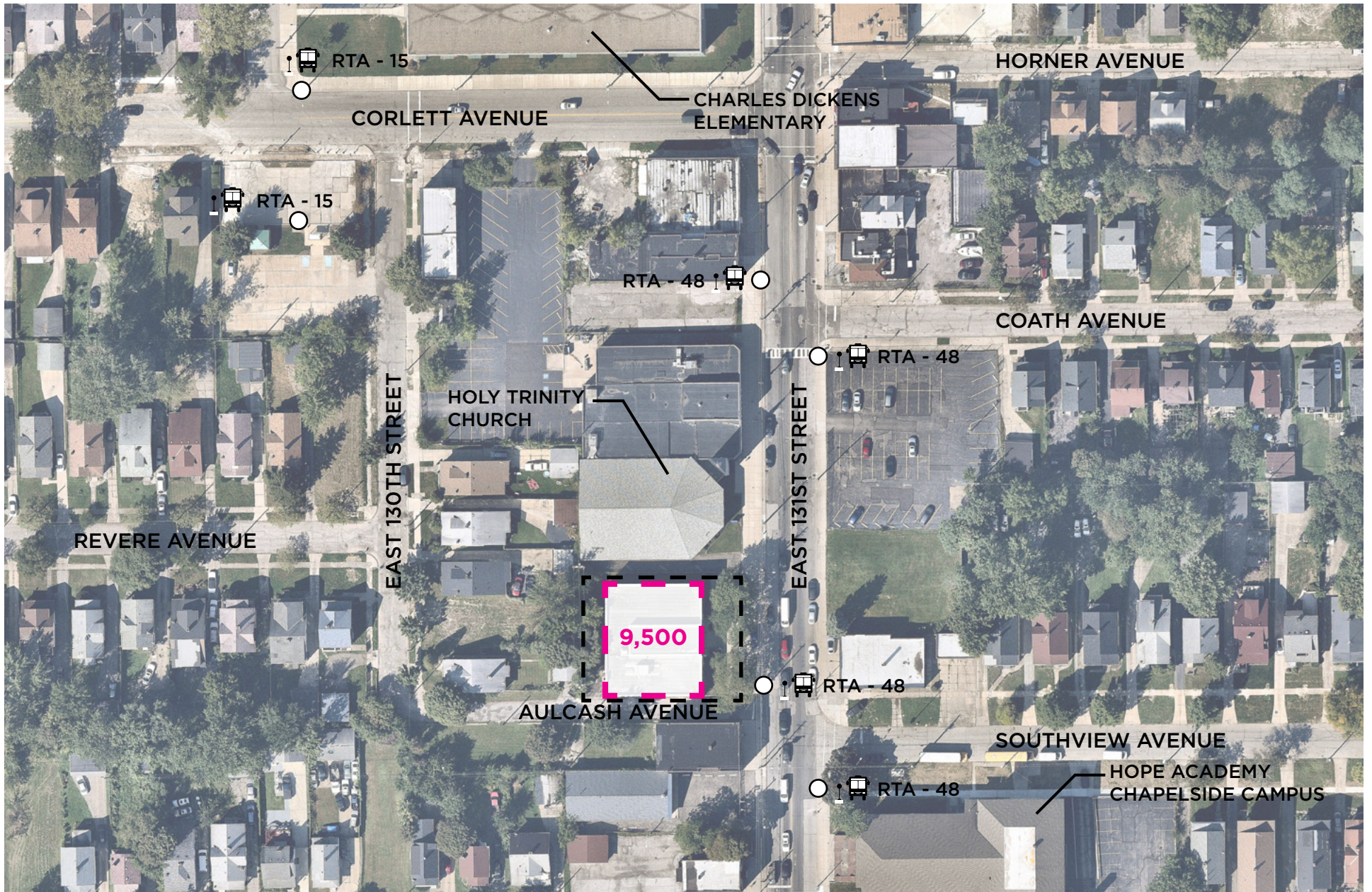
Existing Building Size: 9,600 SF

Description: This site would re-utilize the existing property and the existing branch building.

Amenities:

- Hope Academy Chapelside Campus
- Charles Dickens Elementary School
- RTA stops

Site Criteria	Inadequate	Limited	Sufficient
Available			
Accessible			
Flexible			
Community Focused			



Potential Relocation Options

SITE CHARACTERISTICS

- Located on a significant road within the neighborhood
- Proximate to the proposed Civic Commons District Plan, a new mixed-use district at the intersection of Union and Kinsman
- Site is large enough to accommodate a Neighborhood Branch with on-site parking
- Shape and size of site limits flexibility, with limited ability to expand after construction
- Site is flat, accommodating a single story branch model
- Centrally located for the combined service areas
- Located near several stops along the local RTA route

POTENTIAL SITE:

EAST 131ST (ACROSS FROM FIRE STATION)

Location: 3553 East 131st Street, Cleveland, OH

Total Lot Size: 36,000 SF

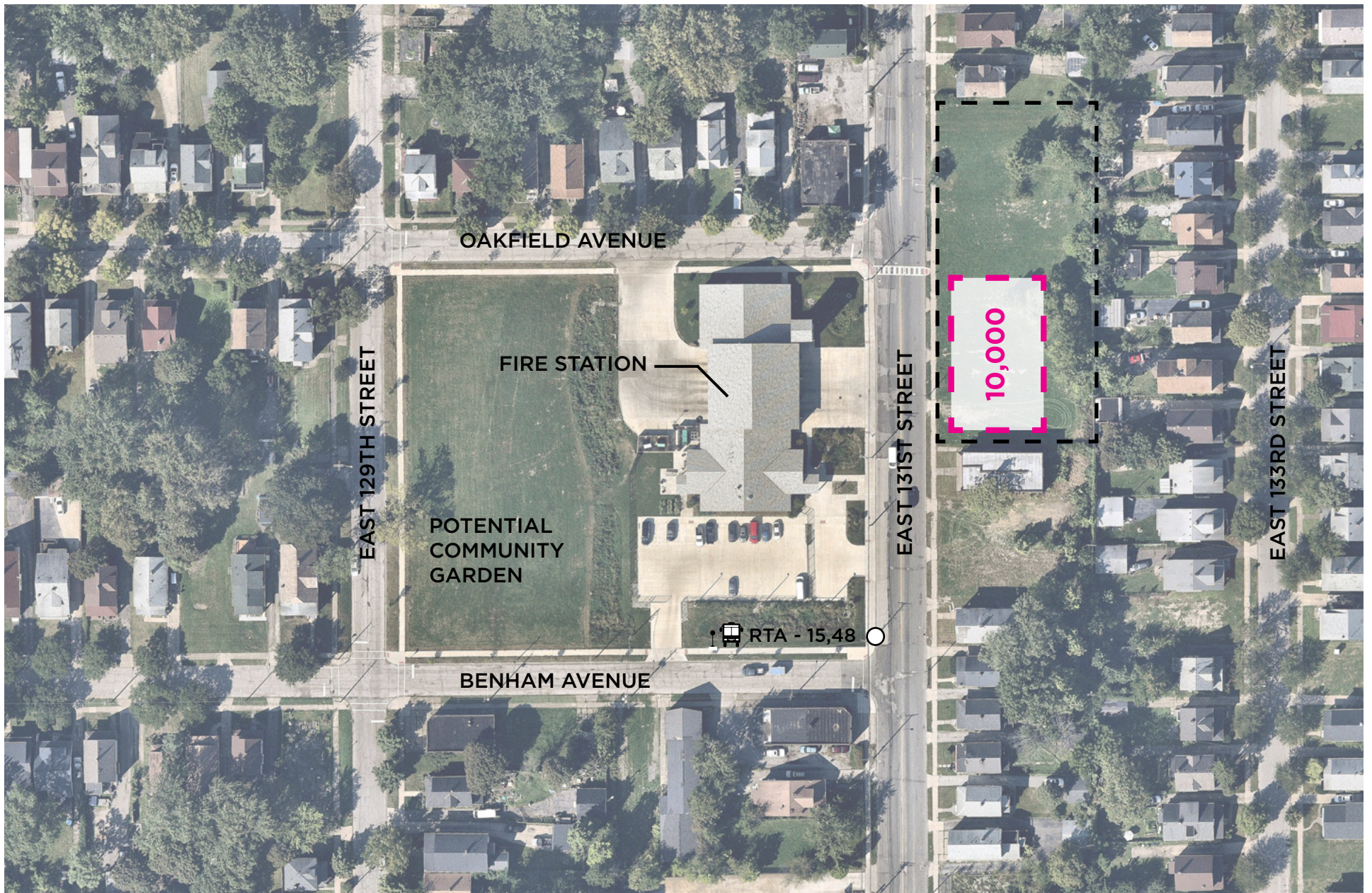
Potential Building Size: 10,000 SF

Description: This site would consolidate two branches at a new location between the two sites, at a series of parcels across from the fire station.

Amenities:

- Fire Station
- RTA stops
- Potential Community Garden

Site Criteria	Inadequate	Limited	Sufficient
Available			
Accessible			
Flexible			
Community Focused			



Potential Relocation Options

SITE CHARACTERISTICS

- Located within the proposed Civic Commons District Plan, a new mixed-use district at the intersection of Union and Kinsman
- Located on a major road in the community, near several stops along local RTA routes
- Proximate to several important social and cultural amenities
- Site is large enough to accommodate a Neighborhood Branch with on-site parking
- Shape and size of site accommodates flexibility
- Site is flat, accommodating a single story branch model
- Centrally located for the combined service areas
- Size of site leaves ample room for building expansion

POTENTIAL SITE:

UNION AVENUE (CIVIC COMMONS PLAN)

Location: 3465 East 130th Street, Cleveland, OH

Total Lot Size: 50,000 SF

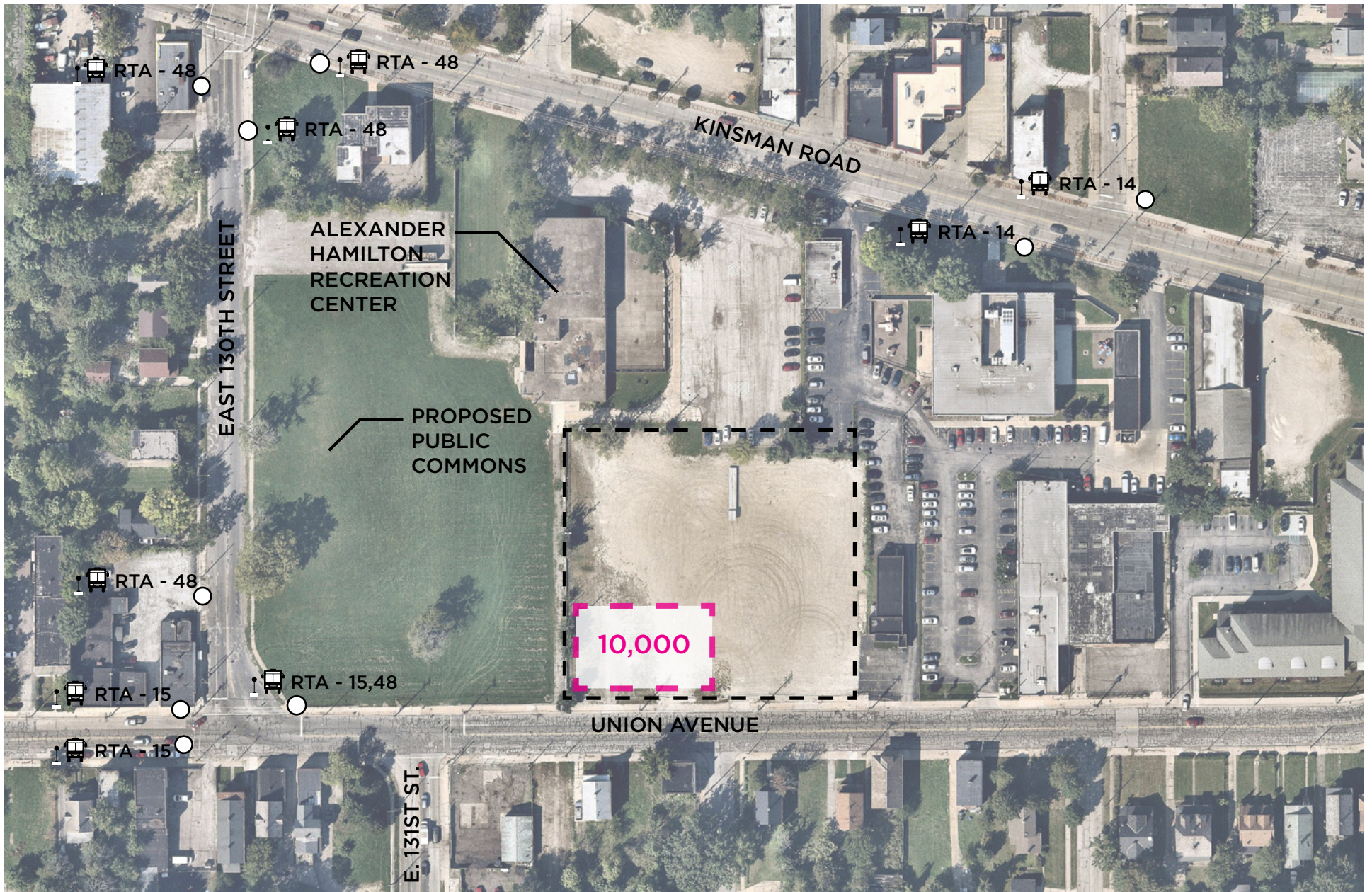
Potential Building Size: 10,000 SF

Description: This site would consolidate the two branches at a new location between the two sites, as part of the new Civic Commons District Plan at the intersection of East 131st and Union Avenue.

Amenities:

- Alexander Hamilton Recreation Center
- Cuyahoga County Employment Center
- Access to green space
- RTA Stops

Site Criteria	Inadequate	Limited	Sufficient
Available			
Accessible			
Flexible			
Community Focused			

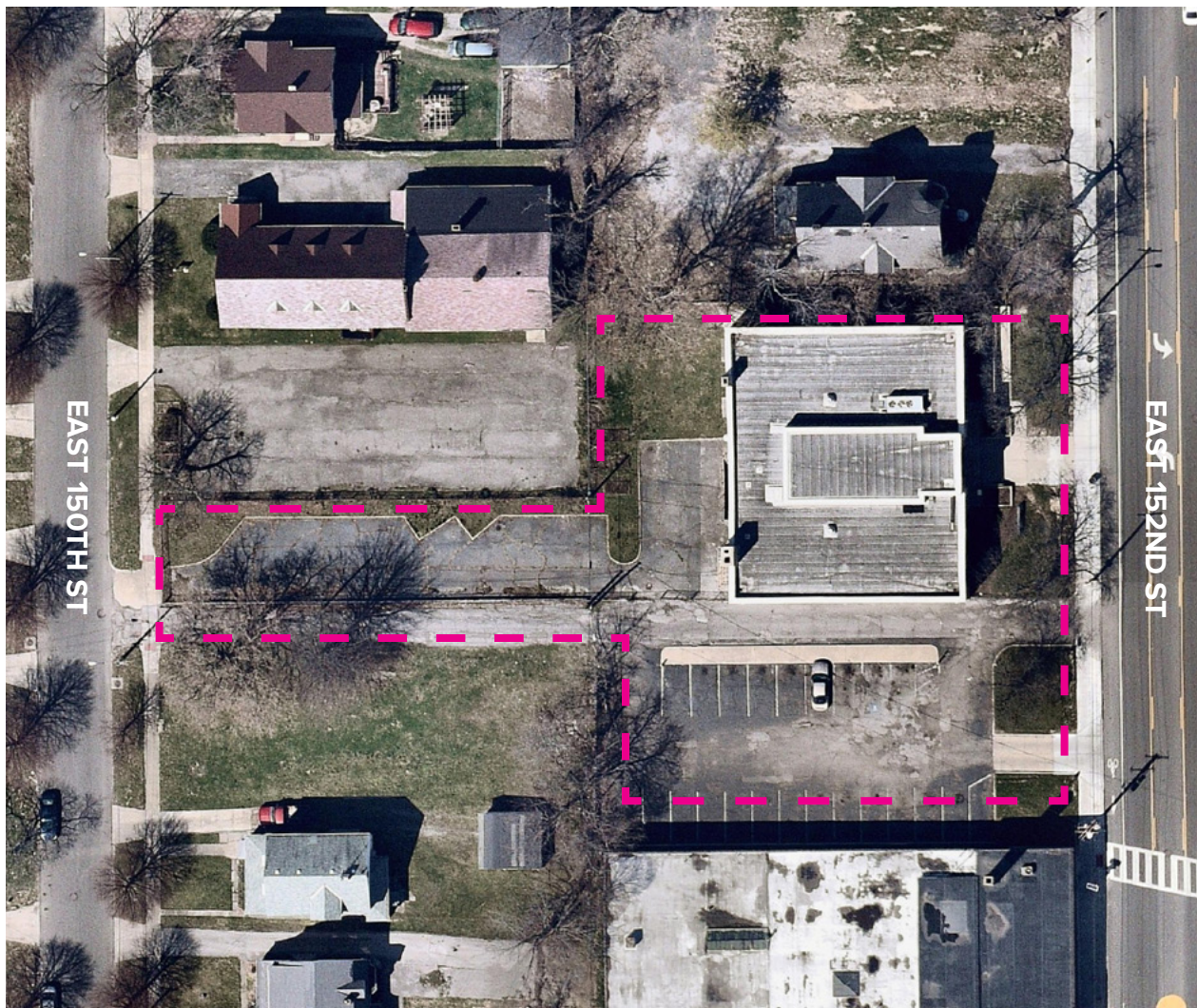


Collinwood Branch

Collinwood Neighborhood



Branch Information



BRANCH STATISTICS

Location: 856 152nd St

Year Constructed: 1928 (renovated 1980)

Size: 14,500 sf

Parking: 24 spaces

The Cleveland Public Library Collinwood Branch was built in 1928, designed by renowned Cleveland architects Walker and Weeks with a renovation in 1980 that maintained most of the original character on the building's exterior. It is located at 856 East 152nd Street on the city's east side north of St Clair Ave. It is a tight, mid-block site along an alley with access from the sidewalk and parking across the alley to the south. The building is 14,500sf over one story and a basement with collections, reading areas, meeting room, and staff spaces all at the first floor. The basement has been abandoned with the exception of mechanical spaces. The building is clad in buff with glazed terracotta accents and a flat roof.

Community Outreach

OUTREACH SUMMARY The Collinwood branch is viewed as an essential community anchor along W 152nd. However, it is well at capacity for interior space, especially after school. There was strong support for a small addition and the reclaiming of the basement meeting space, and patrons were clear in their desire for a larger, reconfigured parking lot that would absorb the space of the adjacent alley. A refresh of the interior finishes

and lighting were also strongly desired, in order to send a message of modern investment to the local neighborhood.

Outreach for this branch was performed as part of the facilities master plan, see Process section for summary of the outreach process



Community Outreach Session

PRIMARY COMMUNITY NEEDS

- Enlarge branch - reclaim downstairs meeting room
- Improved, modernized interior - new lighting, color, flexible seating
- Create a separate teen room & specific programs for teens
- Improve parking lot configuration - reclaim alley & back parking lot
- Consider outdoor seating area to side of entrance for teens
- Pursue link to elementary school to the west through vacant lots (work with City/CDC)
- Pursue traffic-calming / improved crosswalk across W 152nd
- Hold technology & jobs training classes & programs
- Hold more art, music, & poetry programs for teens

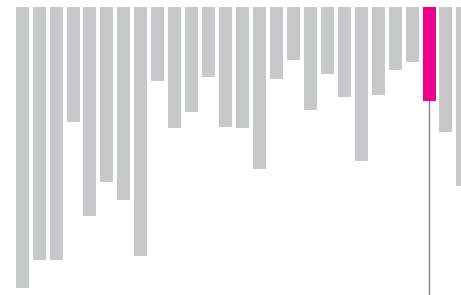
1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



62,900 VISITS

CIRCULATION



66,780 ITEMS

SERVICE AREA POPULATION

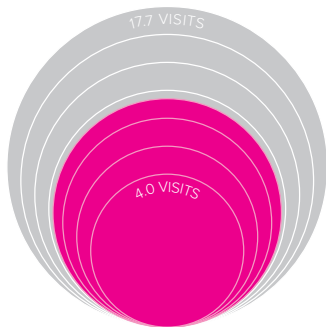


14,769 RESIDENTS

2 OCCUPIED AREA ANALYSIS

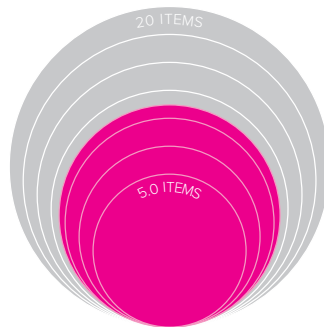
CURRENT OCCUPIED SQUARE FOOTAGE: 14,000 SF

ATTENDANCE

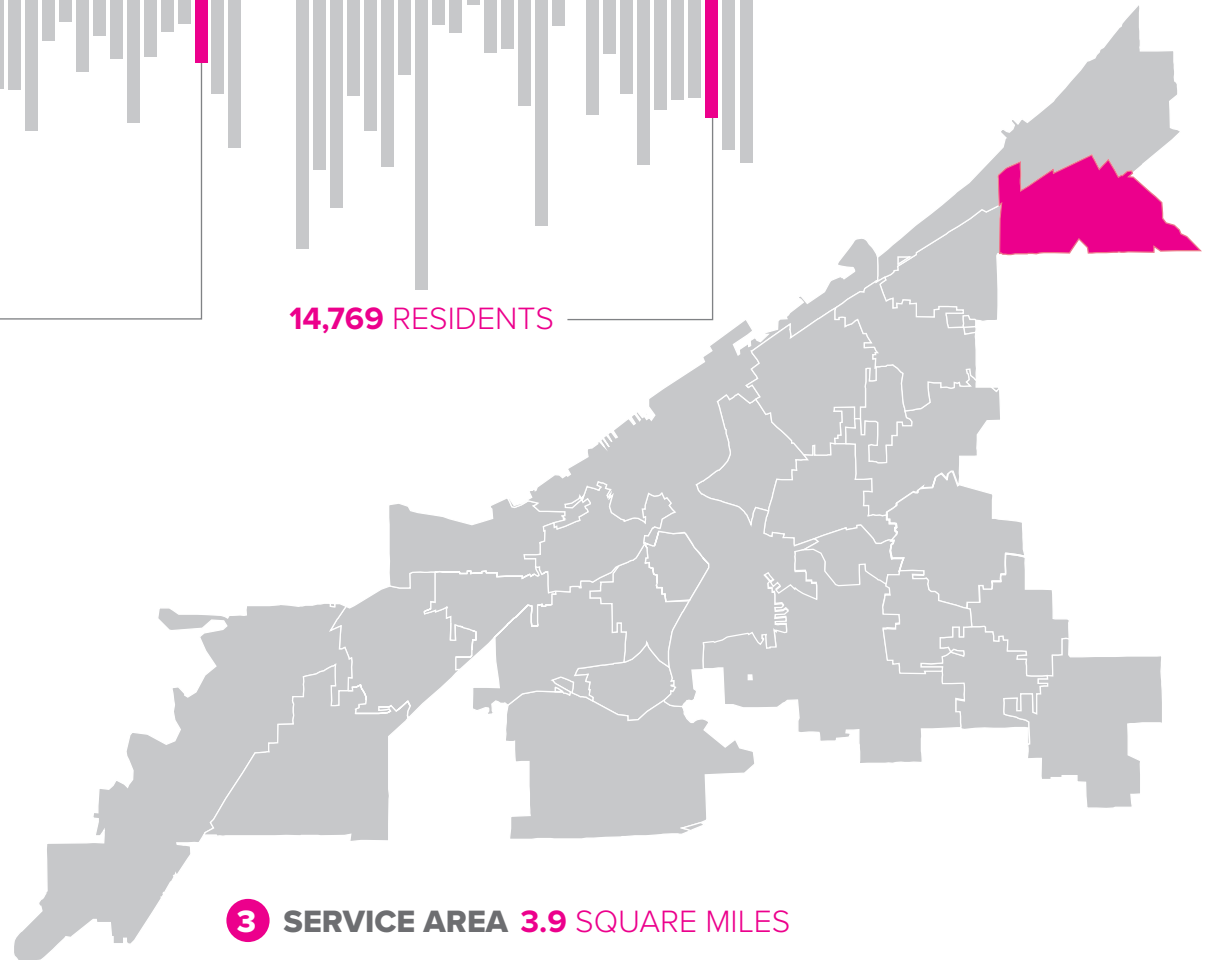


9 VISITS PER SF

CIRCULATION



9.5 ITEMS PER SF



3 SERVICE AREA 3.9 SQUARE MILES

KEY

DATA REPRESENTATION

System Wide
Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL Much of the historic character of the Collinwood Branch is intact and, with recently completed warm safe and dry work it is in serviceable condition in the near term. The building envelope is mostly original and in fair condition though there is some cracking in masonry where original windows were bricked in. The basement is currently abandoned and if it were to be repaired and updated for public an elevator would need to be added to allow for access. The existing roof installation is older and in fair condition but should be considered for replacement.

