

CLEVELAND PUBLIC LIBRARY

Main Library Consolidation

Cleveland Public Library
325 Superior Ave., N.E.
Cleveland, OH 44114

Architect:
Bostwick Design Partnership

Consultants:

Wayfinding, Exhibitory and Multimedia
Karen A. Skunta & Company



MEPT Engineer and Lighting Design
TEC, Inc.



Budgeting and Scheduling
McGuiness Unlimited



BDP No. 10020
December 2010

Bostwick
Design
Partnership



Table of Contents

- 1 **Executive Summary**
 - Background*
 - Goals and Process*
 - Participants*
 - Recommendations Summary*
 - Timeline*
 - Conceptual Budget*
- 2 **Existing Conditions**
 - Planning*
 - Architectural Observations*
 - Engineering Observations*
 - Lighting Observations*
 - Mechanical Observations*
 - Technical Observations*
- 3 **Recommendations**
 - Program of Service*
 - Phasing*
 - Design Inspirations*
 - Timeline and Budget*



Main Building Original Rendering



Main Building Under Construction



Main Building Entry Today



Main Library Campus Today, Main Building and Louis Stokes Wing





Executive Summary



The Main Library of Cleveland Public Library is a campus of buildings made up of three parts: The Main Building, a historic Walker and Weeks design built in 1925 as an anchor building in Daniel Burnham's 1903 Group Plan for downtown Cleveland; the Louis Stokes Wing, a Hardy Holzman Pfeiffer design completed in 1997; and the Eastman Reading Garden, an outdoor urban plaza between the two buildings rededicated in 1999 as a new designed by the Olin Group, with public art including work by Maya Lin and Tom Otterness.

The Main Library Project in the 1990s, which created the Louis Stokes Wing and revitalized the other parts of the Main Library, was designed for a different Cleveland and for model of service predating the explosion of computer and Internet use in public libraries. Additionally, previously dependable funding sources were reduced in 2008 to unprecedented and unsustainably low levels in the wake of the most significant national financial crisis in generations. The combination of new demographics, new use patterns, evolving technology and organizational reconfiguration placed Cleveland Public Library in a position to redefine what the Main Library can and should be.

To determine how the library would achieve this redefinition, a 'Main Library Innovation Team' was assembled, and in May of 2009 published the results of their detailed and targeted exploration. The document was titled "Recommendations for Making Main Library a Destination Experience" and outlined a path for achieving this transformation. The document was designed in four sections, each outlining a category of exploration and path forward:

1. The Destination Experience (those things that will make Main a location of choice)
2. Improvements that Support the Destination Experience (relocations and physical upgrades)
3. Customer Service Improvements (related activities and programs moving forward)
4. Marketing and Community Outreach (planning for communication of the transformation)

In April of 2010, Cleveland Public Library issued a Request for Statements of Qualifications to hire an architect to assist with designing for the transformation, primarily the relationship between those things that will create the Destination Experience and the Improvements that Support them (Sections 1 and 2 of the 'Destination' document). Bostwick Design Partnership, teamed with Karen Skunta & Co., TEC, Inc., and Erin McGuinness, was selected to design this work.

Executive Summary

Goals and Process

The request of the design team was based on four primary recommendations for consolidation coming from the ‘Destination’ document:

1. Revitalize the First Floor of the Main Building through the relocation of highly active services such as Popular, CDs and Foreign Literature while vacating the 3rd Floor west wing and most of the fourth floor of the Main Building. Brett Hall would act as the centerpiece of this new vision for redefining the ‘heart’ of the Main Building.
2. Create a place where all of the public use computers are consolidated, to maximize efficiency of the equipment and provide better customer service. The lower level of the Louis Stokes Wing, where Audio-Video is located now, would become this new ‘Tech Central.’
3. Co-locate the primary areas of related research by placing General Reference, Business, Economics and Labor and Government Documents on the fourth floor of the Louis Stokes Wing, creating a new Research Center.
4. Revitalize the undersized and poorly located Youth Services Department by vacating the fourth floor of the Main Building and creating a new Discovery Center for Families and Children on the second floor of the Louis Stokes Wing.