SITE The library is located on a tight site with minimal front yard and a small rear yard. The library recently acquired and repaved a parking lot across the alley to the south as well as control of the alley itself, there is also opportunity to expand parking along the alley. After recent work the site is in fair condition but is in need of updating.

MECHANICAL The Collinwood Branch HVAC system consists of one air handling unit located on the mezzanine, one condensing unit on the roof and two 80% efficient boilers. The air handling unit, condensing unit, and boilers were all recently replaced and are in excellent condition. The building is currently controlled by a Variable Air Volume system with a Building Automation System and DDC controls; the building temperature control system is in fair condition and may remain in service. The heating water pumps were recently replaced and are in excellent condition. The finned tube radiation around the building is in fair to poor condition and should be replaced.

PLUMBING The Collinwood Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2018 and is in excellent condition. Plumbing fixtures are in proper working order. All of the public hand washing sinks were equipped with ASSE 1070 mixing valve for tepid water except for the Staff lavatory, which doesn't have a mixing valve. All of the public water closets, lavatories, and the urinal are ADA compliant except for the staff rest room; they may remain in service. The existing sewer and storm drainage system appears to be in working condition without issue, with the exception of a storm drain leak in the basement. The strainers for the roof drains are in fair condition and may remain.



Branch under construction - 1927

ELECTRICAL The electrical systems in the Collinwood branch are in fair condition. The main distribution panels at the Collinwood branch are in good/like new condition. Additionally, the main distribution panels have spare capacity for future loads. The corresponding branch circuit panels are in poor condition and have reached the end of their service lives. Replacement of the existing Collinwood branch circuit equipment needs to be considered due to the age of the equipment and the difficulty in acquiring the appropriate overcurrent devices, which are no longer manufactured. Additionally, due to limited spare capacity in the existing branch panels, new/additional work will result in a new branch circuit panel. In most locations, the library has the appropriate coverage

in regards to the emergency egress lighting and fire alarm device placement. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Collinwood library uses surface mounted wallpacks and a utility pole mounted HID fixture for site lighting. The existing surface mounted exterior fixtures and utility pole mounted HID fixture are in good condition, and should be maintained. The Collinwood branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$381,159



Building Interior



Building Exterior

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

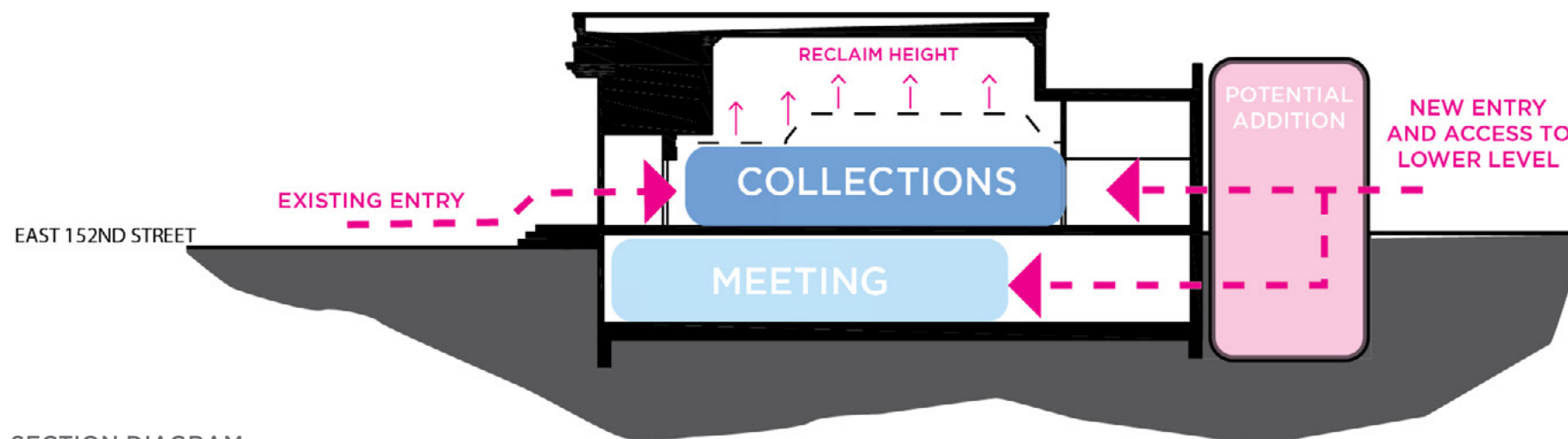
- Strong historic character
- The building lacks transparency
- Limited street presence
- Meeting rooms at lower level have been abandoned due to accessibility issues but are amply sized
- A recent expansion of the parking lot was completed but is across an alley from the library
- Though not a large site, there is minor room for expansion
- No defined teen area
- No small quiet study spaces
- Historic character at the interior was diminished during past renovation

Branch Recommendations

RENOVATION WITH ADDITION

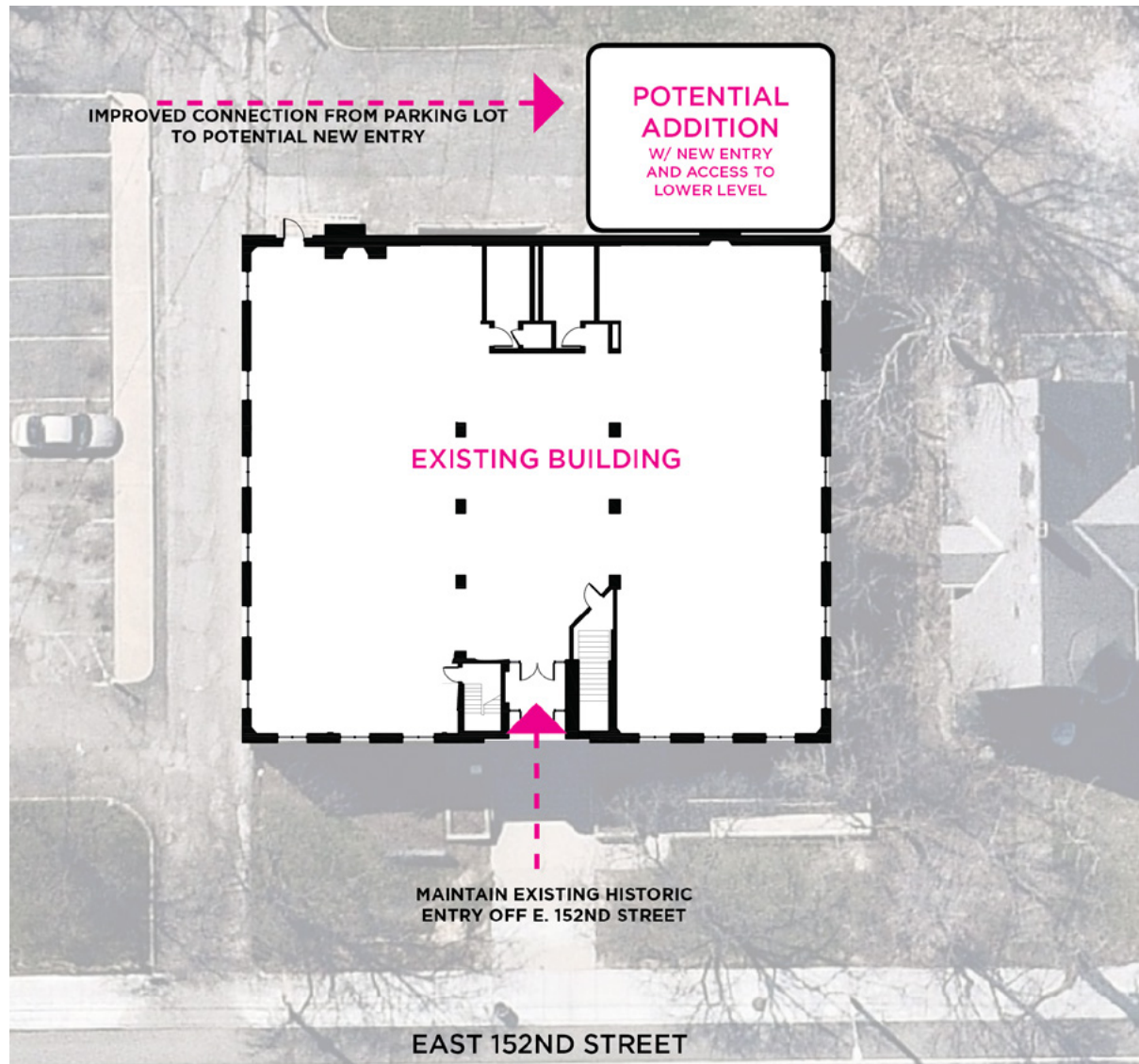
CURRENT STATE Though not a Carnegie library the Collinwood branch is in an historic building designed by renowned Cleveland architects Walker and Weeks. Much of the building’s historic character has been retained, though the lower level meeting rooms were abandoned in a past renovation due to accessibility issues. There is some room for expansion behind the building and a recent expansion of the parking lot was completed, improving access but directing more patrons to the rear of the building.

FUTURE VISION It is recommended that this branch building be renovated and expanded with a new two-story addition providing access to the lower level meeting rooms. In addition to creating access to the basement an addition on the rear of the building would create a more welcoming entry from the parking lot while maintaining the historic façade at the street. Reclaiming the basement would provide a significant increase in meeting space and allow for a more open, flexible layout on the first floor. This expansion would allow the branch to serve as a new Community Hub.



SECTION DIAGRAM

Future Vision

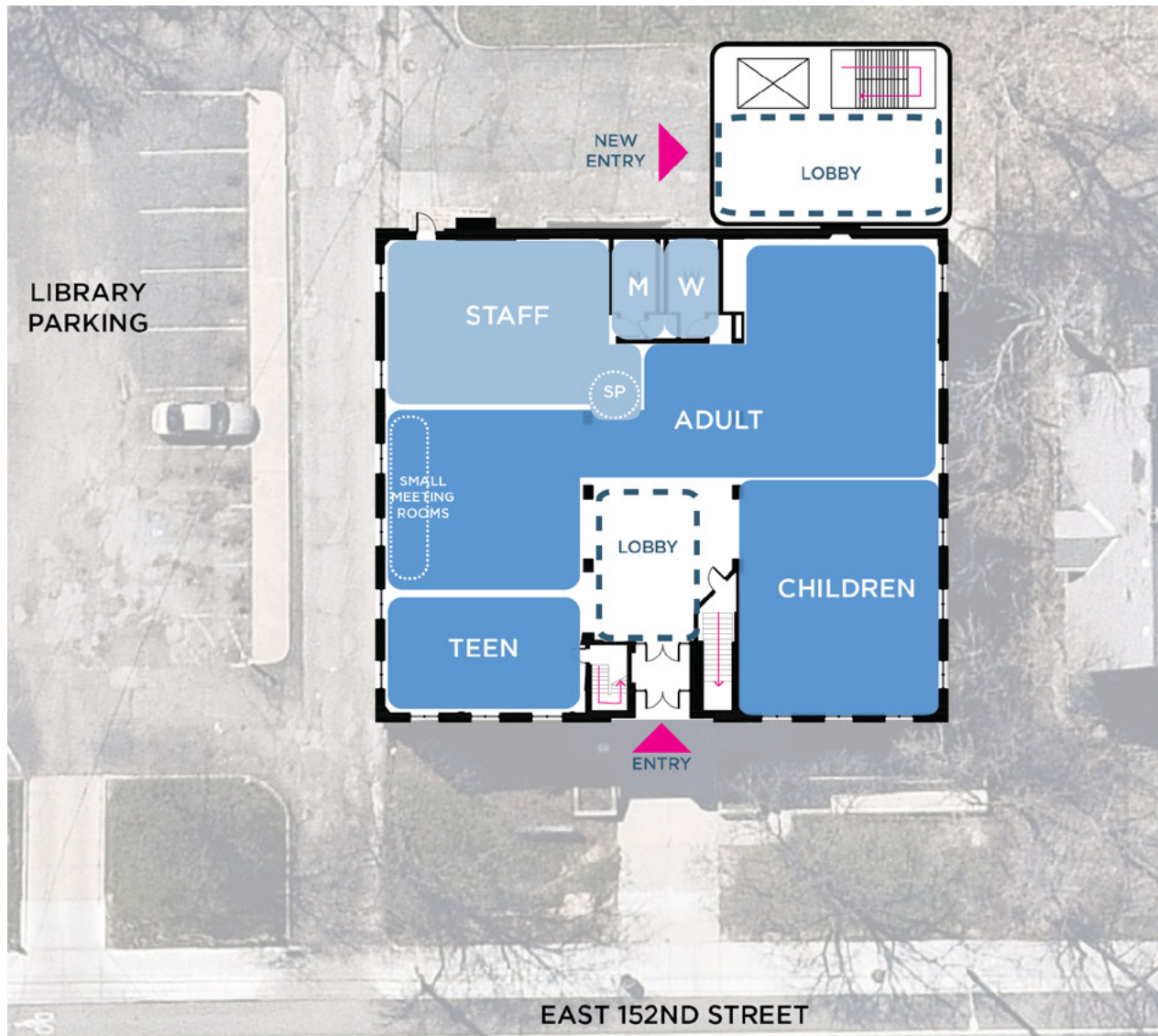


POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Create a small addition with access to the ground floor and lower level
- Utilize new addition to create new entrance off of the parking lot
- Renovate branch to make more efficient use of the space
- Maintain existing historic entrance from East 152nd Street
- Create a defined teen space
- Improve connection between the library and the parking lot
- Create new flexible meeting rooms at the lower level
- Improve wayfinding
- Add small group study space or other collaboration space
- Improve children's collection with small interactives area
- Consider an after-hours lobby or book lockers for extended service
- Reclaim historic vaulted ceilings
- Abandoned parking off the alley may be reclaimed as additional parking

Future Vision



POTENTIAL FIRST FLOOR PROGRAM

IMPLEMENTATION COSTS

RENOVATION WITH ADDITION

Total Cost Of Implementation: **\$3,600,000**

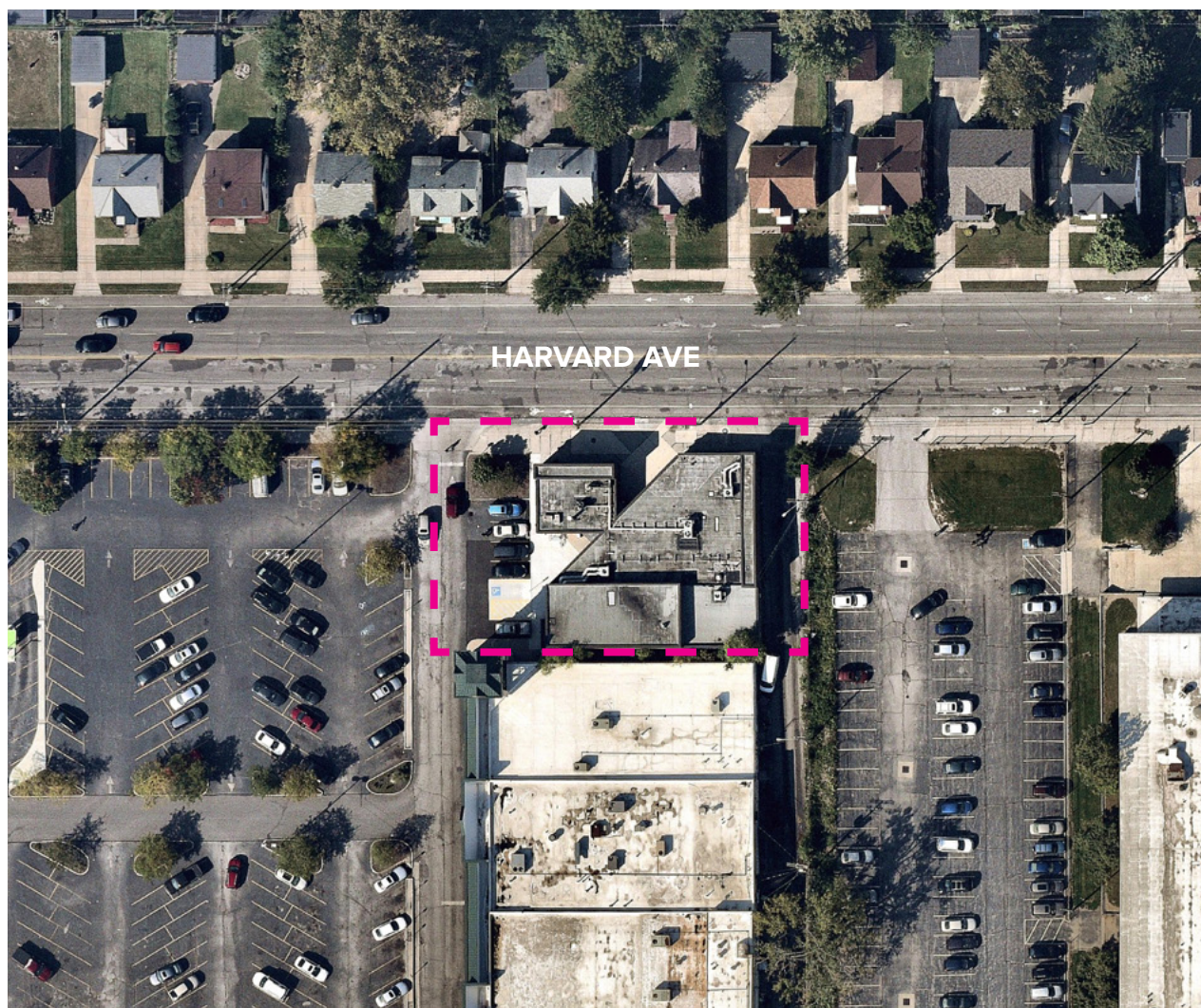
INCLUSIVE OF DEFERRED MAINTENANCE COSTS

Harvard-Lee Branch

Lee-Miles Neighborhood



Branch Information



BRANCH STATISTICS

Location 16198 Harvard Ave

Year Constructed 1979

Size 8,300 sf

Parking: 6 spaces

The Cleveland Public Library Harvard Lee Branch was built in 1979 and is located at 16198 Harvard Avenue on the city's southeast side. It is located between two parking lots within a retail center along Harvard Avenue with the main entry off of the west side parking lot accessed from the sidewalk. Parking is located east of the branch with entry on Harvard Avenue. The building is 8,300sf with a meeting room, collections, reading areas, a computer area, and a children's reading area. There is a 900sf basement accessed through a stairwell. The building is clad in red brick with a flat roof on the majority of the building.

Community Outreach

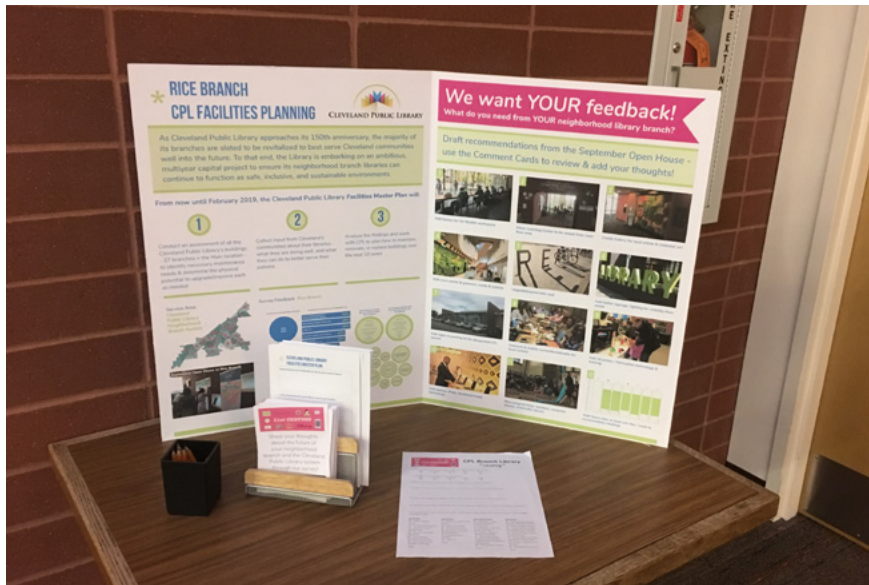
OUTREACH SUMMARY Harvard-Lee is well located in a central shopping center, but the building is seen as too small with no room to expand. Discussion of relocating the branch to the new Whitney Young school site brought mixed results - patrons liked the idea of a new, larger facility, but were hesitant about relocating to a high school, which they felt might be intimidating for the area's senior population. The interior and exterior

are both quite dull and nondescript; ideas about adding more public art, color, lighting, and signage were well-received.

Outreach for this branch was performed as part of the facilities master plan, see Process section for summary of the outreach process

PRIMARY COMMUNITY NEEDS

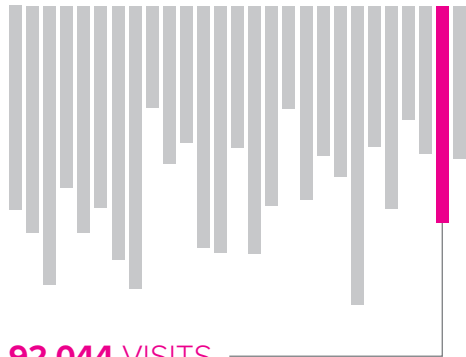
- Create a separate teen area
- Find opportunities for smaller work/study rooms
- Add more color & art to interior finishes
- Renovate the bathrooms
- Add color, murals, art to exterior
- Add more flowers/landscaping around front entrance
- Add better signage/lighting to exterior to call attention to branch
- Consider adding music recording software and equipment, programs
- Hold more programs for seniors in area



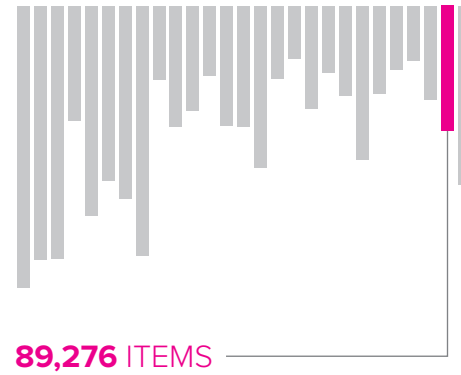
Community Outreach Session

1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



CIRCULATION



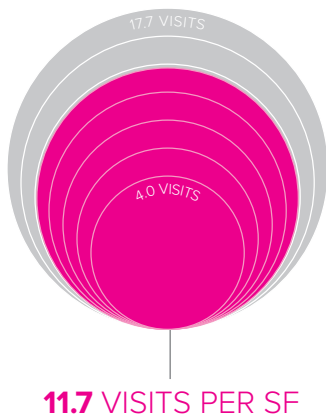
SERVICE AREA POPULATION



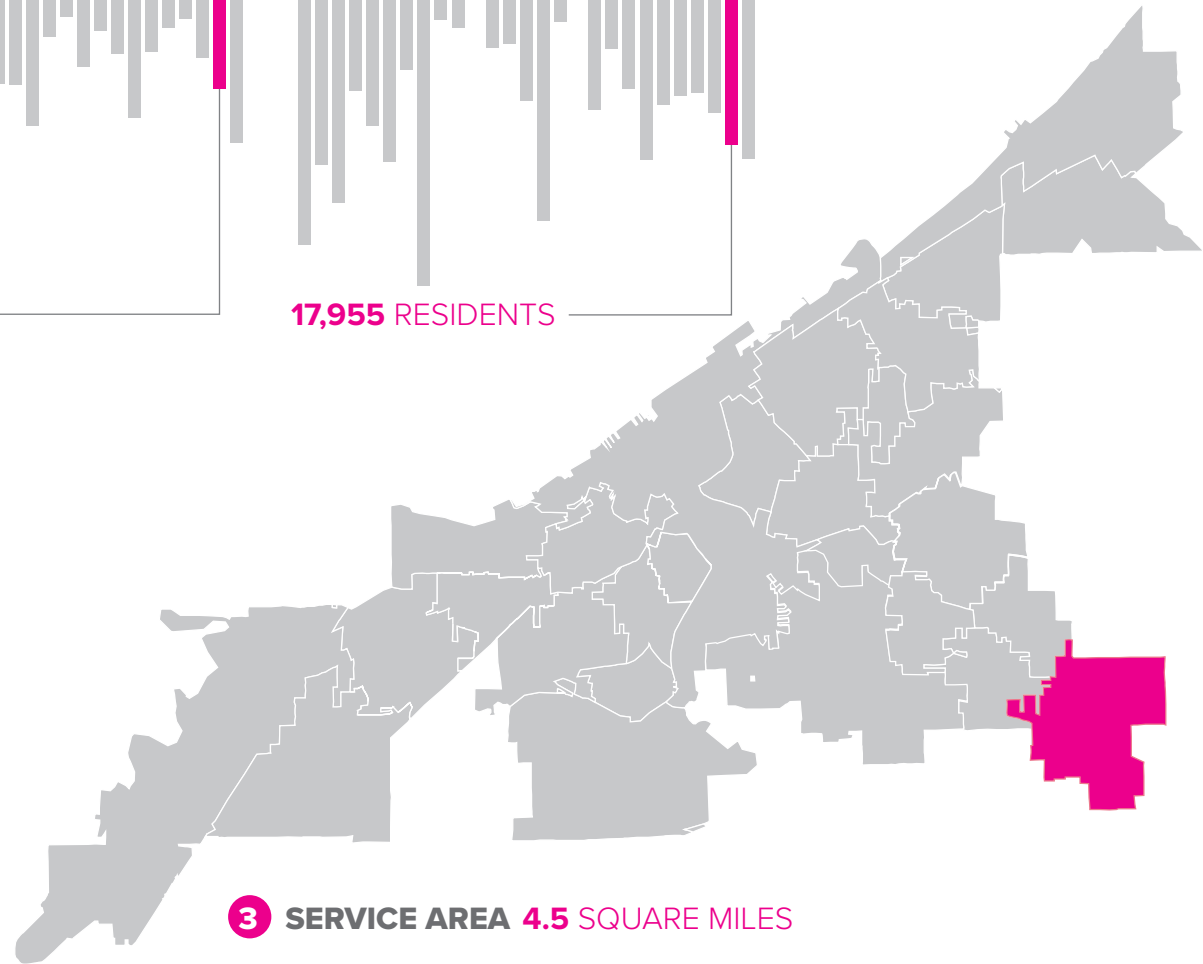
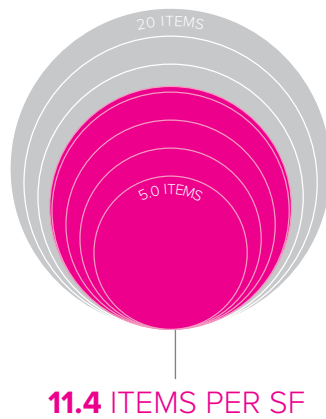
2 OCCUPIED AREA ANALYSIS

CURRENT OCCUPIED SQUARE FOOTAGE: 14,000 SF

ATTENDANCE



CIRCULATION



3 SERVICE AREA 4.5 SQUARE MILES

KEY

DATA REPRESENTATION

System Wide
 Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Harvard-Lee branch is generally in fair condition throughout. The branch has recently been updated for accessibility in public areas. All the public services are on a single floor, though a small basement is used for mechanical space. There are some issues regarding building egress that need to be addressed. There are some significant issues with the envelope, primarily at the storefront windows and the lower 12" of the brick course that require attention. There are areas of water infiltration that were noted, primarily at the storefront windows and the concrete masonry walls at the basement. The library finishes and millwork are older and should be considered for replacement with any renovation.

SITE The library is located on a tight site with no room for expansion. The library has on grade access from Harvard Avenue with no additional steps or ramping required to access the building from the lot or the street, though the concrete needs some repair. The building is located along a slope and must be accessed via an exterior stair or ramp from the parking lot. Accessibility from the parking lot was addressed with some recent work. The limited landscaping in the parking lot is in good condition, but needs to be maintained. The hardscape along Harvard Avenue is in poor condition and needs to be replaced.

MECHANICAL The Harvard-Lee Branch HVAC system consists of two split system HVAC, three rooftop units, units and two 80% efficient boilers. The split system air handlers and condensing units are in fair condition. The air handlers will reach the end of their service life within 5 years and should be scheduled for replacement. When the units are replaced, consideration should be made to go to a Variable Air Volume system with a Building Automation System for increased system efficiency. The two boilers are in poor condition, have reached the end of their service life, and should be replaced along with their related heating components. The primary heating water pumps were replaced in 2018, but the secondary pumps are old and past their service life. The secondary pumps should be replaced.

PLUMBING The Harvard-Lee Branch plumbing system consists of a domestic water heater and manually operated flush valve water closets and faucets. The domestic water heater was installed in 2018 and is in good condition. Plumbing fixtures were in proper working order and in compliance with ADA standards. All of the public hand washing sinks were equipped with ASSE 1070 mixing valve for tepid water. There are four wastewater pumps in the basement that are nearing the end of their service life and should be scheduled for replacement. The strainers for the roof drains are in poor condition and should be replaced.



Children's Section - 1979

ELECTRICAL The electrical systems in the Harvard-Lee branch are in fair condition and should be maintained. The Harvard-Lee branch main distribution equipment and corresponding branch circuit panels have limited spare capacity for future loads. Additionally, due to limited spare capacity in the existing branch panels, new/ additional work will result in a new branch circuit panel. The library has life safety concerns in regards to the emergency egress lighting coverage. In general, security and technology devices/ equipment are in acceptable condition and serve the current needs of the library. The Harvard-Lee library uses surface mounted wallpacks for site lighting. The existing wall mounted exterior fixtures are in fair condition and should be maintained. The Harvard-Lee branch has multiple energy savings opportunities through the use of LED technology, occupancy sensors, and daylight control. These lighting upgrades will provide the library with an efficient code-compliant system, lower utility bills, and a reduced energy footprint.

**TOTAL COST OF DEFERRED
MAINTENANCE ITEMS: \$773,681**

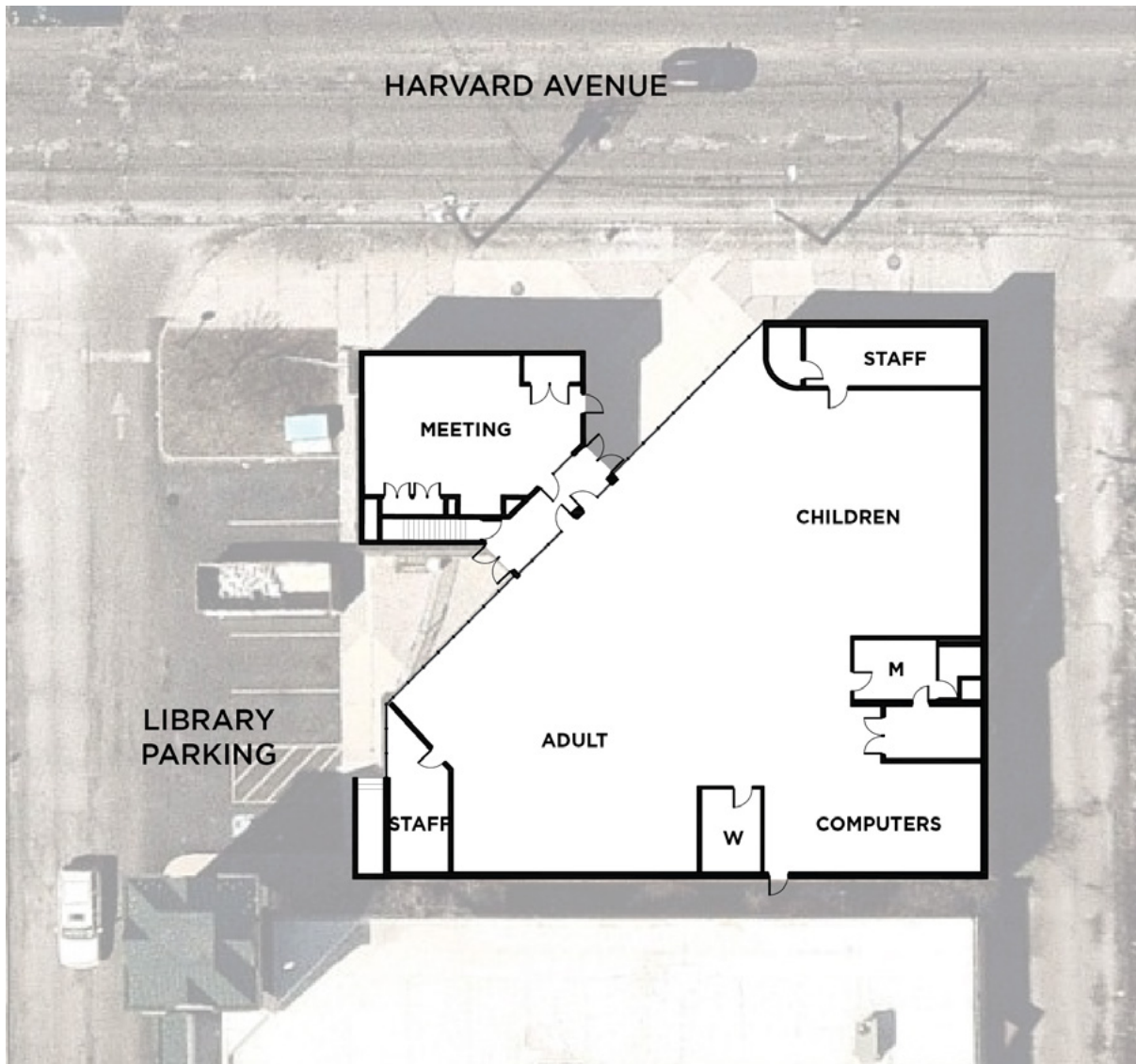


Approach from Harvard Avenue



Building Interior

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

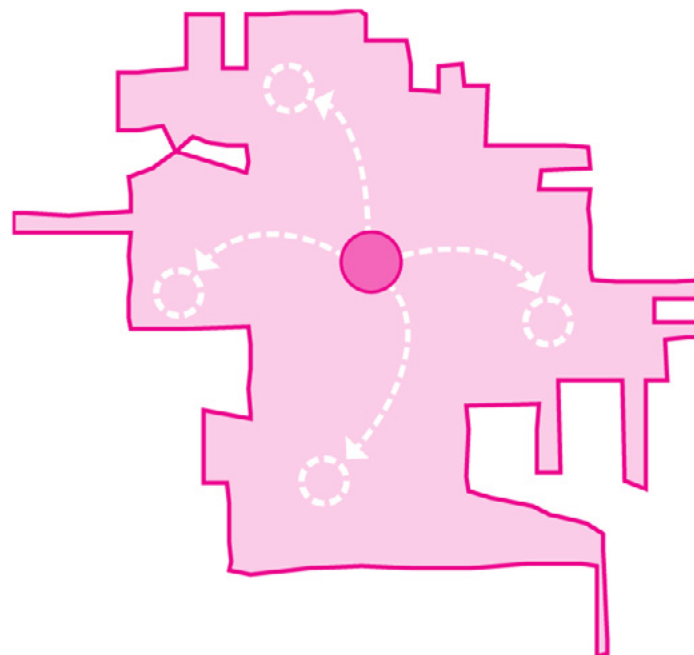
- The building lacks transparency
- Building interior is divided into distinct spaces, limiting program flexibility
- Community members like the current location of the site, co-located with the local commercial center
- No defined teen area
- Both entries are deeply set back into the building
- Staff space is broken up and spread across building
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- No small quiet study spaces
- Library designated parking is limited, but has access to overflow parking at the shopping center
- Branch and site size is too small to meet the criteria of a Community Hub

Branch Recommendations

RELOCATE

CURRENT STATE Patrons appreciate the location at the entry to a heavily trafficked shopping complex and the Harvard-Lee branch is well used. While the site also offers available parking shared with the shopping center it also severely limits opportunity for expansion. The introverted design of the building, centered on a deeply recessed entry vestibule, presents minimal visibility into the building and poses challenges to flexibility.

FUTURE VISION It is recommended, that this branch be replaced with a new facility in a new location with the space necessary to provide the services of the Community Hub supporting this large and active service area. The new location should aim to take advantage of new commercial and institutional development in the area.



Potential Relocation Options

PROCESS It is recommended that the Harvard-Lee branch be relocated to a new building at a new location. The potential new site options were analyzed based on availability, accessibility, flexibility, and their impact on the community. These sites were then compared to determine which options best fit the needs of its service area.

TOTAL COST OF IMPLEMENTATION

RELOCATION It is recommended that the Harvard Lee branch be relocated to a new facility on a new site. The facility will be a Community Hub Branch.

IMPLEMENTATION COST \$6,500,000

POTENTIAL SITES

1. HARVARD AVENUE (WHITNEY M. YOUNG SCHOOL CAMPUS)

Property east of the current site along Harvard Avenue, co-located with the Whitney M. Young School Campus.

2. HARVARD AVENUE (EXISTING JFK SCHOOL CAMPUS)

Portion of the current JFK High School campus, after the school relocates to Miles Avenue.

3. LEE ROAD (COMMERCIAL CORRIDOR)

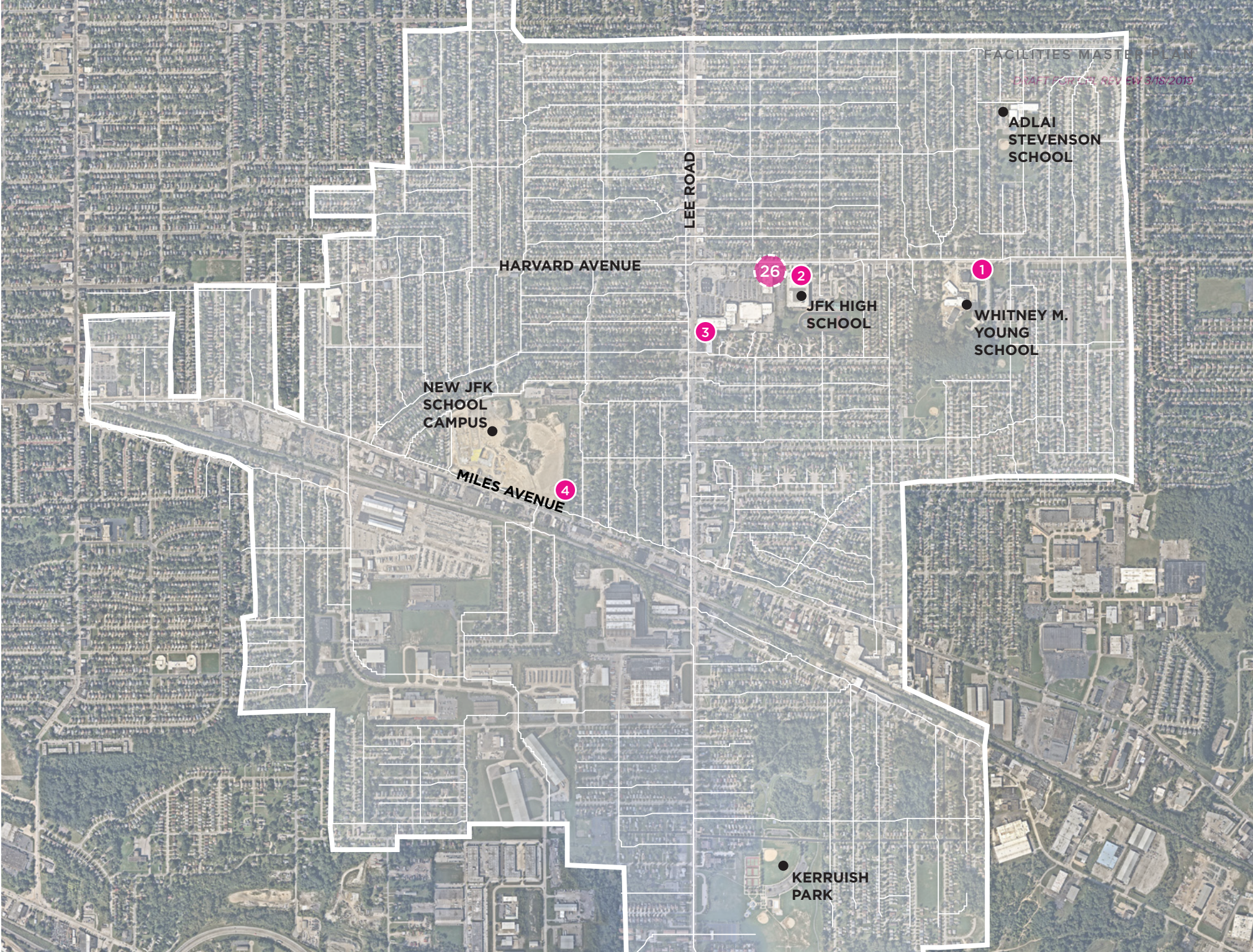
Property southwest of the existing site on the Lee Road commercial corridor.

4. MILES AVENUE (FUTURE JFK SCHOOL CAMPUS)

Property southwest of the current site along Miles Avenue, co-located with the future JFK school campus.

5. LEE ROAD (KERRUISH PARK)

Property southwest of the current site along Lee Road, across from Kerruish Park.



ADLAI STEVENSON SCHOOL

1
WHITNEY M. YOUNG SCHOOL

2
JFK HIGH SCHOOL

26
3

NEW JFK SCHOOL CAMPUS

4
MILES AVENUE

KERRUISH PARK

Potential Relocation Options

SITE CHARACTERISTICS

- Located in a very active commercial center
- Library can use shopping center parking for overflow
- Size of site leaves limited room for building expansion or flexibility
- Site is flat, accommodating a single story branch mode
- Centrally located to serve its community
- Located near a stop on the 15 RTA line, though the stop is not directly proximate to the building
- Not proximate to local learning institutions
- CPL already owns the property and would not need to purchase additional parcels

EXISTING SITE:

EXISTING HARVARD-LEE OPTION

Location: 16918 Harvard Avenue, Cleveland, OH

Total Lot Size: 14,000 SF

Existing Building Size: 8,600 SF

Description: This would maintain the library at its current location as within the Lee Harvard Shopping Center

Amenities:

- Lee Harvard Shopping Center
- JFK Eagle Academy High School

Site Criteria	Inadequate	Limited	Sufficient
Available			
Accessible			
Flexible			
Community Focused			



Potential Relocation Options

SITE CHARACTERISTICS

- Size leaves ample room for the size of branch needed to meet the criteria of a Community Hub
- Site is flat, accommodating a single story branch model
- Proximate to local learning institutions, and other cultural and social amenities
- Property would be owned and maintained by the school, limiting the library’s flexibility
- Library is located on the eastern side of the branch’s service area
- Community has voiced concerns that co-locating the library with the school may deter non-school age patrons from visiting the branch
- Proximate to several RTA stops

POTENTIAL SITE:

HARVARD AVENUE (WHITNEY M. YOUNG SCHOOL)

Location: 17900 Harvard Avenue, Cleveland, OH

Total Lot Size: Not Applicable - Parcel owned by school
Potential Building Size: 15,000 SF

Description: This site would place the library on the same property as the Whitney M. Young school, which is currently under construction and could potentially have space allotted specifically for the library.

Amenities:

- Whitney M. Young School
- Harvard Community Services Center
- St. Henry’s Catholic Church
- RTA Stops

Site Criteria	Inadequate	Limited	Sufficient
Available			
Accessible			
Flexible			
Community Focused			



Potential Relocation Options

SITE CHARACTERISTICS

- Located near a very active commercial center
- Future development of the site is undetermined
- Size leaves ample room needed to meet the criteria of a Community Hub
- Property is large and gives the library flexibility
- Site is flat, accommodating a single story branch model
- Library is centrally located
- Not proximate to local learning institutions
- Building a new library at this location would involve demolition of the existing JFK High School
- Proximate to several RTA stops
- CPL would need to acquire new property to build on this site

POTENTIAL SITE:

HARVARD AVENUE (EXISTING JFK CAMPUS)

Location: 17103 Harvard Avenue, Cleveland, OH

Total Lot Size: 50,000 SF

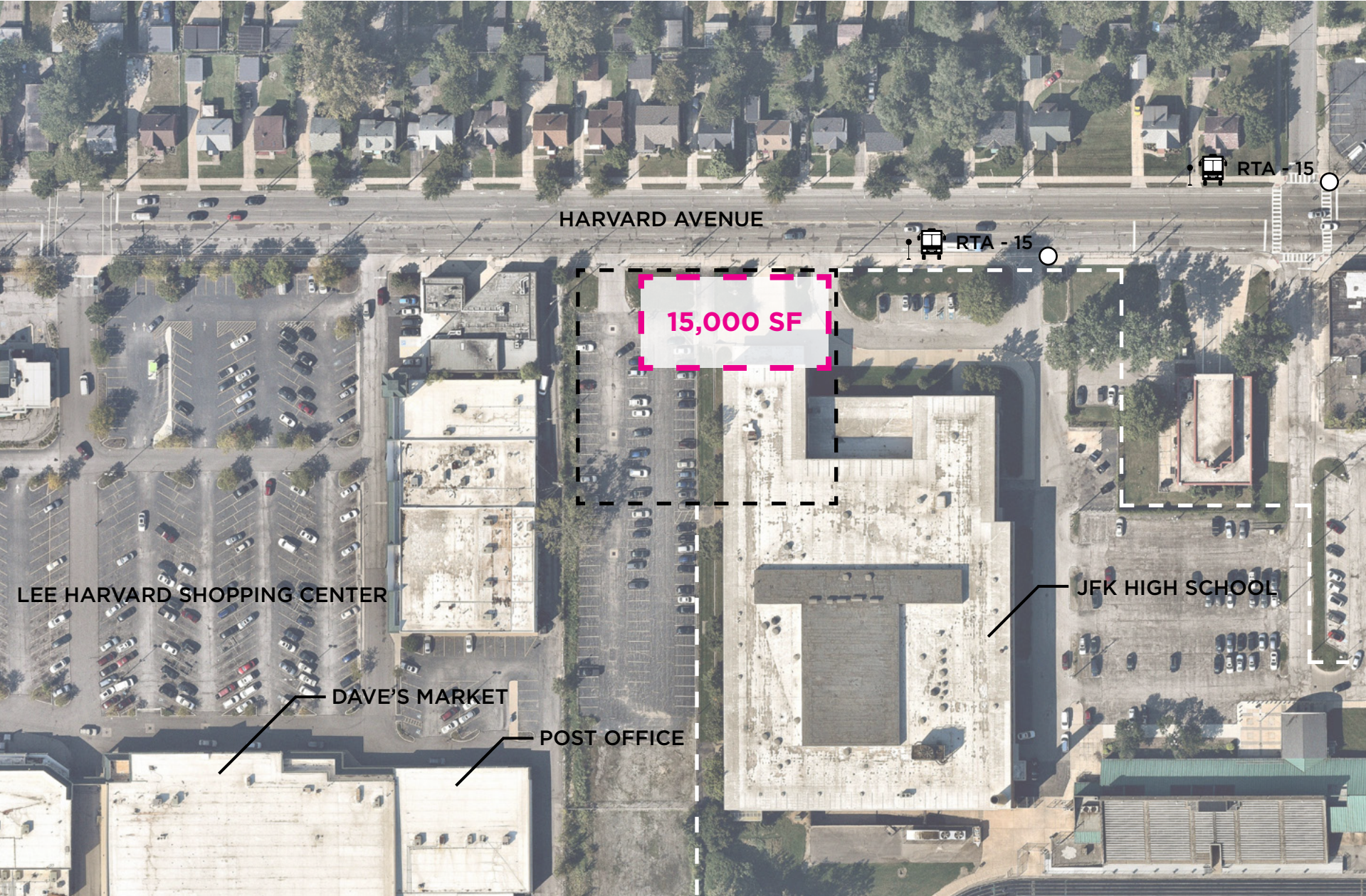
Potential Building Size: 15,000 SF

Description: This site would relocate the existing branch to a portion of the current JFK High School campus site after the school moves to the new campus on Miles Road.

Amenities:

- Lee Harvard Shopping Center
- RTA stop

Site Criteria	Inadequate	Limited	Sufficient
Available			
Accessible			
Flexible			
Community Focused			



LEE HARVARD SHOPPING CENTER

DAVE'S MARKET

POST OFFICE

HARVARD AVENUE

15,000 SF

JFK HIGH SCHOOL

RTA - 15

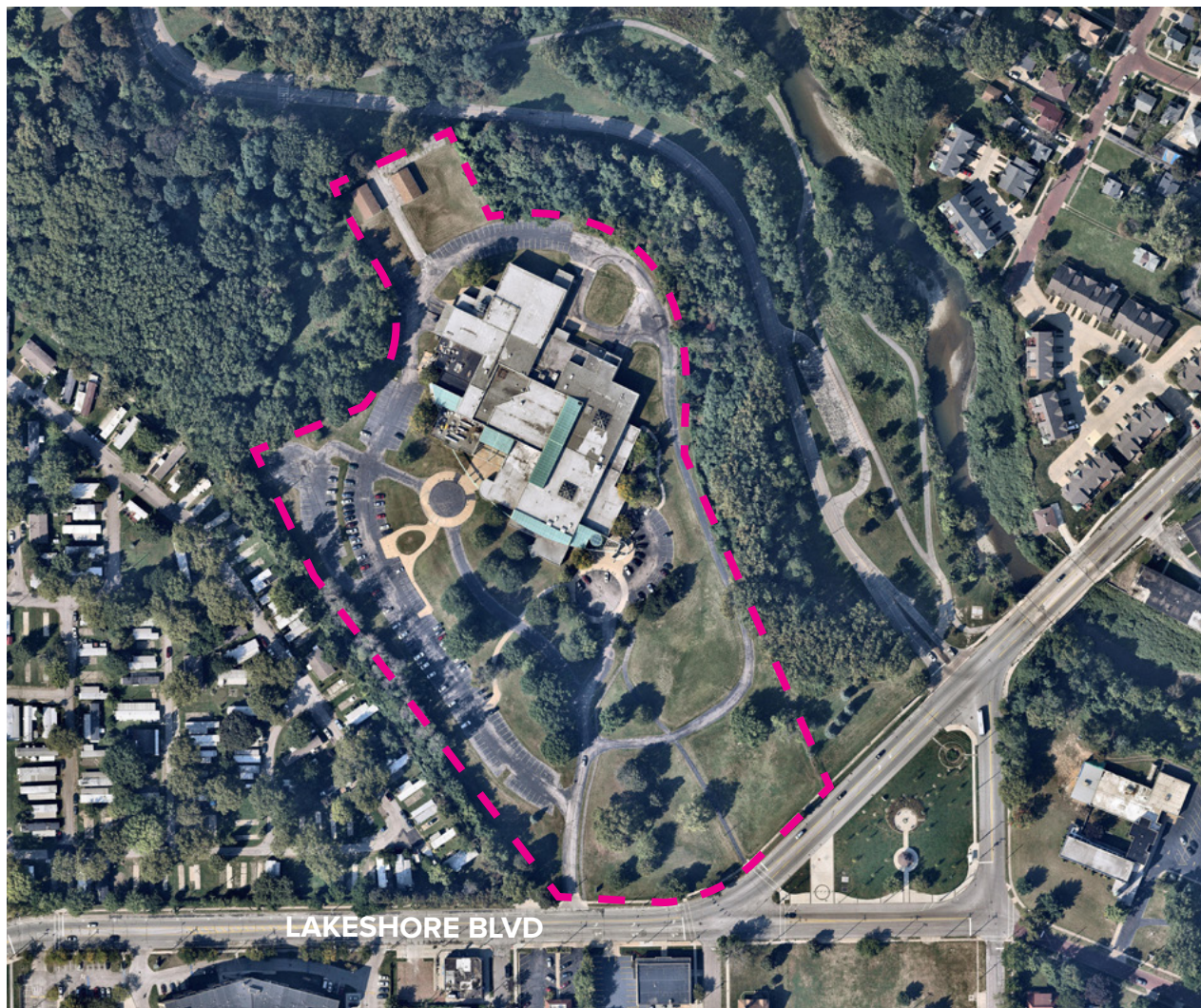
RTA - 15

Memorial-Nottingham Branch

Collinwood Neighborhood



Branch Information



BRANCH STATISTICS

Location: 17109 Lake Shore Blvd

Year Constructed: 1991

Size: 154,000 sf

Parking: 100+ spaces

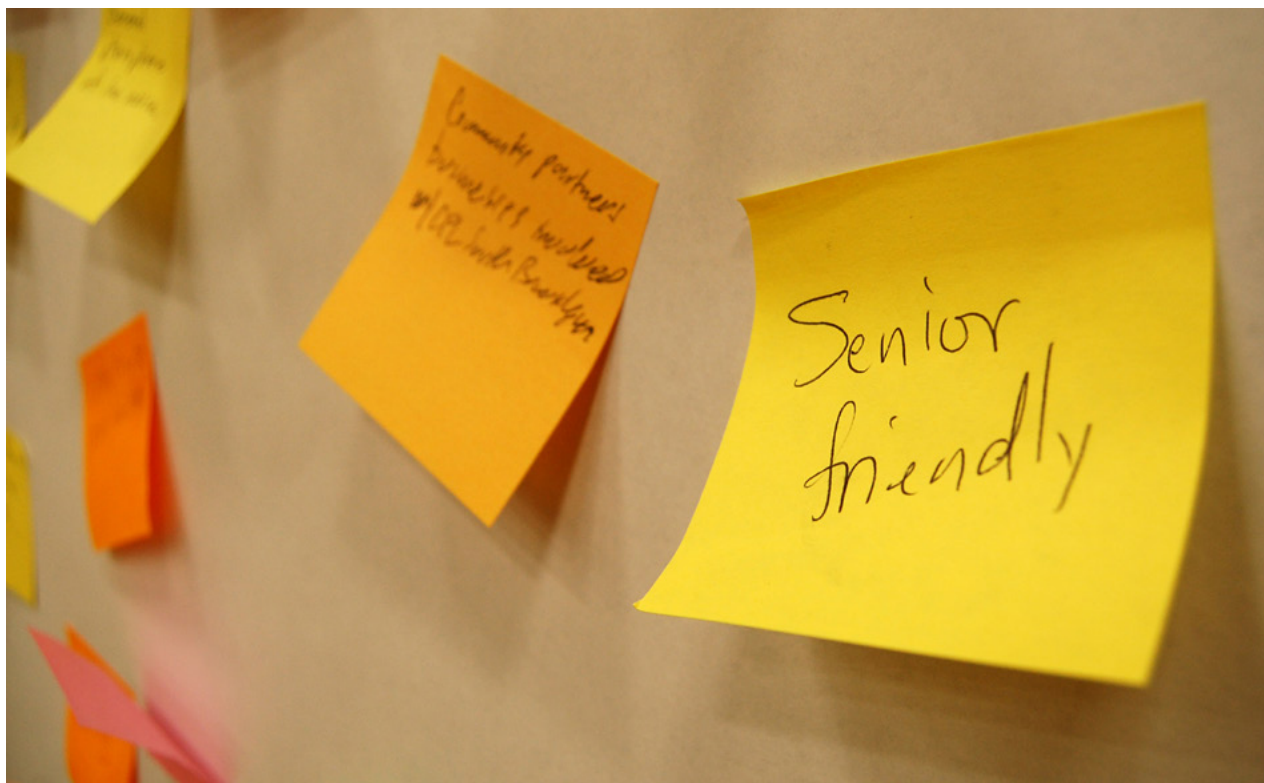
The Cleveland Public Lakeshore facility which includes the Memorial-Nottingham Branch, Technical Services, the Ohio Library for the Blind and Physically Disabled (LBPH), and the off-site book storage, was obtained by the library and renovated in 1991. The facility is located at 17109 Lake Shore Boulevard on the city's east side near the Cleveland Metroparks Euclid Creek Reservation. Entrance into the site is accessed off Lake-shore Boulevard with parking lots to the north and west of the building. The building is 154,000 sf over two stories and off-site book storage. The lower level is used for LBPH and book storage. The branch library, LBPH, Auditorium, Technical Services, and off-site book storage are located on the ground floor. Classrooms and multi-purpose rooms located on the mezzanine. The off-site book storage is 3 levels that house the book collection, photography & film, and audio/visual collection.

Community Outreach

OUTREACH SUMMARY Though the Memorial-Nottingham Branch is separated from the urban fabric of North Collinwood, patrons enjoy its natural, park-like setting. Patrons also spoke appreciatively of the modern, bright building, which has more than enough space. Generally the existing building is well-liked and serving its patrons' needs more than adequately. Any relocation of the branch should retain the existing building's bright, modern, clean

interior character, as well as seeking programmatic and physical connections with Lake Erie & the Lakefront Metroparks, a frequent desire voiced in the process.

Outreach for this branch was performed as part of the facilities master plan, see Process section for summary of the outreach process



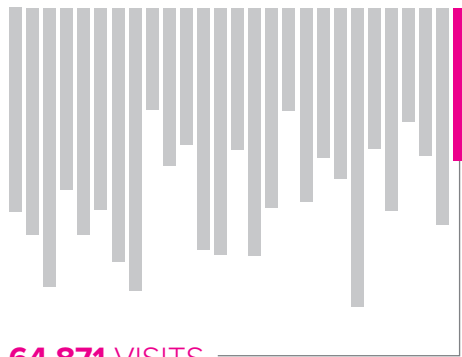
Community Outreach Session

PRIMARY COMMUNITY NEEDS

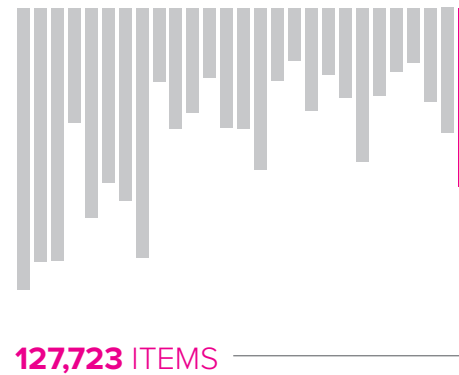
- Smaller (2-3 person) meeting rooms for private meeting and study
- Comfortable lounge area(s)
- Separate kids' area from adult area
- Collaboration and programming with Collinwood Rec Center
- More/faster computers, refine the printing system & add a second machine
- Wayfinding to branch from Lakeshore Blvd, parking lots
- More outdoor lighting after dark, especially in paths to Lakeshore Blvd
- Cross-cultural programming for diverse user groups
- Mobile library traveling between senior center/Lakeshore senior apartment buildings
- More art/music events held here - support local arts, tie into Walk All Over Waterloo
- Outdoor seating area / reading garden
- Grills, picnic tables in "park" areas
- Fabrication lab, coding classes, music/recording software
- Host plays with local youth in the large auditorium space

1 ATTENDANCE, CIRCULATION & SERVICE AREA POPULATION

ATTENDANCE



CIRCULATION



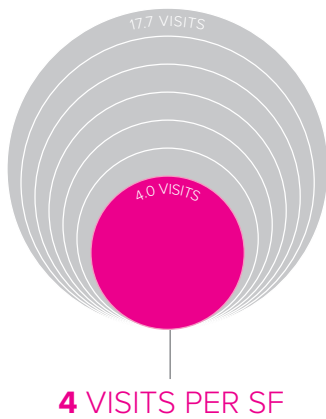
SERVICE AREA POPULATION



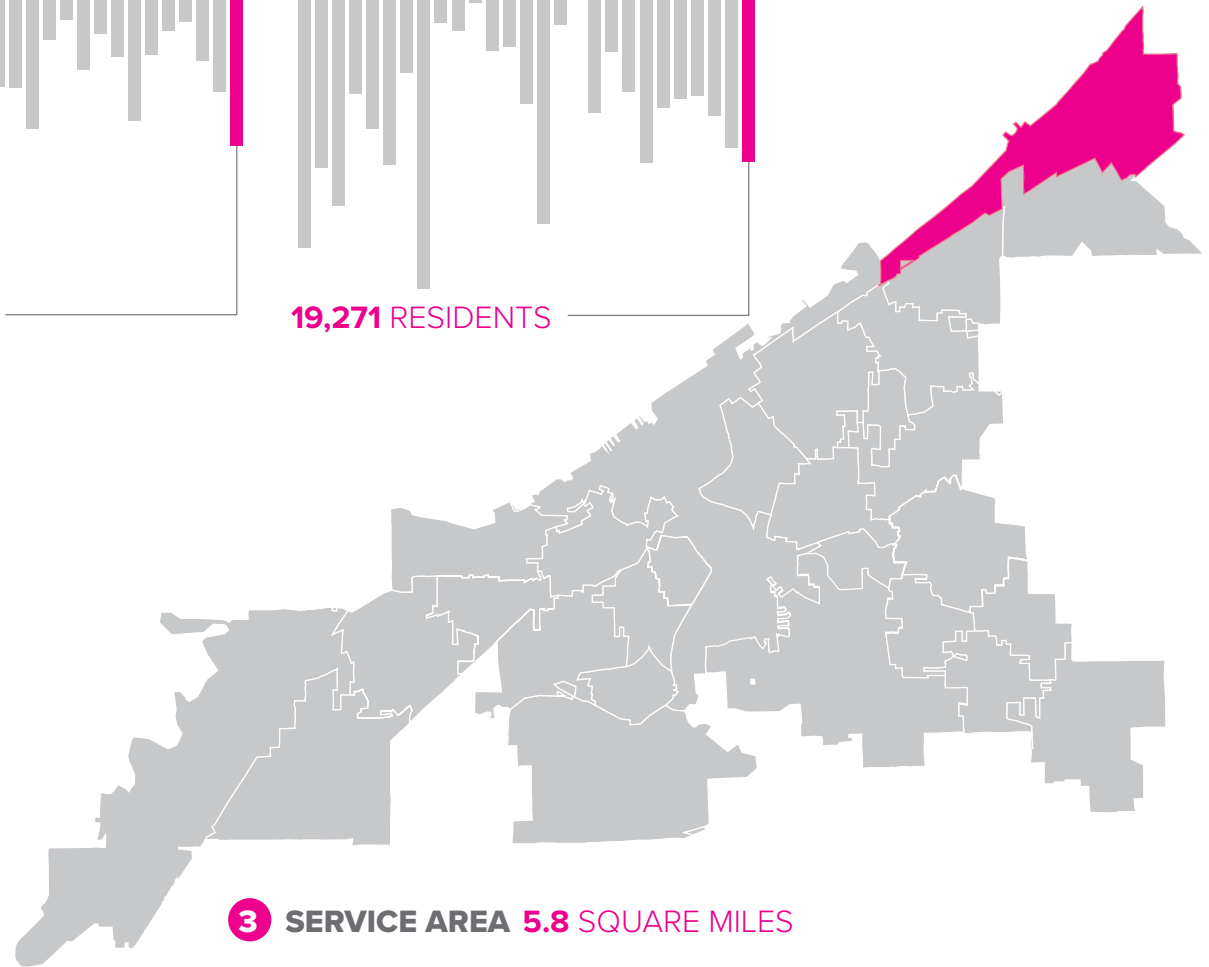
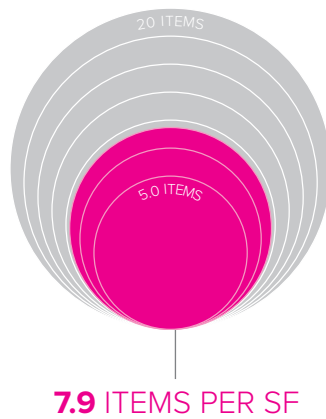
2 OCCUPIED AREA ANALYSIS

CURRENT OCCUPIED SQUARE FOOTAGE: 14,000 SF

ATTENDANCE



CIRCULATION



3 SERVICE AREA 5.8 SQUARE MILES

KEY

DATA REPRESENTATION

System Wide
Current Branch

1 Resident Population data representative of the 2010 Census. Attendance & Circulation recorded by Cleveland Public Library.

2 Attendance and Circulation use determined by Square Foot of Branch as compared to the largest branch in the Cleveland Public Library.

3 Total Service Area of current branch, measured in Square Miles as compared to the largest branch in the Cleveland Public Library.

Facility Assessment Summary

ARCHITECTURAL The Lakeshore branch is generally in fair condition with several accessibility issues however there are some significant issues with the exterior envelop and interior finishes. The specific instances are at the glazed brick masonry walls that have areas of major spalling and the curtainwall system which evidence of water infiltration was observed. The roof and the skylights are in poor condition as evidenced by the number of areas on the interior that showed signs of water damage at the ceiling, walls, and floor and the number of trash cans under skylights collecting rainwater. The roof should be replaced once the source of the water leaks are found and repaired. Finishes, millwork, and furniture appear to be original to the 1991 renovation and are worn and should be replaced in the near future with the exception of the adjustable metal library shelving which is generally in good condition. The Auditorium is functional however does not provide compliant ADA seating. The off-site book storage is in good condition with only minor repairs required for the premanufactured book shelves.

SITE The library is located on a relatively expansive site with a slight rise in elevation from east to west, undulating grades on the west, and a flatter area to the south. Large stands of trees line the east, north, and west perimeter. A series of asphalt walking paths lead from the public sidewalk on Lakeshore to the branch library entrance. An asphalt drive loop is

entered off Lakeshore Boulevard and runs the perimeter of the site. A round-about drop off is located at the branch library entrance and at the main entrance. Dedicated parking areas surround the north and west of the building. Concrete sidewalks lead from the library and main entrances to portions of the west parking lot. A reading garden is located at the southeast corner of the building adjacent to branch library entrance. The landscaping is primarily made up of a regularly maintained grass lawn and clustering of mature trees.

MECHANICAL The Lakeshore Branch HVAC system consists of ten air handling units, one 341 ton cooling tower, a condenser, and two boilers. In addition, there is a humidifier, a Leibert Unit, a remote thermal unit, and a rooftop unit. The ten air handling units, the condenser, the rooftop unit, and the humidifier have all reached the end of their service lives and should be replaced. The two boilers and eight heating pumps are past their service lives and should be replaced. Heating piping insulation is in poor condition; it should be replaced. The Leibert unit should be repaired or replaced, and fourteen existing exhaust fans should be replaced. When the air conditioning systems are replaced, consideration should be made to go to a Variable Air Volume system with a Building Automation System for increased system efficiency.



Lake Shore Facility Exterior - 1994



Lake Shore Facility Interior - 1994

PLUMBING The Lakeshore Branch plumbing system consists of five electric domestic water heaters and manually operated flush valve water closets and faucets. The domestic water heaters were installed in 2012 and are in good condition, but they should be equipped with drain pans. Plumbing fixtures were in proper working order and in compliance with ADA standards. All of the public hand washing sinks were equipped with ASSE 1070 mixing valve for tepid water. The storm and sanitary sewer systems are in working condition. There are two sump pumps that are past their service life that should be replaced, and the strainers for the roof drains are in poor condition and should be replaced.

ELECTRICAL The electrical systems in the Lakeshore facility are in good condition and should be maintained. In general, the Lakeshore facility main distribution equipment and corresponding distribution/branch circuit panels do not have spare capacity for future/additional loads. As a result of this limited spare capacity in the existing distribution, any new/additional work may result in a new branch circuit panel. The Lakeshore facility has multiple issues in regards to the emergency egress lighting and fire alarm device locations/coverage. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Lakeshore library uses pole mounted and surface mounted fixtures for site lighting. The existing pole mounted fixtures are in poor condition and should be replaced. The existing surface mounted fixtures are also in poor condition and should be replaced. The Lakeshore facility has multiple energy savings opportunities through the use of facility wide automatic lighting controls, LED fixtures, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$7,819,142

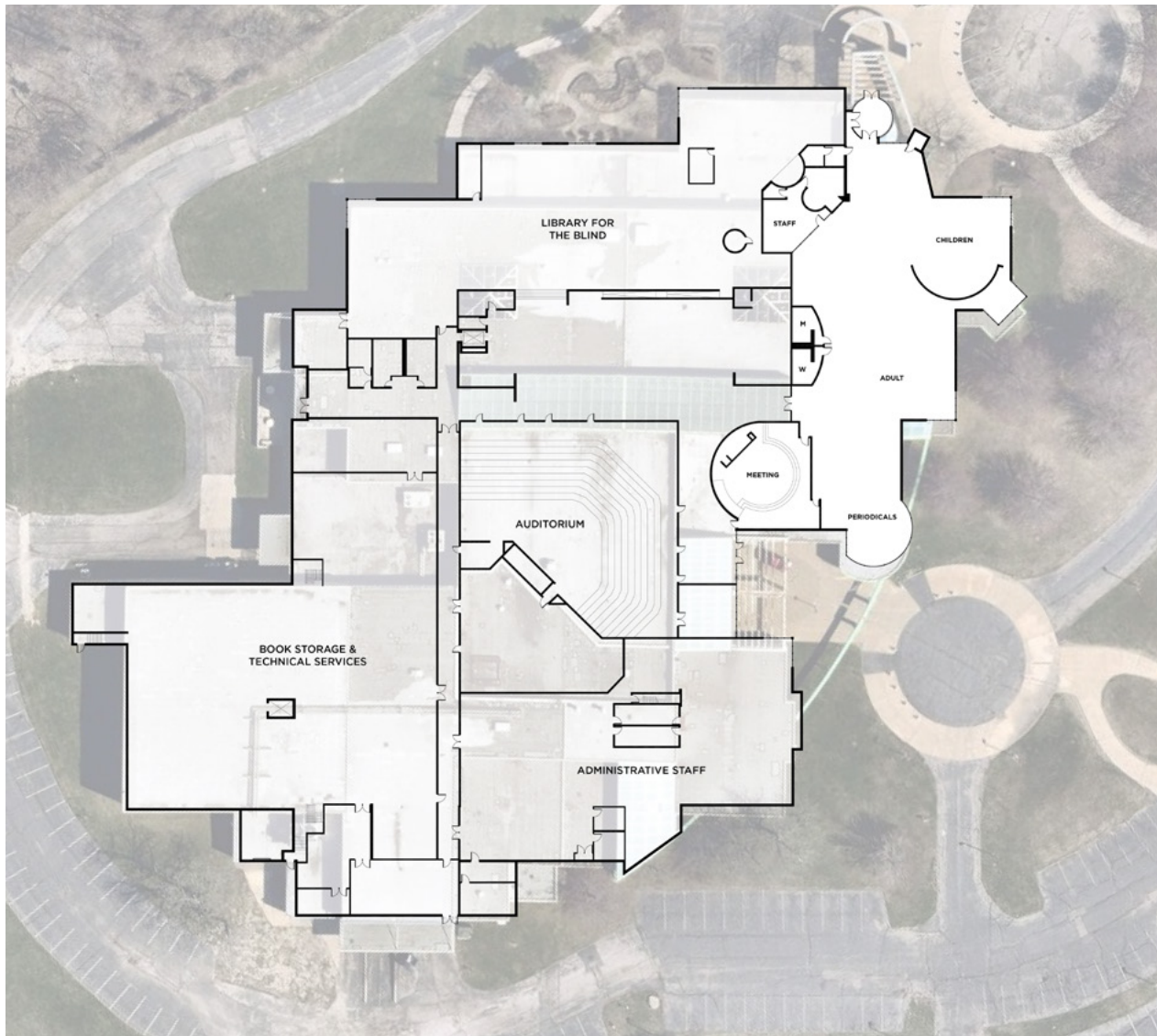


Lake Shore Facility Interior



Lake Shore Facility Plaza

Current State



EXISTING FIRST FLOOR PLAN

EXISTING CHARACTERISTICS

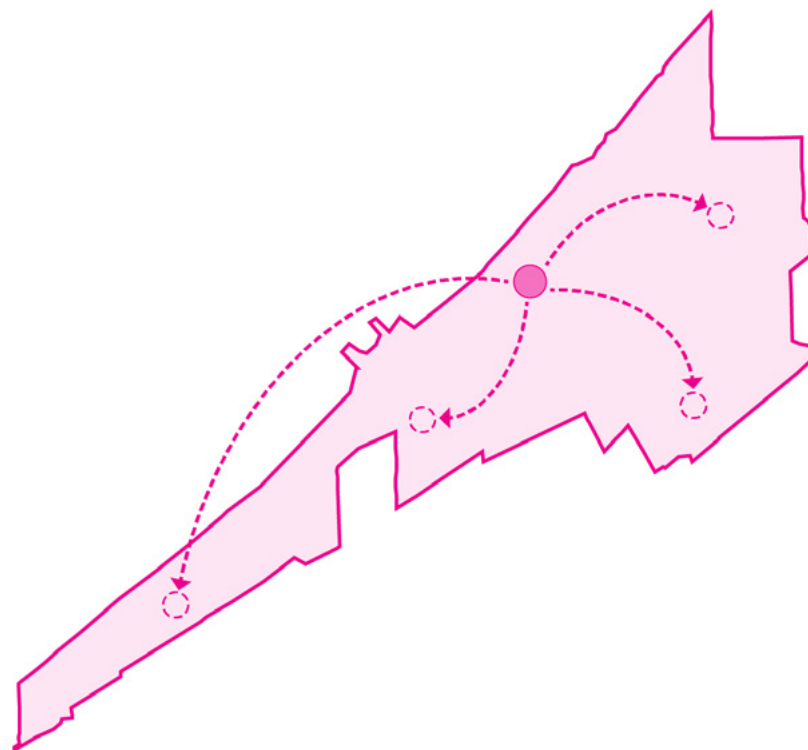
- Located within a larger building that houses other programs like distribution and OLBPH, which obscures which part of the building is allocated to the branch
- Building interior is divided into distinct spaces, limiting program flexibility
- Building is deeply set back on the site, limiting visibility and accessibility
- Community members appreciate the size of the branch
- No defined teen area
- Located at the far east end of CPL's service area, it is poorly located to serve as the system's distribution hub
- Meeting room is closed off and lacks flexibility needed to break up into smaller spaces.
- There is ample parking on-site
- There are significant maintenance issues that need to be addressed

Branch Recommendation

RELOCATION

CURRENT STATE This facility houses not only the Memorial Nottingham branch but also the library's storage and distribution facility in building complex located on an expansive site. The public appreciates the ample space provided but the building itself is in poor condition with extensive maintenance concerns. The location on the site provides no street presence on Lakeshore Boulevard and separates the facility from public transit access. Located at the far east end of CPL's service area' the facility is poorly located to serve as a distribution hub.

FUTURE VISION It is recommended that this branch be replaced with a new branch library in a new location and that the storage and distribution facility be moved to a more central location at the current Woodland site. A new, standalone branch will allow the library to continue providing a high level of service with improved visibility and accessibility while significantly reducing maintenance.



Potential Relocation Options

PROCESS It is recommended that the Memorial Nottingham branch be relocated to a new building at a new location. The potential new site options were analyzed based on availability, accessibility, flexibility, and their impact on the community. These sites were then compared to determine which options best fit the needs of its service area.

IMPLEMENTATION COST

RELOCATION It is recommended that the Memorial Nottingham branch be relocated to a new facility on a new site. The facility will be a **Community Hub** with increased meeting facilities to replace those at the existing Lakeshore facility.

IMPLEMENTATION COST \$7,400,000

POTENTIAL SITES

1. LAKESHORE BOULEVARD (EXISTING SITE)

Re-utilizing the existing property with a new building located more closely to the Lakeshore Boulevard streetfront.

2. E. 185TH STREET (LA SALLE THEATRE)

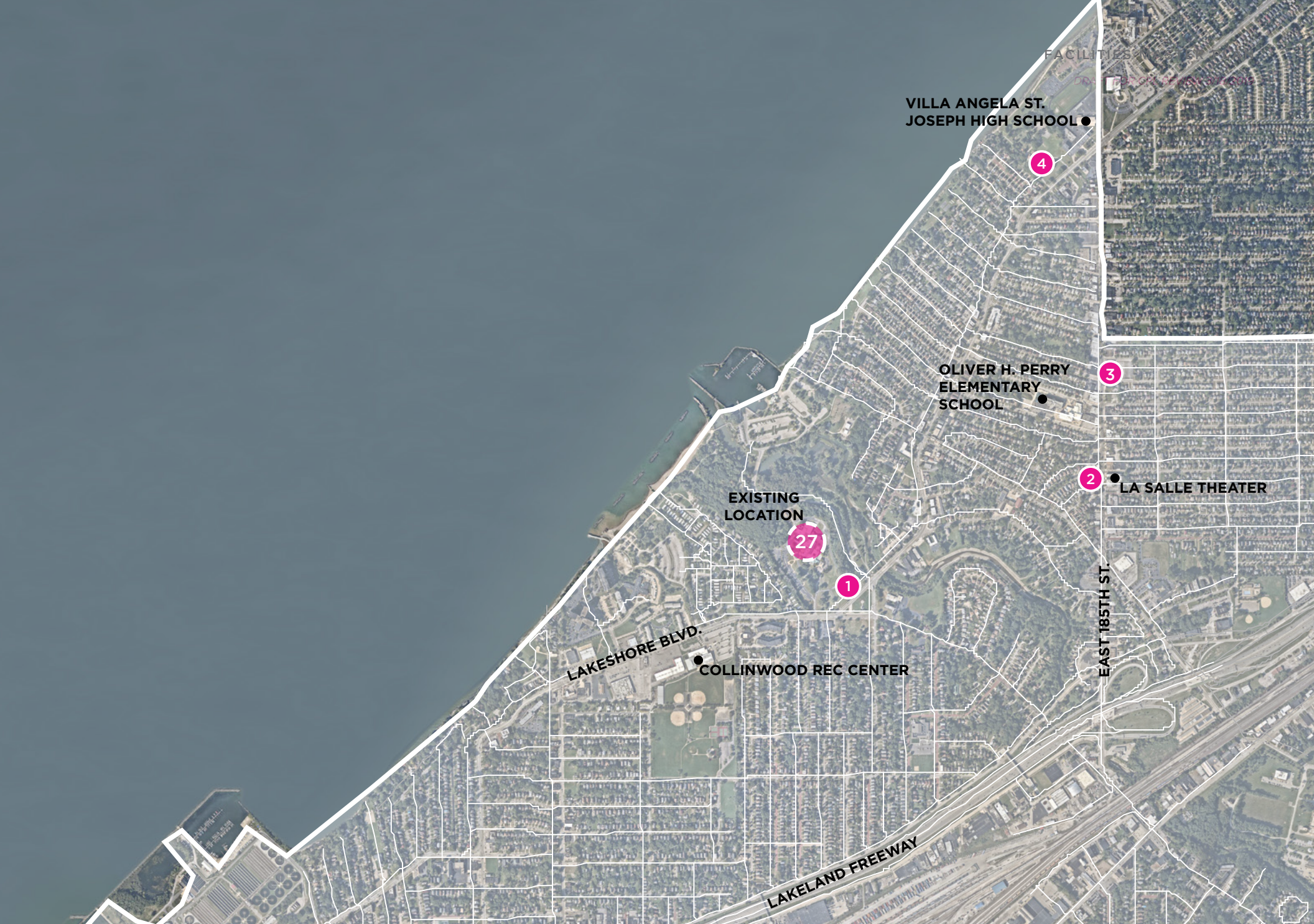
Located at an existing storefront across from the redeveloped La Salle Theater along E. 185th.

3. E. 185TH STREET (COMMERCIAL CORRIDOR)

Property northeast of the existing site on the East 185th commercial corridor.

4. LAKESHORE BOULEVARD (VILLA ANGELA)

Located on a portion of a property belonging to the Hospice of the Western Reserve, northeast of the site along Lakeshore Boulevard.



Potential Relocation Options

SITE CHARACTERISTICS

- Located in a predominantly residential area, further from the commercial corridor on Lakeshore Avenue
- Building is deeply set back on the site, limiting accessibility
- Library has ample on-site parking
- Size of site leaves ample room for building expansion
- Shape and size of site accommodates flexibility, though the current building design and layout lacks flexibility
- Site is flat, accommodating a single story branch model
- Centrally located for the service area
- Located near a stop on the 30 RTA line, though due to how deep the building is from the street, the stop is not directly proximate to the building
- Bordered by park land but is not proximate to local learning institutions
- Not located near active community centers
- CPL already owns the property and would not need to purchase additional parcels

EXISTING SITE:

EXISTING MEMORIAL-NOTTINGHAM OPTION

Location: 17109 Lakeshore Boulevard, Cleveland, OH

Total Lot Size: 800,000 SF

Existing Building Size: 154,000 SF

Description: This site would re-utilize the existing property and the existing branch building.

Amenities:

- Proximity to Cleveland Metroparks
- RTA stops
- Proximity to potential new development on existing site

Site Criteria	Inadequate	Limited	Sufficient
Available			
Accessible			
Flexible			
Community Focused			



Potential Relocation Options

SITE CHARACTERISTICS

- Located in a predominantly residential area, further from the commercial corridor on Lakeshore Avenue
- CPL already owns the property and would not need to purchase additional parcels
- Moving the branch out toward Lakeshore Boulevard increases street presence and gives opportunity to sell the land that the library no longer needs
- Library has ample space for on-site parking
- Size of site leaves ample room for building expansion
- Shape and size of site accommodates flexibility
- Site is flat, accommodating a single story branch model
- Centrally located for the service area
- Located near a stop on the 30 RTA line
- Bordered by important natural amenities, but is not proximate to local learning institutions
- Not located near active community centers

POTENTIAL SITE:

LAKESHORE BOULEVARD (EXISTING SITE OPTION)

Location: 17109 Lakeshore Boulevard, Cleveland, OH

Total Lot Size: 800,000 SF

Potential Building Size: 15,000 SF

Description: This site would re-utilize the existing property and a new building would replace the existing branch along the Lakeshore Boulevard streetfront.

Amenities:

- Proximity to Cleveland Metroparks
- RTA stops
- Proximity to potential new development on existing site

Site Criteria	Inadequate	Limited	Sufficient
Available			■
Accessible			
Flexible			
Community Focused		■	

Potential Relocation Options

SITE CHARACTERISTICS

- Located near an active community center
- Not centrally located in its service area
- Provides enough space to accommodate the parking criteria of a Community Hub branch
- Located near several stops on local RTA routes
- Shape and size of site leaves ample room for building expansion
- Proximate to important natural amenities
- Site is flat, accommodating a single story branch model
- Proximate to local learning institutions
- CPL would need to acquire new property to build on this site
- Located further from the larger commercial corridor on Lakeshore Avenue

POTENTIAL SITE:

LAKESHORE BOULEVARD (VILLA ANGELA OPTION)

Location: 18485 Lakeshore Blvd, Cleveland, OH

Potential Building Size: 15,000 SF

Total Lot Size to be determined

Description: This site would relocate the existing branch to a portion of a lot northeast of the current site along Lakeshore Boulevard. The site is currently owned by the Hospice of the Western Reserve.

- Amenities:
- Villa Angela St. Joseph High School
- RTA stops
- Proximity to lakefront
- HWR Christian Life Center Park

Site Criteria	Inadequate	Limited	Sufficient
Available			
Accessible			
Flexible			
Community Focused			

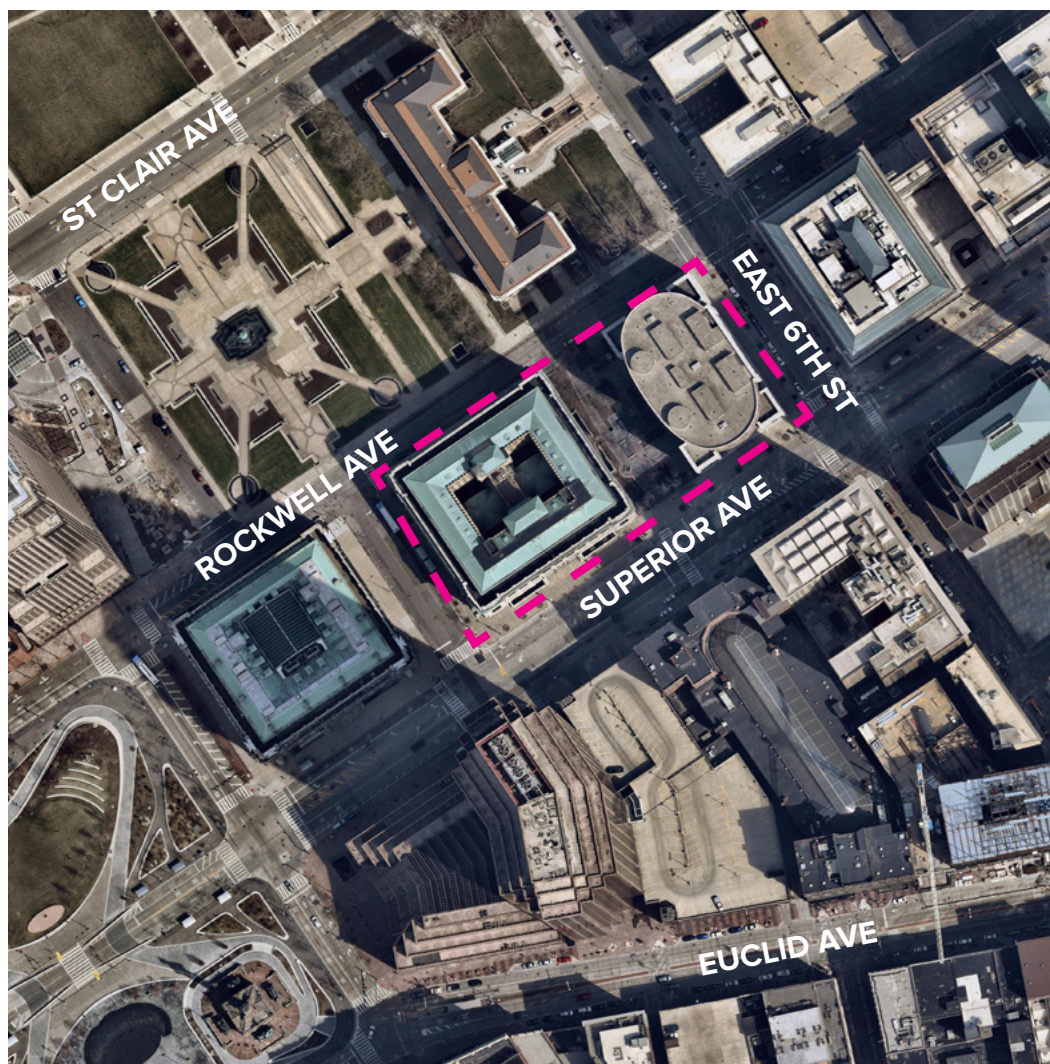


Main Campus

Downtown



Library Information



BRANCH STATISTICS

Location: 325 Superior Avenue

Year Constructed: 1925 (1997 Renovation & Louis Stokes Wing)

Size: 530,000 sf (Main Building & Louis Stokes Wing)

Parking: Street Parking

The Cleveland Public Library Main Building was built in 1925 and is located at 325 Superior Avenue in downtown. The Louis Stokes Wing was created in 1997 as an addition to the historic building. The campus is located between East 6th Street and East 3rd Street with the main entry on Superior Avenue. A secondary entrance into the Louis Stokes Wing is accessed from the Eastman Reading Garden, which is located between the two buildings. The site has no on-site parking for patrons, but there are parking meters available on East 6th street between Rockwell and Superior, including designated handicapped spaces near the corner of 6th and Superior. There is designated library staff parking located on the Rockwell side of the Main Library that fits roughly 11 vehicles. There are also parking garages in the area. The five-story historic building is 262,000 sf with a gallery, collections, reading areas, and staff offices. The building is clad in stone masonry with large windows throughout. The 10-story Louis Stokes Wing is 268,000sf with an auditorium, meeting rooms, collections, reading areas, administrative offices, and a computer and technology center. The building is clad in stone masonry with large expanses of curtain wall.

Facility Assessment Summary

MAIN HISTORIC BUILDING

ARCHITECTURAL The Main Library is generally in good condition for its age but the majority of the building has not seen significant updates since it was renovated 25 years ago. The envelope and structure are in fair condition with some areas of significant water infiltration that need to be addressed. The building was renovated to address several ADA compliance issues, but still has a few accessibility issues that have been grandfathered into the building. The primary accessibility issue is that the only accessible entrance into the Main building is through the Louis Stokes Wing. With the exception of areas on the lower level, first floor the finishes, cabinetry, and furniture are worn throughout and should be considered for replacement.

SITE The library does not have on grade access and entry occurs through the main granite stair off of Superior Avenue. Secondary entry through the Louis Stokes Wing is designated through signage at the main entrance. The sidewalk around the site is typically in fair condition, with some wear and settlement throughout. There are several planters along Superior Avenue and trees along East 3rd Street, which are typically in good condition. There are several spaces designated for CPL staff use along Rockwell Avenue.

MECHANICAL The Main Library has an HVAC system that consists of ten air handling units, three humidifiers, and one air-cooled water chiller. The Air handlers are reaching the end of their life in the next ten years and should be scheduled for replacement. Some piping should be re-insulated for the chiller, and one fan-coil unit should be fixed to solve noise issues. The BAS control system should be upgraded when new air-handlers are installed. The elevator machine rooms should have cooling installed as well.

PLUMBING The Main Library plumbing system consists of two electric domestic water heaters with an expansion tank, distribution pumps, manually operated faucets, and automatic flush valve water closets. The domestic water heaters were installed in 2013 and are in fair condition; they may remain in service for the next ten years. Plumbing fixtures were in proper working order and in compliance with ADA standards. All of the public hand washing sinks were equipped with ASSE 1070 mixing valve for tepid water. The roof drain strainers are in poor condition and should be replaced (approximately 30).



Collections - 1915

ELECTRICAL The electrical systems in the Main Library facility are in good condition and should be maintained. In general, the Main Library facility main distribution equipment and corresponding distribution/branch circuit panels do not have spare capacity for future/additional loads. As a result of this limited spare capacity in the existing distribution, any new/additional work may result in a new branch circuit panel. The Main Library facility has multiple issues in regards to the emergency egress lighting and fire alarm device locations/coverage. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Main Library uses surface mounted fixtures for site lighting. The existing surface mounted fixtures are in poor condition and should be repaired/replaced. The facility has multiple energy savings opportunities through the use of facility wide automatic lighting controls, LED fixtures, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

**TOTAL COST OF DEFERRED
MAINTENANCE ITEMS: \$8,039,973**



Main Entry Steps



Current Collections

Facility Assessment Summary

LOUIS STOKES WING

ARCHITECTURAL The Louis Stokes Wing is generally in good condition but the majority of the building has not seen significant updates since it was constructed 25 years ago. The envelope and structure are in good condition without areas that are cause for concern. The building was designed with ADA compliance in mind and therefore has few accessibility concerns. With the exception of areas on the lower level, first and second floors the finishes, cabinetry and furniture are worn throughout and should be considered for replacement.

SITE The library has very little site space on the north south and east sides where the building abuts the sidewalk. West of the Stokes Wing is the Eastman Reading Garden, a courtyard shared with the original library building. The Eastman Garden is generally in very good condition with some minor maintenance required. There is not dedicated parking at the building. The public is assumed to arrive from other points downtown, on public transit, or park in one of the nearby parking structures.

MECHANICAL The Louis Stokes Wing has an HVAC system that consists of ten air handling units, five humidifiers, two Leibert units, two condensers, four Daikin recessed cassette units, a ceiling suspended Daikin unit, a heat pump, and three boilers. In addition, there is an air handler and condensing unit that serve the Elevator Machine Room. The chilled water piping and drain pans for five of the air handling units should be replaced. The condensing units and heat pump are currently located in the basement; they should be moved outdoors. The condensing unit serving the Elevator Machine Room should be replaced. The three boilers are in fair condition and may remain in service. The building's temperature is currently controlled by a Siemens Building Automation System which may remain in service.



Louis Stokes Wing Construction - 1997

PLUMBING The Louis Stokes Wing plumbing system consists of two electric domestic water heaters, manually operated faucets, and automatic flush valve water closets. The domestic water heaters were installed in 2009 and are in fair condition; they may remain in service. Plumbing fixtures were in proper working order and in compliance with ADA standards. All of the public hand washing sinks were equipped with ASSE 1070 mixing valve for tepid water. There is an outdoor garden fountain that has a pump that should be repaired or replaced and should be equipped with a new ozone generator. The storm and sanitary sewer systems are in fair working condition. There are two sump pumps that in good condition. The strainers for the roof drains should be cleaned; algae and plant growth should be removed from the drains.

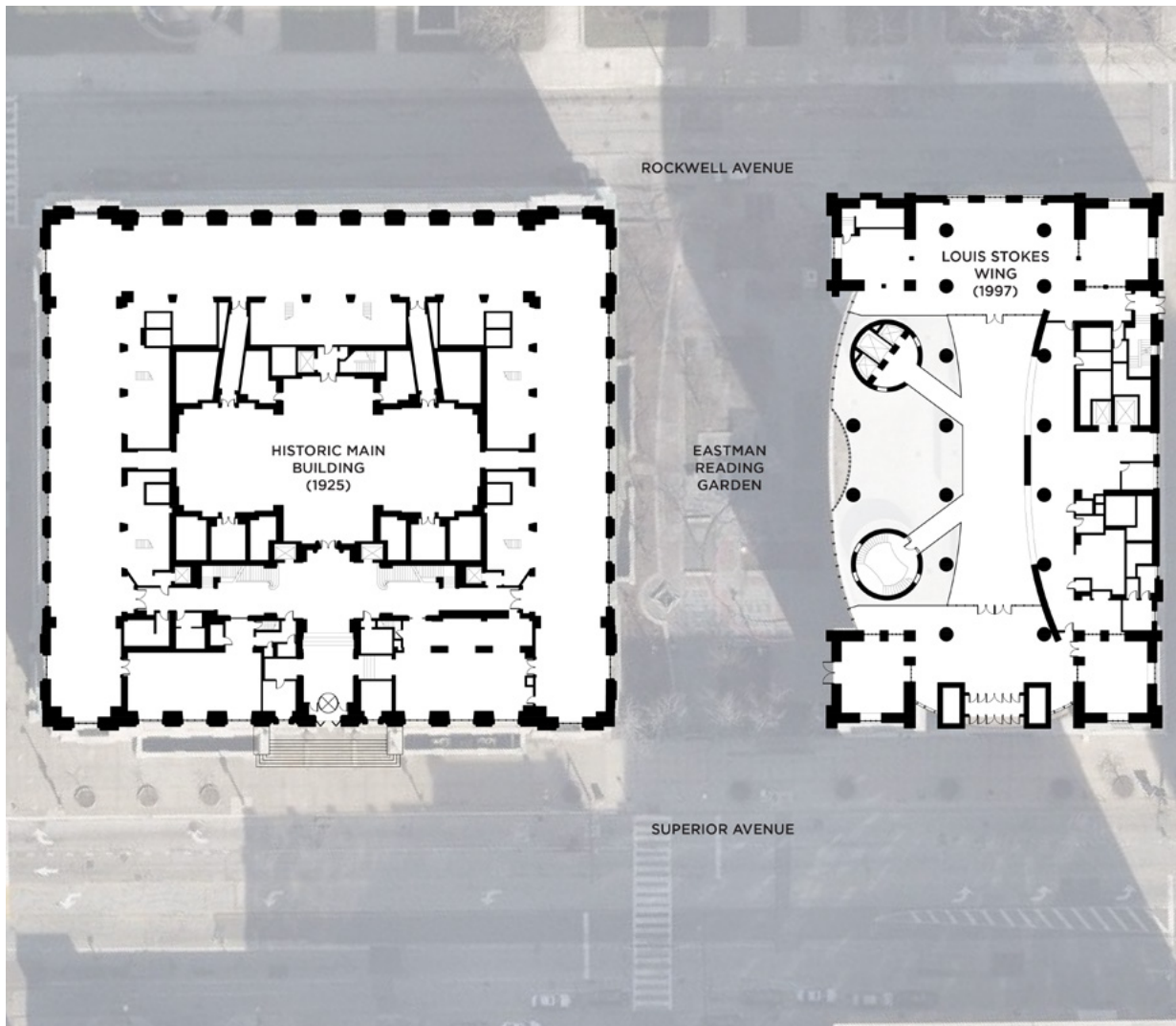
ELECTRICAL The electrical systems in the Louis Stokes facility are in good condition and should be maintained. In general, the Louis Stokes facility main distribution equipment and corresponding distribution/branch circuit panels do not have spare capacity for future/additional loads. As a result of this limited spare capacity in the existing distribution, any new/additional work may result in a new branch circuit panel. The Louis Stokes facility has multiple life safety concerns in regards to the emergency egress lighting and fire alarm device locations/coverage. In general, security and technology devices/equipment are in acceptable condition and serve the current needs of the library. The Louis Stokes Wing uses pole mounted site lighting. The existing pole mounted fixtures are in good condition and should be maintained. The existing landscape fixtures are in poor condition and should be replaced. The Louis Stokes facility has multiple energy savings opportunities through the use of facility wide automatic lighting controls, LED fixtures, and daylight control. These lighting upgrades will provide the library with an efficient code compliant system, lower utility bills, and a reduced energy footprint.

TOTAL COST OF DEFERRED MAINTENANCE ITEMS: \$6,984,740



First Floor Concourse

Current State



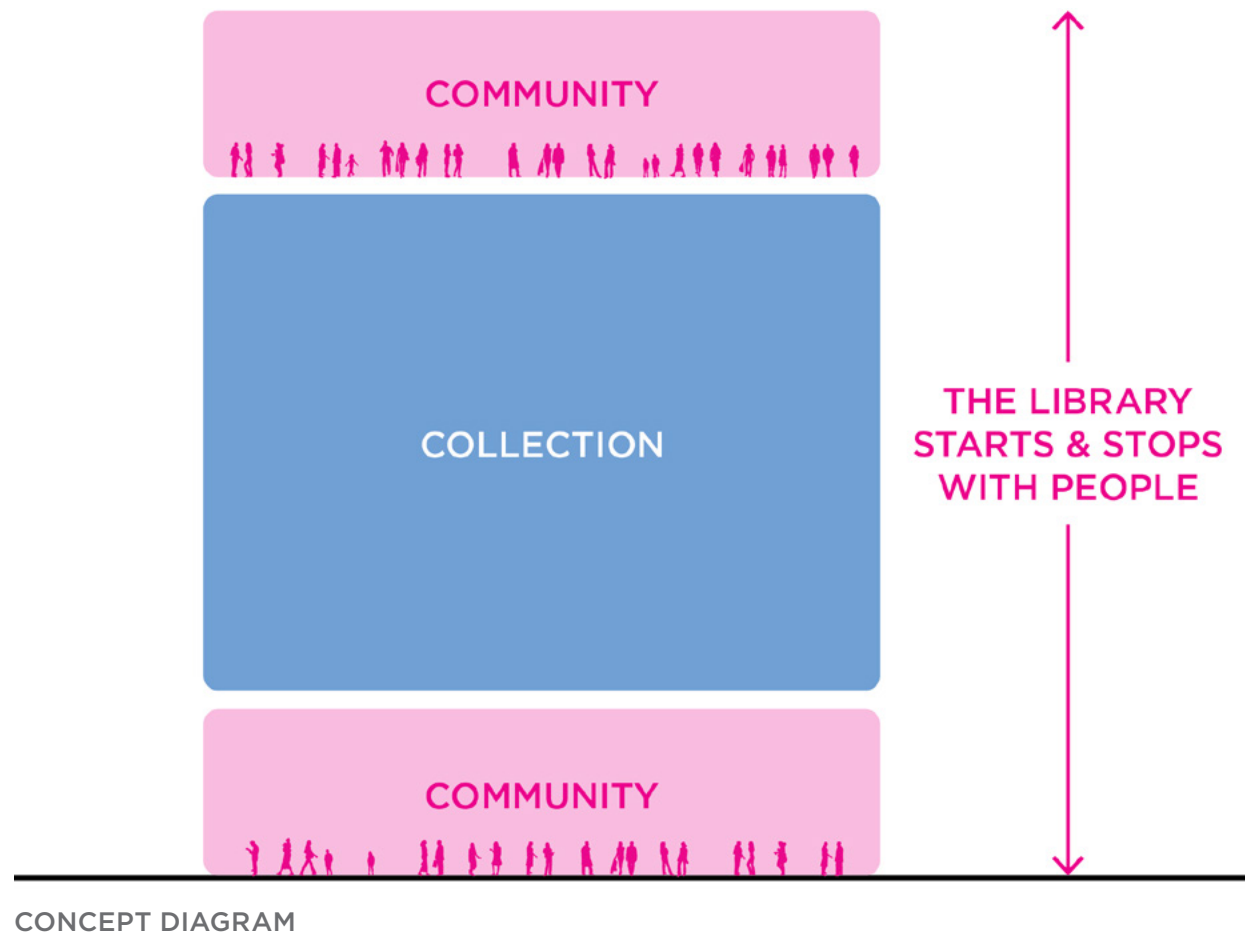
EXISTING FIRST FLOOR PLANS

EXISTING CHARACTERISTICS

- Strong historic character
- Patrons often do not recognize that the services provided are located in both buildings and there is limited wayfinding
- The building is centrally located to serve the system
- There is a drive-up book drop location at the Louis Stokes Wing
- The only accessible entry into the buildings is through the Louis Stokes Wing
- Many of the floors in the upper levels of the buildings are not publicly programmed
- Few designated meeting spaces
- There is no library designated parking for patrons
- Mezzanine levels in the historic Main Building are poorly used and some areas are not publicly accessible

Future Vision

THE PEOPLE’S UNIVERSITY Cleveland Public Library’s Main Campus is a core component of its identity as the ‘People’s University’. It should exemplify the Library’s role as a center of learning for a diverse and inclusive community with an emphasis on the people it serves. Giving the most desirable space over to the community by adapting the top and bottom floors of each building to be flexible and publicly oriented will project the image of a library that starts and stops with the people.



Library Recommendations

CURRENT STATE The historic character of the Main Campus has been maintained as a Cleveland landmark. The building serves as the central research library within the system and the region. There is ample room for expanding programmed space within the existing buildings, though the Historic Main Building has some accessibility issues. The simple, open layout of the collection lends itself to flexibility and reorganization. The site is well located to serve the city's population, but has poor access from the Rockwell Avenue side of the library. There is opportunity to reclaim some staff floors if storage and administrative offices are relocated. The buildings flank the Eastman Reading Garden, a small park that is owned and maintained by the library. The garden is in good condition and well used, but requires a few site improvements. The Main Library relies on street parking, paid garage parking, and public transit for patrons.

FUTURE VISION - RENOVATION

It is recommended that the Main Campus be renovated to maximize the potential of the existing square footage available to maintain the library's standing as a research institution while also reflecting the people-centered approach taken to the branches. Being respectful of the building's historic character will be critical in any renovation which will include the reorganization of program throughout both buildings, allowing the library to reclaim the storage floors to provide new community meeting space. The goal of the renovation will be to create large public spaces for community learning at the top and bottom of each building with self-guided learning opportunities in the collections located between.

HISTORIC MAIN BUILDING It is recommended that the Main Building be renovated to modernize and make better use of the space while retaining its historic character. Renovation of the first floor collection would provide opportunities to open up the mezzanines as new reading spaces. The library should reclaim the fifth floor to provide new community learning space and staff spaces. The other floors would receive a refresh and renovations to address shifting collections.

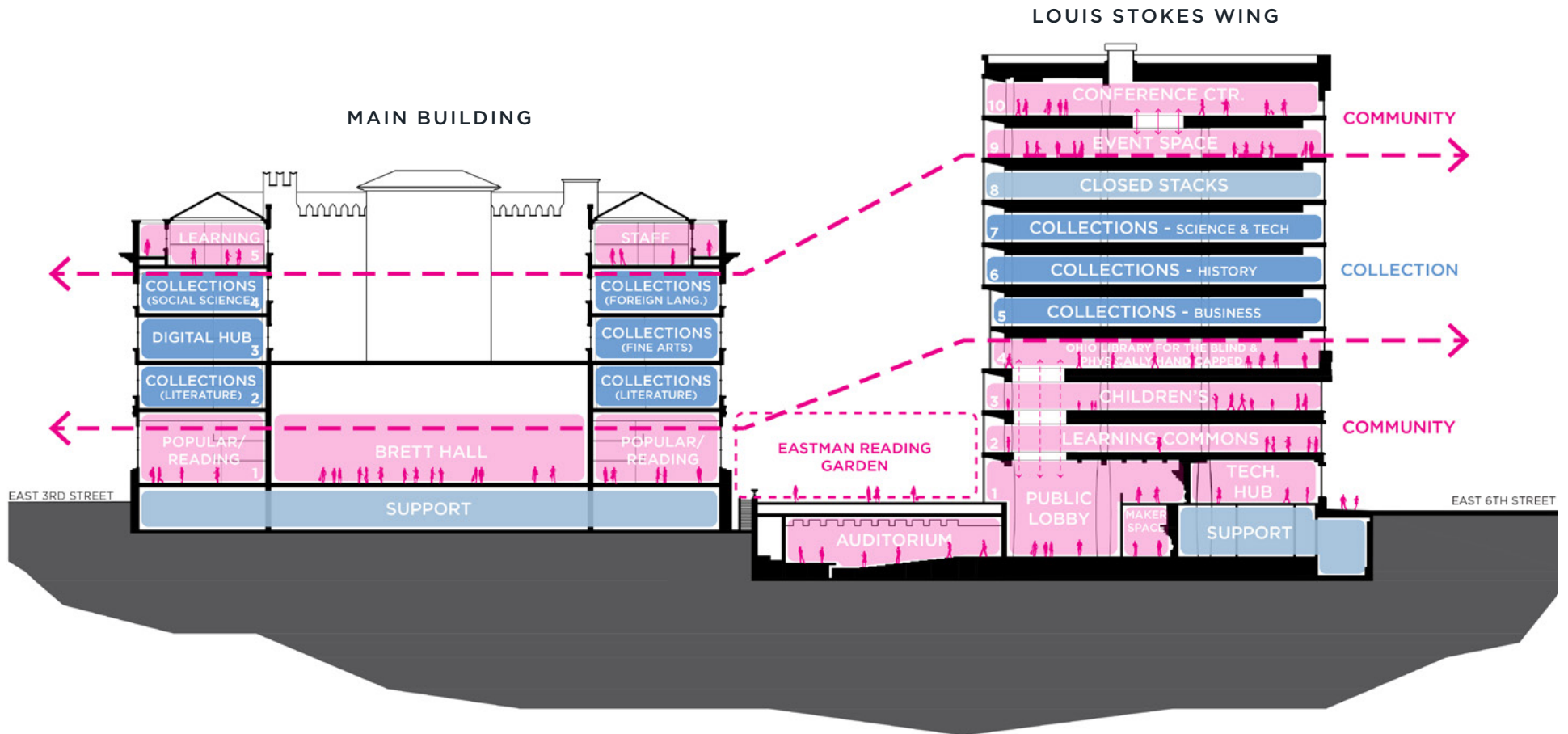
There is space for a small addition at the east side of the Main Building at the Eastman Reading Garden, which could be used to address the existing

accessibility issues. The goal of an addition would be to improve access and the entry experience to the Main Building's first floor. The cost and aesthetic impact of building a ramp as an alternative to a small addition at the reading garden should be considered.

LOUIS STOKES WING It is recommended that the Louis Stokes Wing be renovated to use the space in a manner that supports the library's vision. Renovation of the lower level will provide opportunities to expand the maker spaces while the computer lab shifts to the first floor with expanded support for new technology provides more immediate access for patrons. Shifting the research collections allows the Library to increase the number of floors designated for community space and move the Children's collection out of the historic building a new expanded space on the third floor close to gathering and technology intensive programs.

Moving staff and storage spaces from ninth and tenth floors to a new offsite location would allow it to be reclaimed as public event and conference space. Renovating these floors gives the library the opportunity to pursue additional collaborations with other city partners

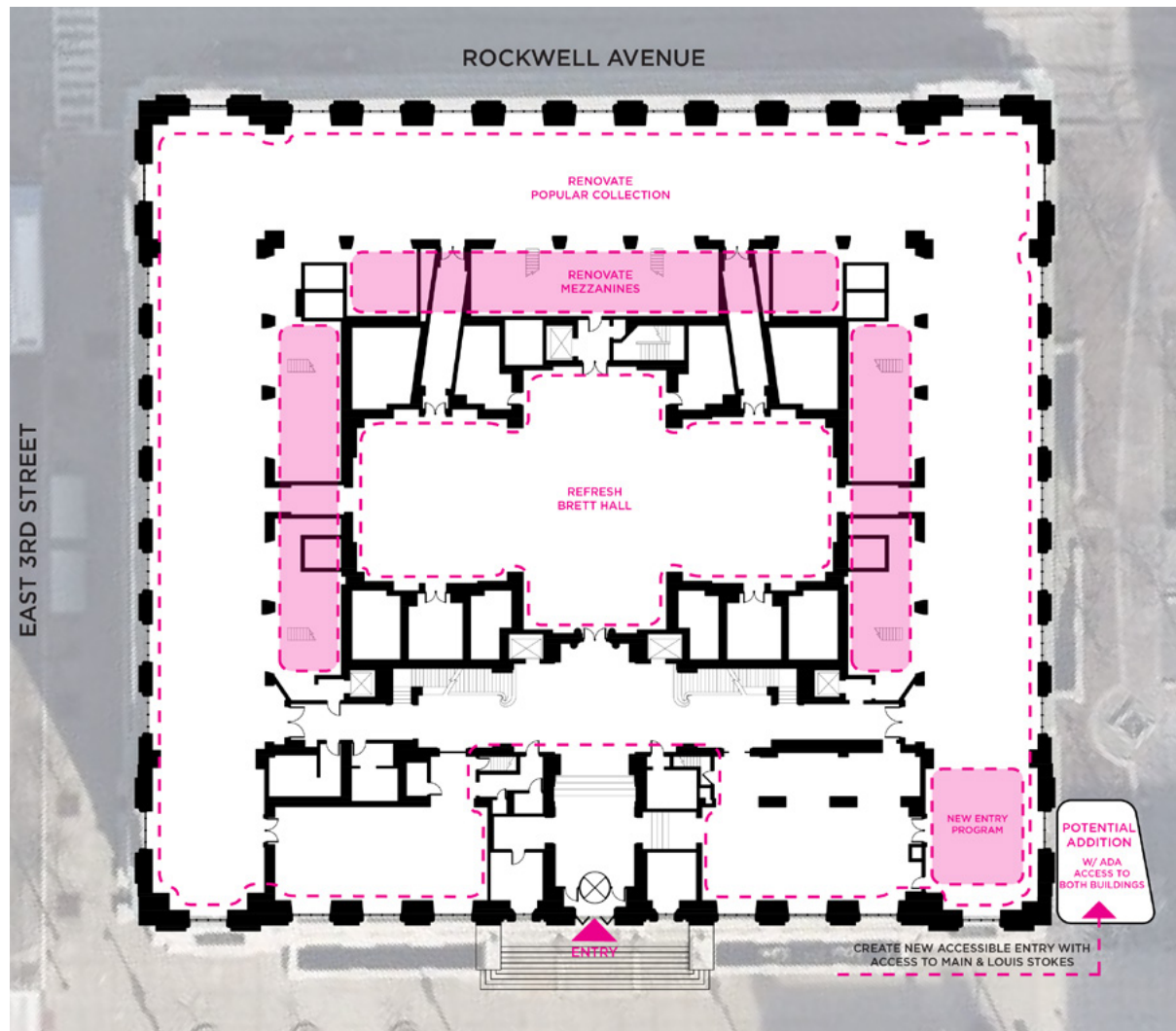
Library Recommendations



POTENTIAL PROGRAM DIAGRAM - SECTION

Future Vision - Main Historic Building

FIRST FLOOR



POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Create new accessible entry with new entry program at the southeast side of the building
- Renovate popular collection
- Reclaim and renovate reading mezzanines
- Improve wayfinding at the main entrance to make patrons aware of the resources located in both the Historic Main Building and Louis Stokes
- Create new reading niches and small meeting spaces at the popular collection
- Break up collections with small meeting or reading spaces

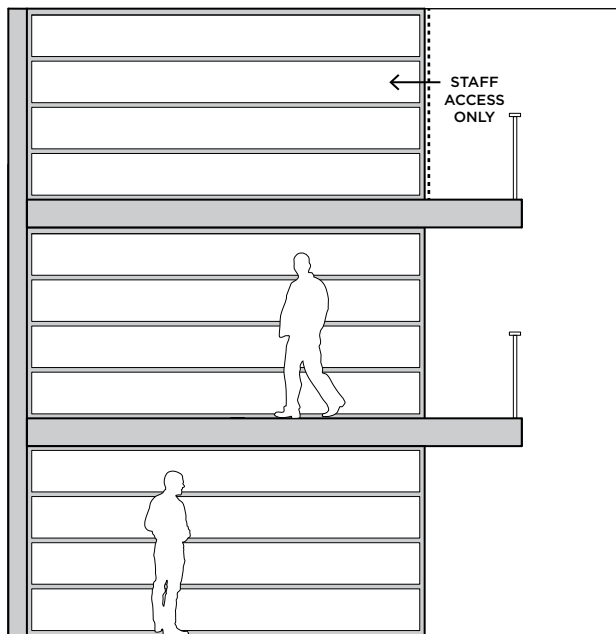
Future Vision - Main Historic Building

FIRST FLOOR

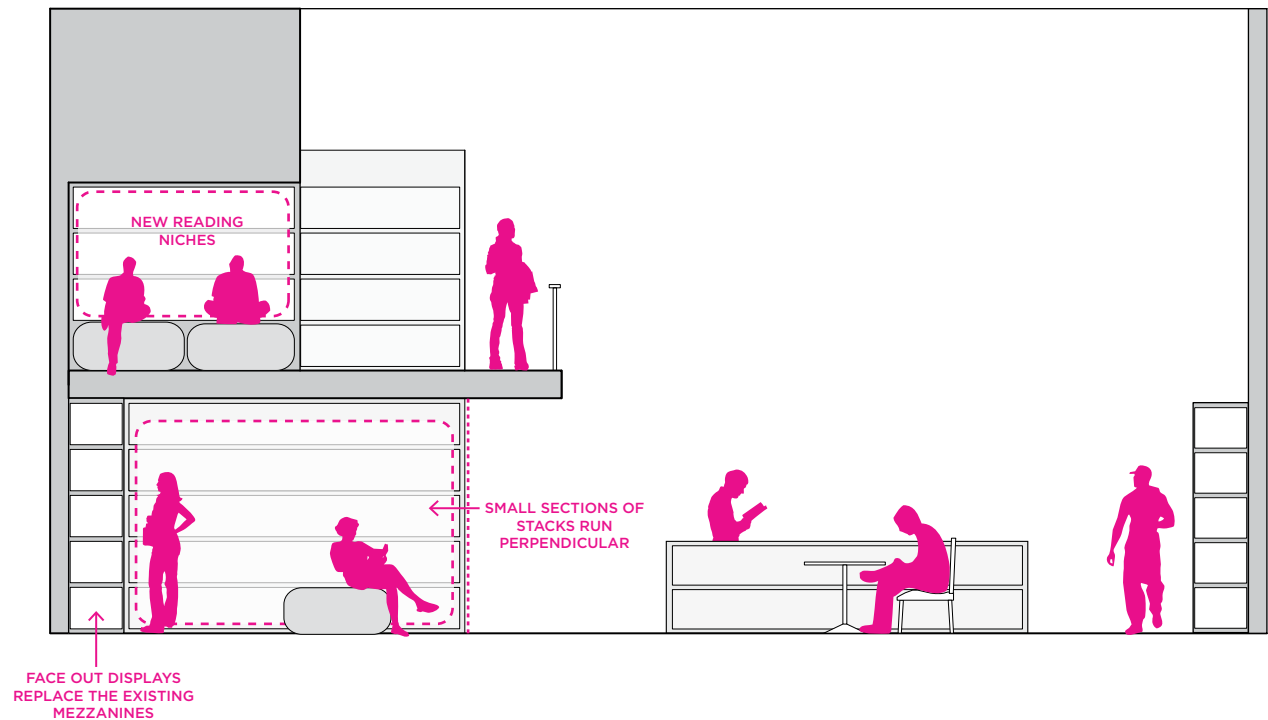
PEOPLE AT THE CORE The center of the Main Library is wrapped in a dense structure of prefabricated metal mezzanines with shelving that houses closed stacks, rarely circulation material, or in many cases, simply sit empty. Removal of these shelving units would allow for the space to be reclaimed with diverse spaces for reading and

meeting punctuated by collection. The dynamic core created would invigorate the building's public areas and support the people-centric approach of the Library that should be evident in the Main Building, particularly its first floor that is an important public face for the institution.

EXISTING MEZZANINE

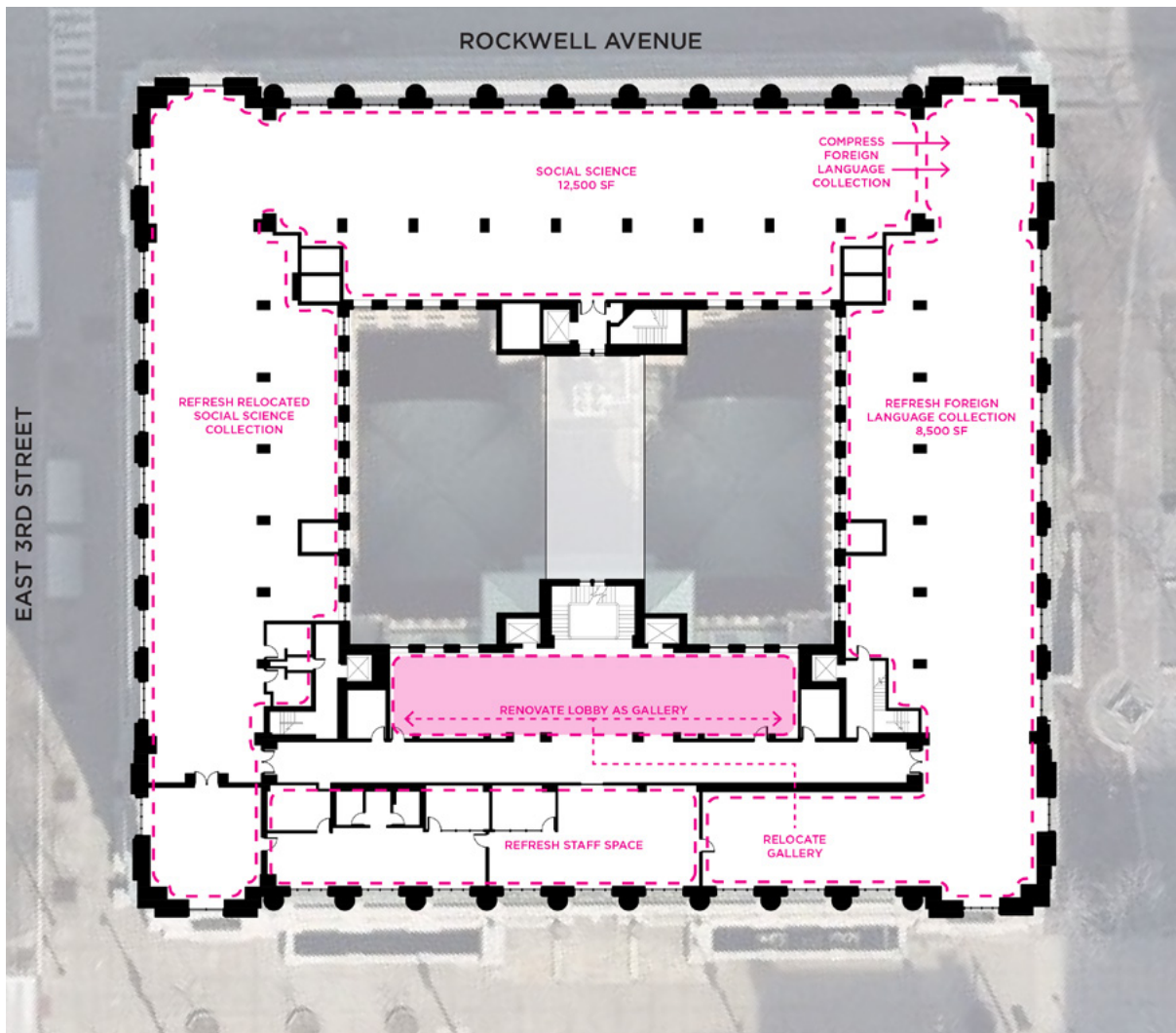


PROPOSED MEZZANINE



Future Vision - Main Historic Building

FLOORS 2-4



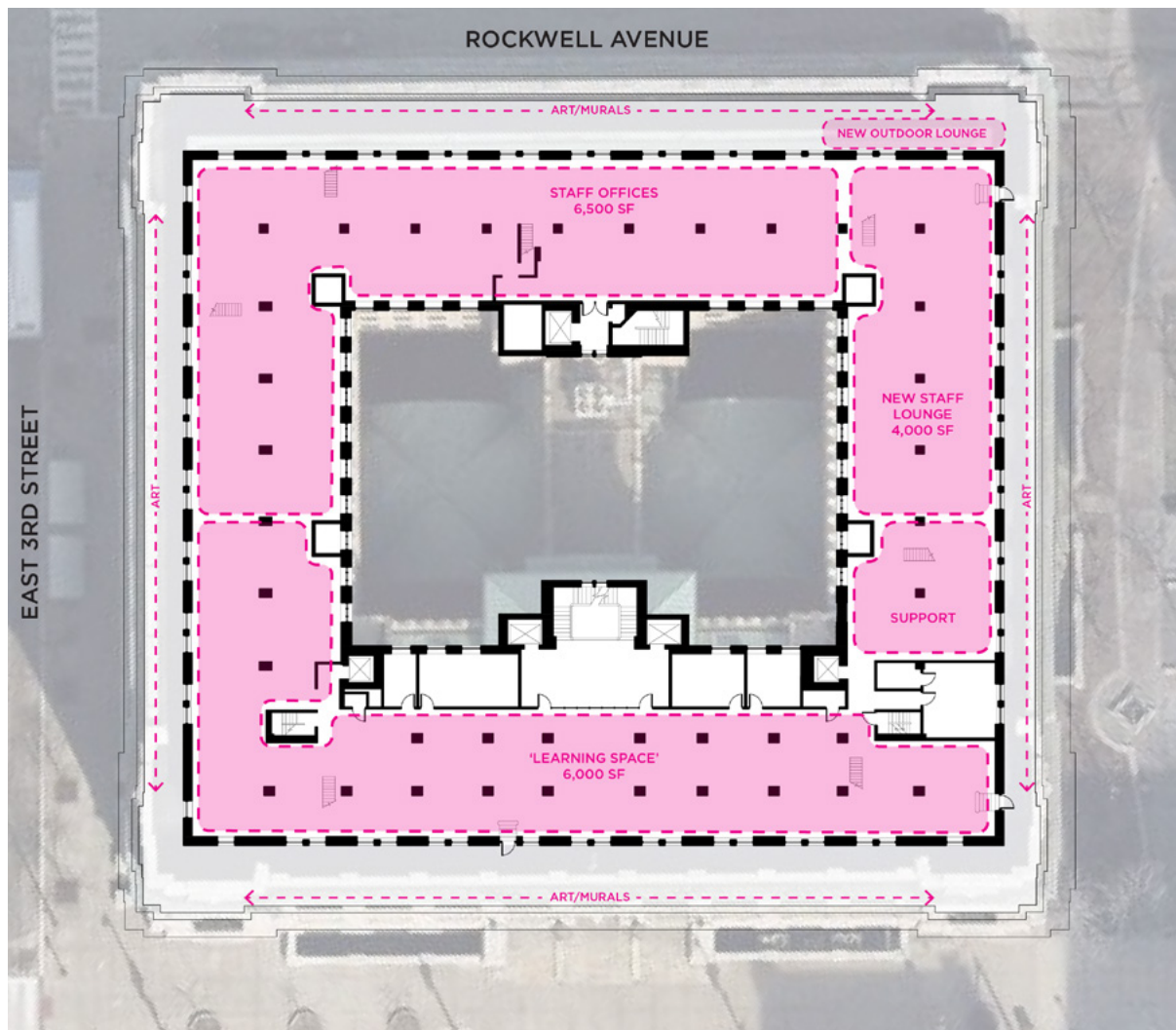
POTENTIAL FOURTH FLOOR DIAGRAM

RECOMMENDATIONS

- Relocate Social Science collection from Louis Stokes Wing
- Renovate collections to make more efficient use of the space
- Refresh staff space
- Relocate existing fourth floor gallery to the central lobby and open up the previously closed off rooms to create a more inviting lobby space
- Compress the Foreign Language collection and wrap it around to the relocated gallery space

Future Vision - Main Historic Building

FIFTH FLOOR



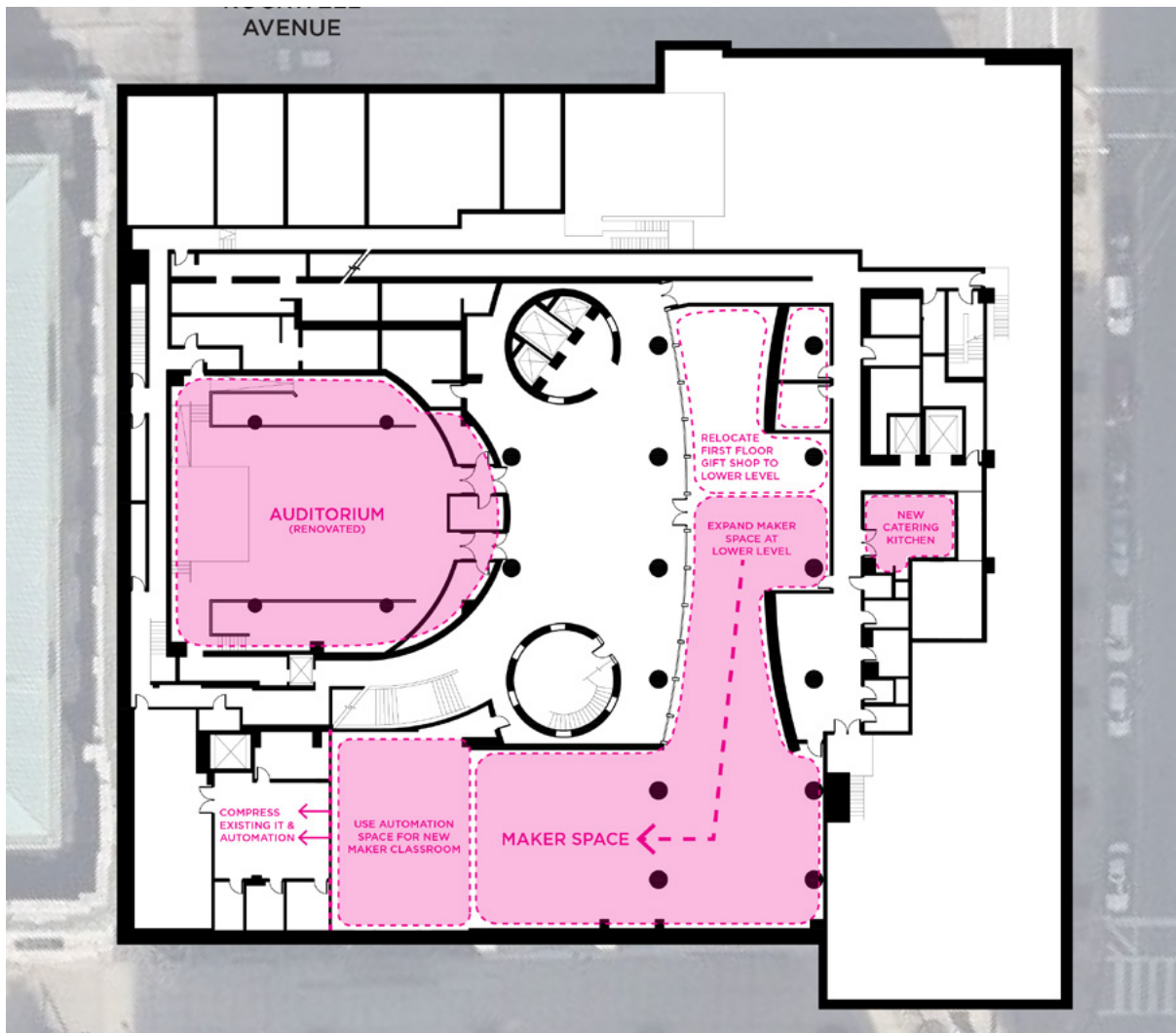
POTENTIAL FIFTH FLOOR DIAGRAM

RECOMMENDATIONS

- Reclaim fifth floor as a public learning commons
- Install art/murals at the parapets
- Move 9th floor LSW staff lounge to the fifth floor of the historic building, with opportunities to utilize exterior space
- Transform part of fifth floor for new classroom style learning spaces
- Create additional staff offices to support new learning commons

Future Vision - Louis Stokes Wing

LOWER LEVEL



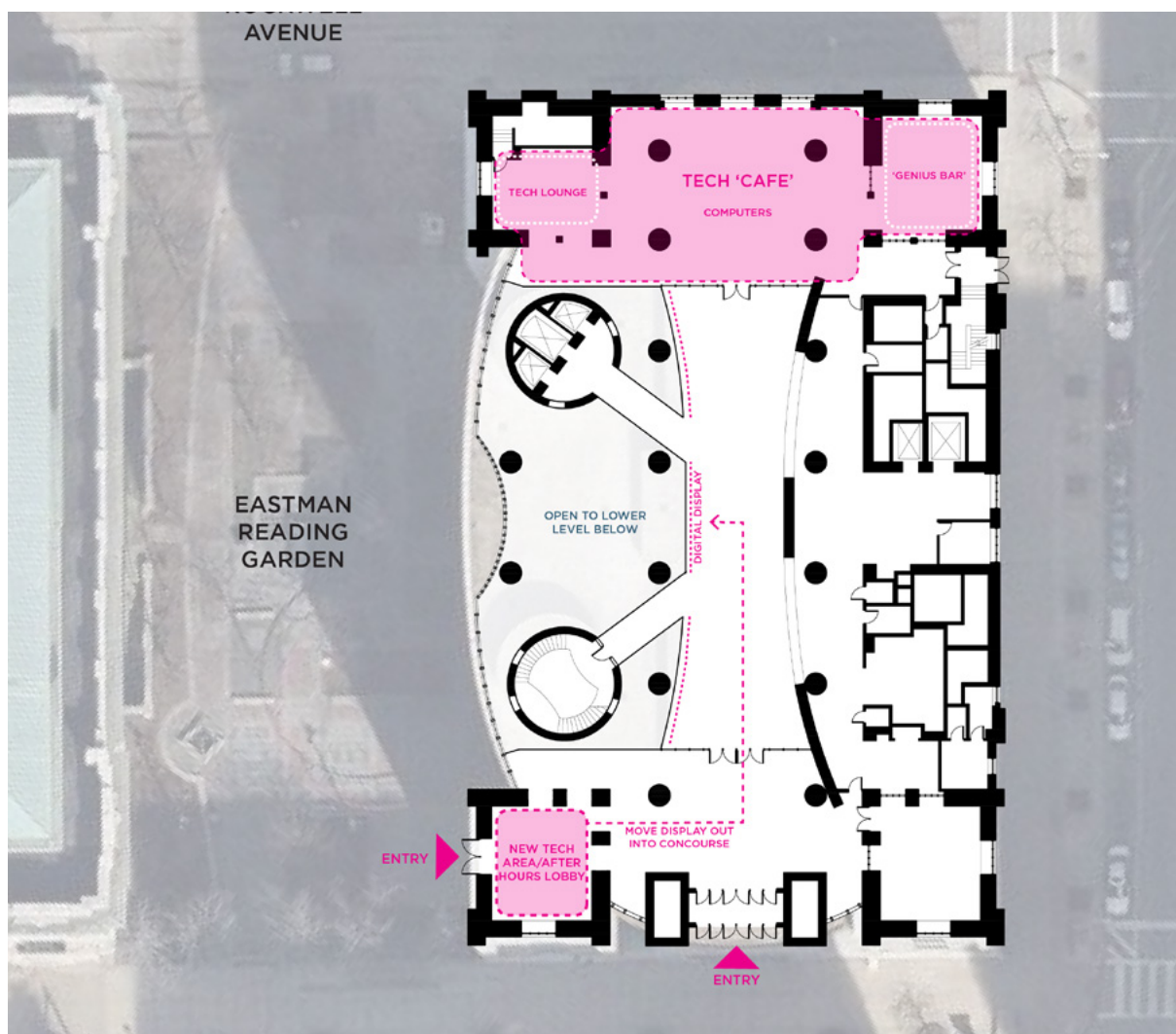
POTENTIAL LOWER LEVEL DIAGRAM

RECOMMENDATIONS

- Renovate auditorium
- Compress existing IT/Automation offices
- Relocate existing TechCentral computer space to first floor
- Expand maker space services
- Create maker space classroom
- Relocate first floor gift shop to TechCentral
- Create opportunity to close off access between Louis Stokes and Historic Main
- Create new catering kitchen with direct access to upper level event spaces

Future Vision - Louis Stokes Wing

FIRST FLOOR



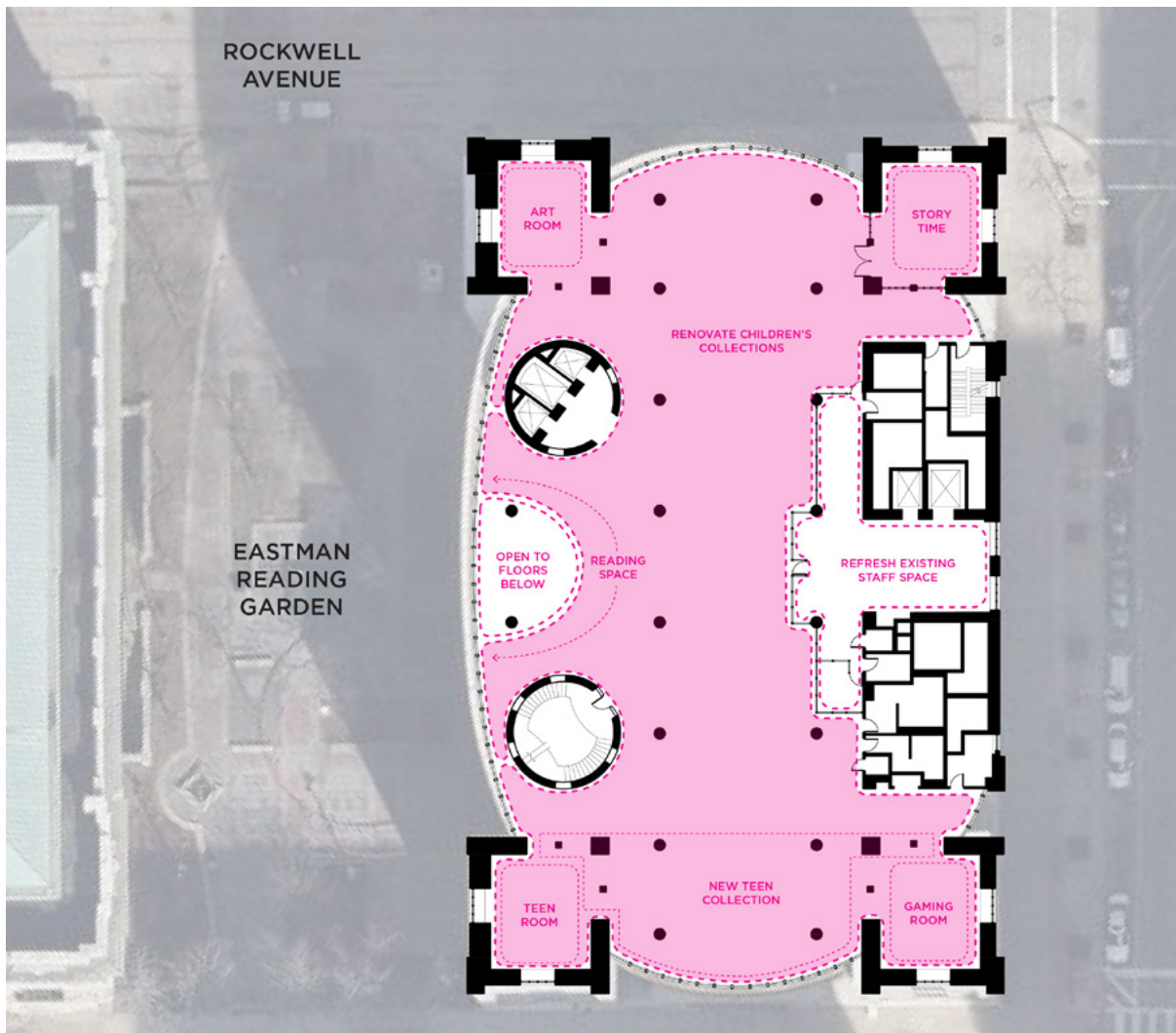
POTENTIAL FIRST FLOOR DIAGRAM

RECOMMENDATIONS

- Create new after hours lobby
- Relocate Louis Stokes gallery into existing concourse as a digital collection to increase public access
- Relocate existing gift shop to lower level
- Establish new 'Tech Cafe', with relocated computer space from the lower level
- Create new tech lounge
- Replace existing gift shop with new tech roll out learning space ('Tech Experimentation Center')
- Create a designated computer area with fixed stations and a 'laptop bar'
- Create new after hours lobby with book storage and short-term use
- Improve wayfinding at the main entrance to make patrons aware of the resources located in both the Historic Main Building and Louis Stokes

Future Vision - Louis Stokes Wing

FLOORS 2-8



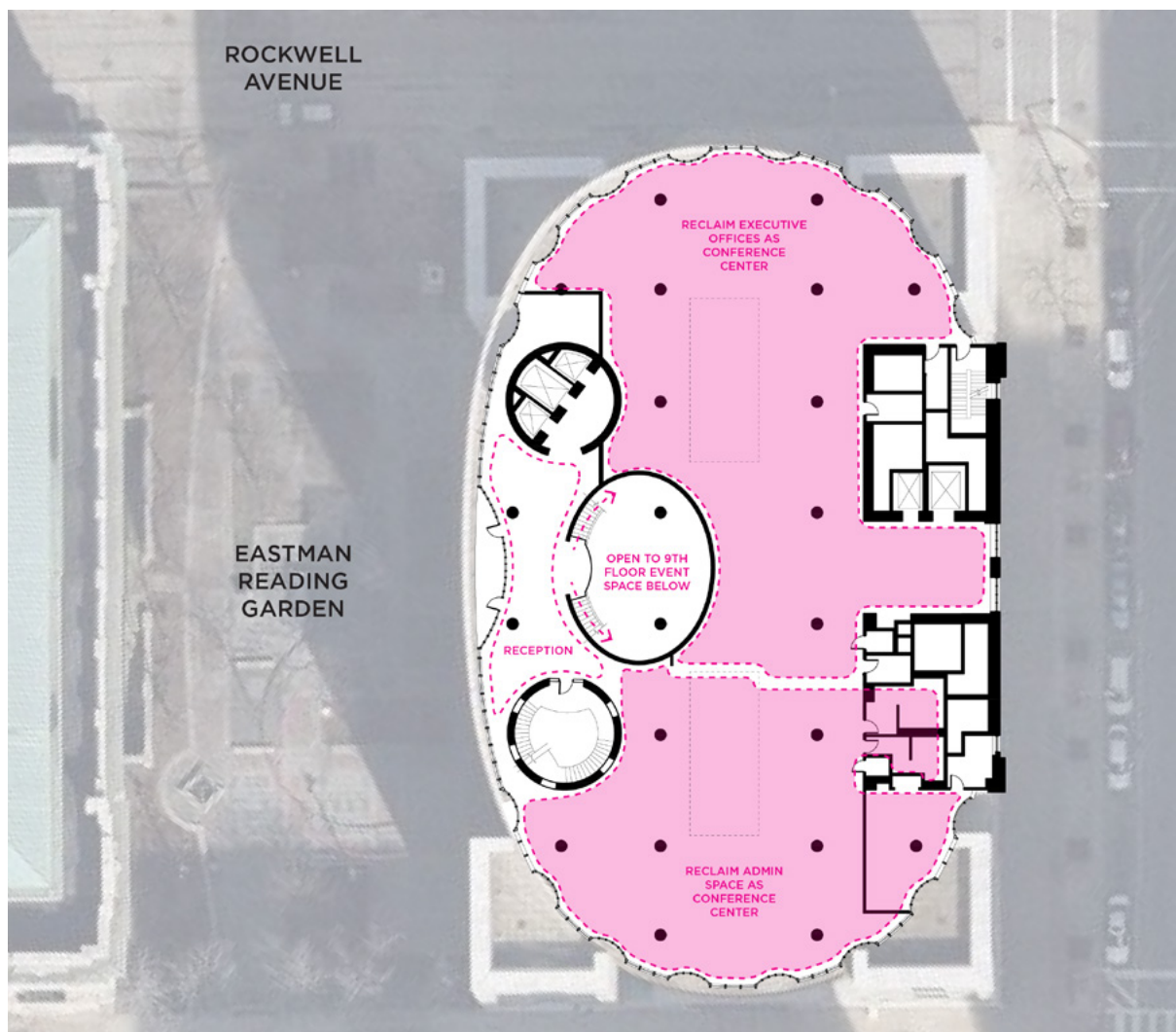
POTENTIAL THIRD FLOOR DIAGRAM

RECOMMENDATIONS

- Relocate children's collection from the Historic Main Building to the 3rd floor of the Louis Stokes Wing
- Relocate collections - see the implementation and Priorities list for details
- Consider creating an opening in the floor at the public gathering floors (2-4)
- Refresh or renovate each collection floor
- Create larger scale interactives area at Children's section
- Consider creating a designated teen section with gaming center
- Reorganize the eighth floor to accommodate temporary collections storage
- Relocate the Ohio Library for the Blind and Physically Disabled to the 4th floor from the Lakeshore Facility
- Relocate the existing stacks on the seventh and eighth floors to a remote storage facility

Future Vision - Louis Stokes Wing

FLOORS 9-10



POTENTIAL TENTH FLOOR DIAGRAM

RECOMMENDATIONS

- Reclaim tenth floor as public space
- Demolish floor at existing board room and open it to event space below
- Create new connection between 9th and 10th floors
- Renovate existing reception space
- Create new conference center
- Relocate administrative and executive offices to a new location
- Create new event space at the ninth floor with potential new learning kitchen and support/prep space that would serve the conference and event spaces

Implementation and Priorities

The work to be performed at the Main Library will be spread over the ten years of the master plan, likely divided into multiple smaller efforts, and will influence many other projects in the system during that time. With such a broad scope it is important the Library begin with a clear set of priorities to maintain focus on what they believe it is most important they achieve.

IMPLEMENTATION COST

Total Cost Of Implementation: **\$60,000,000**

HISTORIC MAIN BUILDING

GROUND FLOOR

Popular Collection

HIGH PRIORITY

- Create new accessible entry through an expansion with an elevator or ramp
 - *New service point will be needed*
- Renovate first floor collection and mezzanine

LOW PRIORITY

- Add new teen space at the popular collections floor
- Create new gateway connection at the Eastman Reading Garden
- Work best completed in conjunction with the new entry expansion

FLOORS 2-4

Collection

MEDIUM PRIORITY

- Renovate fourth floor as Foreign Language & Social Sciences collections
 - *Requires Children's collection to relocate to Louis Stokes*
 - *Necessary for relocation of Social Science collection from Louis Stokes*

LOW PRIORITY

- Refresh of second floor Literature collection
- Refresh of third floor Fine Arts collection

FIFTH FLOOR

Classrooms

HIGH PRIORITY

- Relocate staff lounge and create new staff offices
 - *Necessary for the relocation of administrative offices from Louis Stokes*

MEDIUM PRIORITY

- Create new classroom learning spaces for public use

LOW PRIORITY

- Install public art at parapets
- Utilize outdoor space for lounge & recreation

LOUIS STOKES WING

LOWER LEVEL & FIRST FLOOR

Technology

HIGH PRIORITY

- Relocate TechCentral computers to the first floor and renovate the 'Indoor Reading Garden' as new TechCafe
 - *Requires the gift shop to be relocated to the lower level of Louis Stokes*
- Expand TechCentral Maker Space
 - *Further expansion can occur if IT Automation is compressed*

MEDIUM PRIORITY

- Relocate gift shop to the lower level
 - *Necessary for the relocation of TechCentral computers from lower level*

LOW PRIORITY

- Relocate Louis Stokes gallery to public concourse and create new express service lobby in the gallery's current location

FLOORS 2-4

Public Gathering

HIGH PRIORITY

- Renovate third floor as new Children's collection
 - *Necessary for the relocation of the children's collection from Historic Main*
 - *Requires the relocation of the Science & Technology collection*

MEDIUM PRIORITY

- Renovate fourth floor as new Library for the Blind & Physically Disabled
 - *Necessary for the relocation of the Library for the Blind and Physically Disabled from the Lake Shore Facility*
 - *Requires the relocation of the Business collection*

LOW PRIORITY

- Create floor openings for visual connection
- Refresh second floor learning commons

FLOORS 5-8

Collection

HIGH PRIORITY

- Renovate seventh floor as new Science & Technology collection
 - *Necessary for the relocation of the Science & Technology collection from Louis Stokes*
 - *Requires the relocation of the stack storage to the Central Distribution Facility*

MEDIUM PRIORITY

- Reorganize eighth floor to enable temporary collection storage
 - *Requires the relocation of the closed stack storage to the Central Distribution Facility*
- Renovate fifth floor as new Business collection
 - *Necessary for the relocation of the Business collection from Louis Stokes*
 - *Requires the relocation of the Social Sciences collection to Historic Main*

LOW PRIORITY

- Refresh sixth floor History collection

FLOORS 9-10

Conference & Event

HIGH PRIORITY

- Create new event and conference center
 - *Requires the relocation of the closed storage to the Central Distribution Facility*
 - *Requires the administrative offices to be relocated to new Administration Building*

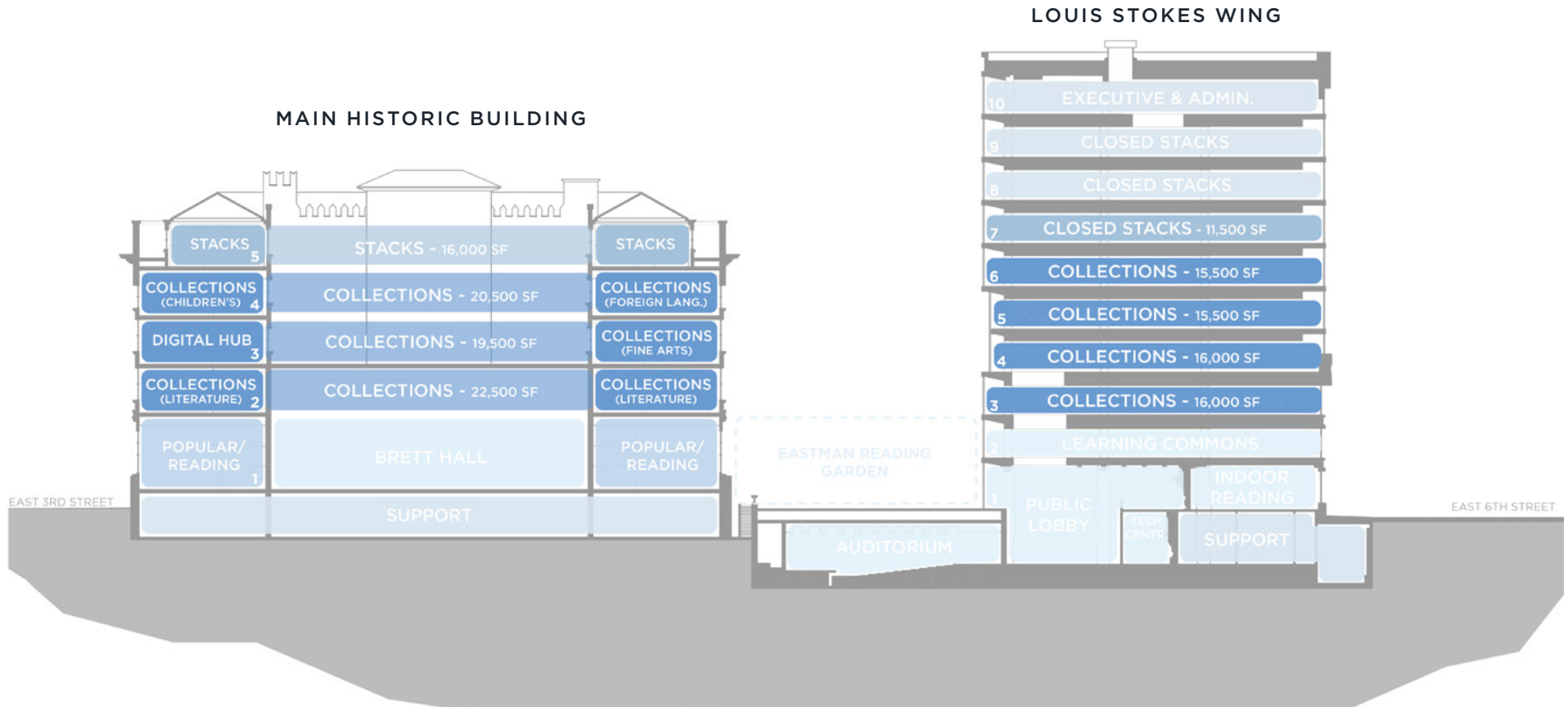
MEDIUM PRIORITY

- Create floor opening between the ninth and tenth floors

LOW PRIORITY

- Create new learning kitchen at the ninth floor

Evaluating Program



EXISTING PROGRAM SECTION

COMPARING SPACES The existing program in both buildings was evaluated to determine how resources might be reallocated. Due to the large interior courtyards, the amount of space available in the Historic Main Building varies between 19,000

and 23,000 square feet. A typical floor in the Louis Stokes varies between 11,000 and 16,000 square feet with most collection spaces located on the larger floors. Reducing the amount of floor space dedicated to each collection floor to 12,000 square

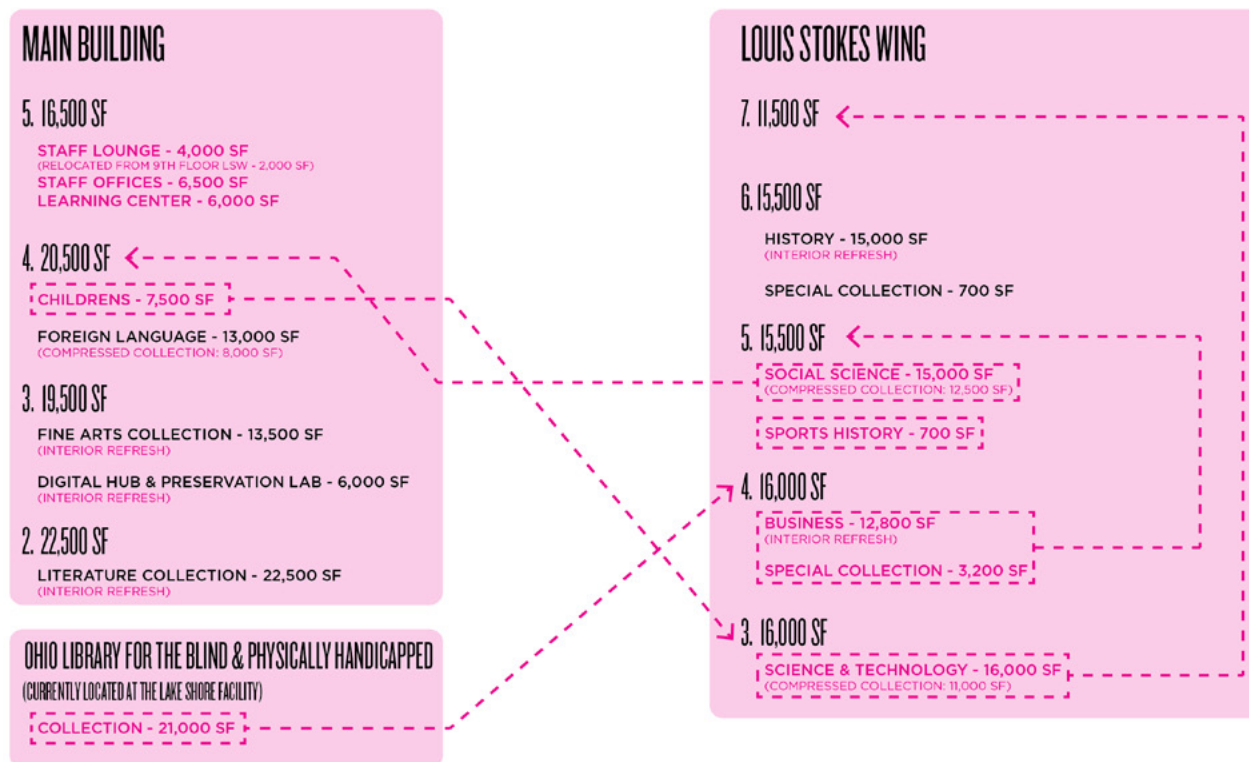
feet would provide flexibility for shifting select collection to other floors or between buildings.

Reorganizing Space

Though they vary significantly in architectural character the similarity of use and open plans of both building lend themselves to reorganization and transfer of program. This flexibility allows for the degree of reconfiguration necessary for the Library to implement its plans for Increasing the amount of public space at the most prominent and desirable locations in the buildings.

The real challenge for changes at the Main Campus will not be where program goes but when and how it gets there. The work performed at the two downtown buildings will occur over a span of years and require careful coordination to allow service to be maintained at these locations for the duration. Their planning is impacted not only by work within the Main Campus but also by other significant efforts of the master plan such as The Library for the Blind & Physically Handicapped will be moving from the Lake Shore Facility and the construction of a new Administration Building allowing the tenth floor to be made available as public space.

As the Library more firmly defines the scope of its work at the Main Campus careful consideration will be given to balancing sequencing and efficiency of construction in order to achieve its goals effectively. The recommendations in this document outline some critical considerations, like creating swing space within the library to maintain service during construction, that will need to be part of a project specific implementation plan.

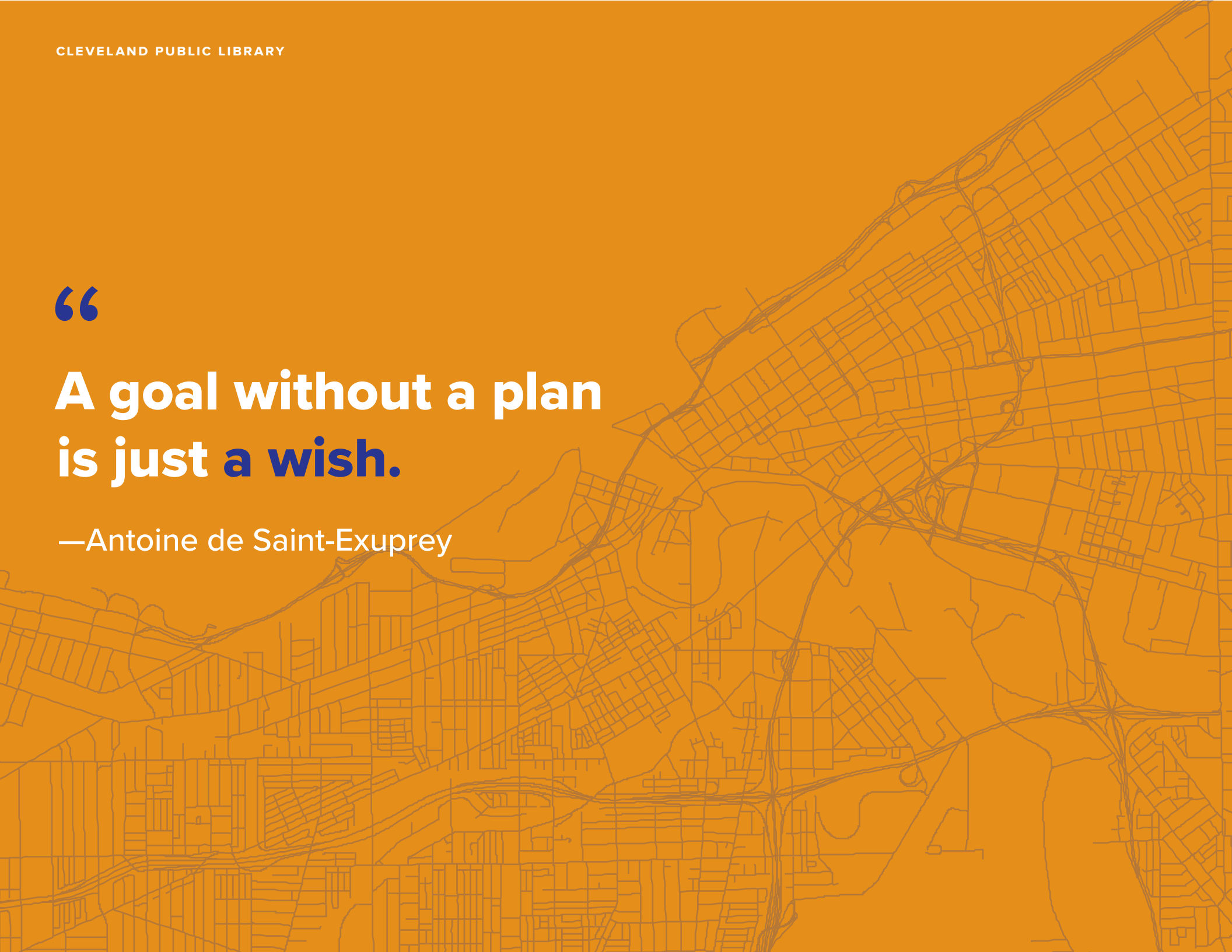


POTENTIAL REORGANIZATION DIAGRAM

“

**A goal without a plan
is just a wish.**

—Antoine de Saint-Exuprey



SECTION 5

Implementation

Implementation

The recommendations put forth in prior sections of this document establish a bold vision for how Cleveland Public Library can re-imagine its spaces for the future. In order for these ambitions to be achievable there must be a defined and realistic path forward. This means creating an implementation plan that:

- **Estimates Probable Cost**
- **Identifies High Priorities**
- **Establishes an Implementation Schedule**

These exercises provide the tools needed to execute work of such broad scope effectively in a defined timeframe. The master plan is structured such that all the facility improvements are to be completed within ten years while limiting gaps in service and being equitable about how and when projects are implemented. The costs of the work must allow the Library to work within a responsible budget and secure the funding it needs to address the plan in its entirety. In addressing these practical concerns the master plan becomes more than a wish list; it is an actionable strategy for future growth.



COST ESTIMATING METHODOLOGY

The project budgets for the master plan were developed to be as comprehensive as possible in accounting for implementation costs without having specific building designs in place. The Library worked with the design team to classify levels of renovation that could be applied consistently to branches anticipated to have similar scopes of work. With the assistance of Regency Construction Services Inc an estimate of probable cost per square foot was established for each level of renovation and new construction. This was then utilized in creating project budgets for the scope of each branch project.

All the costs identified are intended to represent Total Project Cost which includes:

- Hard costs of site and building construction
- Professional service fees
- Furniture, Shelving and Equipment
- Other soft costs such as permit fees, utility fees, and inspections
- Contingencies to account for unforeseen conditions and unique aspects of specific building designs

EXISTING CONDITIONS

DEFERRED MAINTENANCE: VARIES

- As identified in deferred maintenance budgets.
- Deferred maintenance costs not covered by scope of renovation work to be performed has been incorporated on a case by case basis

NEW BUILDINGS

NEW CONSTRUCTION: \$460/SF

- Based on benchmark data from similar projects in the region as well as specific input regarding the library's requirements
- Cost assumes a 10,000-15,000sf building.
- Costs for additions have been estimated at a higher cost (\$575-800/sf) depending on scope

All costs identified here, as well as total cost of implementation listed in the branch sections, do not include escalation. Escalation, estimated at 3% per year, is factored into the group totals identified in the implementation section and is based on each project's anticipated place in the schedule.

RENOVATION LEVELS

INTERIOR REFRESH: \$114/SF

DEFERRED MAINTENANCE ITEMS +

- Replacement of all finishes
- Full replacement of furniture, cabinetry, and shelving
- Minor electrical updates including additional outlets, floor boxes and partial lighting replacement
- Replace/upgrade all AV/IT equipment
- Replace mechanical diffusers/grilles

FULL RENOVATION: \$163/SF

INTERIOR REFRESH +

- Partial reconfiguration of spaces
- Full lighting replacement
- Replace/upgrade AV/IT infrastructure
- Updated plumbing fixtures in existing restrooms
- Landscape and signage allowance
- Full ductwork replacement

MAJOR RENOVATION: \$221/SF

FULL INTERIOR RENOVATION +

- Significant reconfiguration of interior spaces including partitions, ceilings, doors, HVAC, and electrical
- New restrooms including new plumbing

PRIORITIZATION OF RECOMMENDATIONS

Cleveland Public Library is dedicated to making significant, impactful changes to all of its facilities in the next decade but certain projects stand out as time sensitive and essential. These are projects that serve an immediate need, are critical to the effectiveness of other aspects of the master plan or who's success is based on immediate involvement of other stakeholders. Identifying these initial high priorities ensures that the Library addresses crucial concerns promptly and forms the foundation for the implementation of the remainder of the work.

The master plan work has been organized into two primary phases for the branches, spreading the work, and associated costs, over ten years. The first group, which will include all the priority branches will be targeted for completion within the first five years with the second group occurring primarily in the five that follow. The updates to the Main Campus will run concurrently with the branch groups with projects executed over the span of the master plan. This phasing provides the foundation for a schedule that allows the Library to carry out the work in a thoughtful and balanced manner.

BRANCH PRIORITIES

MARTIN LUTHER KING JR BRANCH

- Design is already underway on this building that will provide a regional anchor on the east side of the city

JEFFERSON BRANCH

- This small but active Carnegie branch will be used to prototype the library's new service model in a compact but flexible space

WEST PARK BRANCH

- One of the most heavily used branches in the system in a unique, historic building will receive much needed maintenance and updating

WALZ BRANCH

- Partnership with a community minded developer will allow the Library to move forward with replacing this problematic but well located branch.

CENTRAL DISTRIBUTION FACILITY

- Building a new central distribution facility will play a critical role in the library being able to improve its operating efficiency while raising the level of service to the public

MAIN CAMPUS PRIORITIES

HISTORIC MAIN BUILDING

- Create new accessible entry at first floor through an expansion with an elevator or ramp
- Renovate first floor collection and mezzanines
- Relocate staff lounge and create new staff offices at fifth floor

LOUIS STOKES WING

- Relocate TechCentral computers to the first floor and renovate the 'Indoor Reading Garden' as new TechCafe
- Expand TechCentral Maker Space
- Renovate third floor as new Children's collection
- Renovate seventh floor as new Science & Technology collection
- Create new event and conference center at ninth & tenth floors

PHASING GROUPS

GROUP 1	
GROUP 1A	
MLK CENTER	[NEW BUILDING]
JEFFERSON	[RENOVATION & ADDITION]
HOUGH	[NEW BUILDING]
WALZ	[NEW BUILDING]
MEMORIAL NOTTINGHAM*	[NEW BUILDING]
WEST PARK	[RENOVATION & ADDITION]
GROUP 1B	
STERLING	[RENOVATION & ADDITION]
LORAIN	[MAJOR RENO. & ADDITION]
BROOKLYN	[MAJOR RENOVATION]
CENTRAL DIST. FACILITY	[NEW BUILDING]
EASTMAN	[REFRESH]
WOODLAND	[MAJOR RENO. & ADDITION]
ROCKPORT	[NEW BUILDING]
MT PLEASANT	[NEW BUILDING]
TOTAL COST: \$62,000,000*	

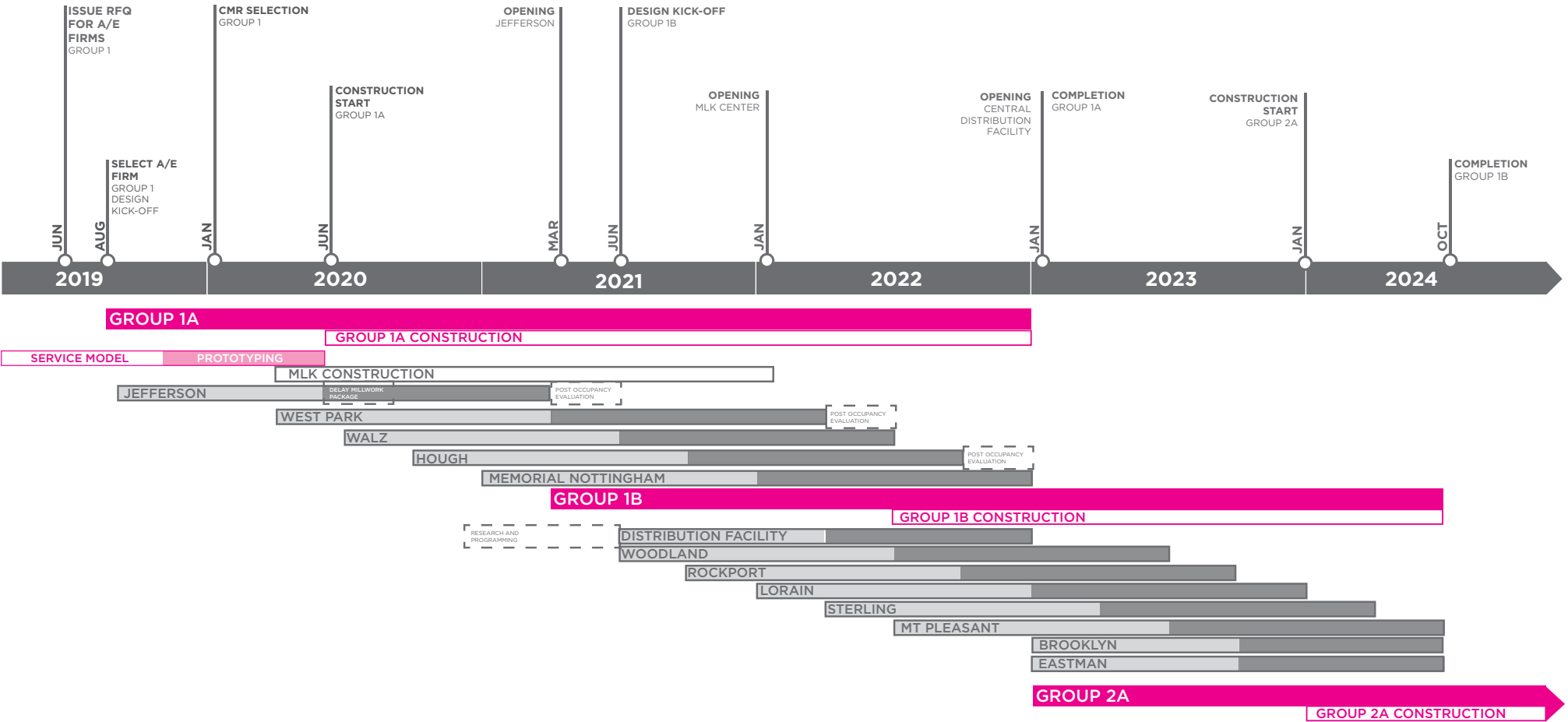
*TOTAL COST DOES NOT INCLUDE MEMORIAL NOTTINGHAM - IT IS ANTICIPATED THAT THE \$7,800,000 COST OF MEMORIAL NOTTINGHAM WILL BE COVERED BY ALTERNATIVE FUNDING SOURCES

GROUP 2	
GROUP 2A	
MAINTENANCE GARAGE	[RENOVATION]
ADDISON	[RENOVATION & ADDITION]
COLLINWOOD	[RENOVATION & ADDITION]
HARVARD LEE	[NEW BUILDING]
UNION	[REFRESH]
GROUP 2B	
SOUTH BROOKLYN	[RENOVATION & ADDITION]
FLEET	[RENOVATION & ADDITION]
CARNEGIE WEST	[MAJOR RENO. & ADDITION]
GLENVILLE	[REFRESH]
FULTON	[REFRESH & ADDITION]
LANGSTON HUGHES	[REFRESH]
RICE	[REFRESH]
GARDEN VALLEY	[REFRESH]
TOTAL COST: \$41,000,000	

MAIN RENOVATIONS	
GROUP 3	
MAIN BUILDING	[RENOVATION]
LOUIS STOKES	[RENOVATION]
TOTAL COST: \$60,500,000	

Total Costs identified for implementation of Phasing Groups includes cost of all work associated with the projects listed modified to include escalation costs based upon their anticipated construction dates

IMPLEMENTATION SCHEDULE



The implementation of Group 2 continues on through 2027.

Work associated with the Main Campus will be ongoing through the Master Plan process

A PATH FORWARD

The schedule proposed for completion of the master plan is **ambitious but achievable**. First addressing established priorities the library will learn from those projects and build upon their success as they take a balanced approach to re-imagining the rest of the system. For the entirety of the schedule the construction phases of the building projects stagger to limit the strain on the Library's resources. Scheduling also restricts construction occurring in proximate neighborhoods to limit gaps in service for neighborhoods who's branches are closed for renovation. While the master plan schedule focuses on the branches and improving their service to communities it will also be a time of big change at the Main Campus where there will be on-going updates and renovations throughout the ten years implementation period.

The schedule accounts for the continued development of the Library's new service model that, as it evolves, will inform the way its buildings take shape. **Factoring in time to work through new processes with the input of staff and then experiment with them**, first through prototyping ideas in existing spaces and then deploying them first in the Jefferson branch provides the opportunity to refine their approach to service before implementing on a larger scale. Addressing the new Distribution Facility as a part of

Group 1 will provide the Library the needed level of operational efficiency well before the majority of new or renovated branches come online. This will prevent temporary challenges to service that would be created by opening new, re-imagined branches prior to the infrastructure necessary for fully implementing the service model.

As Cleveland Public Library looks back upon its 150-year history this master plan provides a view of the bright future ahead. Though firmly rooted in

the Library's current vision this document should be approached with the same flexibility recommended for its buildings. The Library's approach to its facilities should continually adapt to the feedback of the community and accommodate patrons' evolving needs.