Cleveland Public Library and the design team agreed that the four initiatives outlined above were priorities, but that the process would remain dynamic and many other options for both consolidation and revitalization may arise in the course of discussions. The team embarked on a path to define the scope of the work in detail, which would place the four recommendations in context, allow for open dialogue about alternatives and related opportunities, and establish recommendations for associated timelines, phases and budget ranges. This report documents these recommendations.

The design effort recognized three primary efforts as necessary to realize the Destination Experience document’s intent:

1. Define the Program of Service
 - confirm how the library will consolidate
 - establish where services would be reconfigured for best results
2. Explore Design Opportunities
 - to support the program changes
 - to enhance the architecture
3. Forge New Partnerships
 - to amend programmatic initiatives
 - for new sources of financial support

This project dealt with the first two points above, with new partnerships being an organizational goal to be handled separately from the design effort. The process to confirm the scope through defining the program and explore design opportunities included the steps outlined below.

Document Cleveland Public Library’s Goals

Prior to any design investigation, the team needed to gain a mutual understanding of the context in which the proposed improvements were to be made. This included space by space walk through, focused discussions, and a work session which included exercises designed to establish desired outcomes. The team documented the organizational, service, physical and perceptual goals, and discussed the facts of the project including the assets and liabilities, plus budget and schedule constraints. The exercises were designed to bring the core elements that would define success to the surface, in order to judge the results throughout the project.

Review Existing Conditions

The team observed that the existing architecture represents both the greatest asset and the greatest challenge for making Main Library a destination. In order to best understand how proposed changes can be implemented, or at least have an understanding of the possible costs to modify existing architecture, an understanding of the existing spaces, systems and conditions was necessary. The design team toured all of the affected areas of the Main Building and Louis Stokes and documented the findings. The results can be found in Section 2 of this document.

Confirm Programmatic Changes

Working with the core team from Cleveland Public Library, a regular series of meetings was scheduled for the core team to discuss progress and debate the details of how the proposed changes in service could actually be implemented. Additionally, each specific program area was discussed at a higher level of detail in targeted meetings including program-specific library staff beyond the core design team. These discussions allowed a broader audience of key stakeholders to inform the process and confirm the viability of proposed changes.

As program changes were discussed in core group meetings and targeted program meetings, new options emerged which enhanced the project’s potential. The final revised extent of programmatic recommendations is documented in brief in this executive summary, and in more detail phase by phase in Section 3.

Identify Design Options

As the design and library team advanced the program discussions, potential design enhancements were also explored. The building upgrades required to achieve the programmatic consolidation goals were the first priority. In conjunction with these necessary improvements, further options were proposed which included architectural, lighting, wayfinding, multimedia and exhibitry additions and upgrades. Energy savings and efficiency are critical determining factors that will help prioritize these proposed projects. The proposed first priority and discretionary options are documented within the recommendations section of this book.

Establish Phasing

One of the more complex challenges inherent to this project is how to order the proposed improvements such that each programmatic goal can be implemented effectively and in a realistic timeframe with as little disruption as possible to the Main Library as a whole. A second goal is to assure that each phase has identifiable benefits that demonstrate achievement of a defined initiative, and can be celebrated publicly on completion. The recommendations section of this book outlines each improvement by phase, as these projects are proposed over time, and schedules and budgets will necessarily be aligned holistically phase by phase and not by any given individual improvement in isolation.

Create a Timeline and Budget

While numerous variables beyond the first phase, including the potential benefit and influence of possible programming and funding partners, make it difficult to predict a schedule with a high level of precision, this exploration includes proposed timeframes in which the recommended physical upgrades may be accomplished. While the phases will remain primarily as defined in terms of proposed outcomes, the details and even the order will undoubtedly evolve, and we recommend that this timeline be revisited as new partners and future opportunities arise.

We have also prepared conceptual budgets, which – similar to the timeline – will necessarily evolve over time as the library continues to determine the individual futures of each proposed phase. An overview of the conceptual budget is included in this summary, with additional detail provided within each phase description.



Consultant Team

Bostwick Design Partnership

Robert Bostwick *President & Director of Design*

Richard Ortmeyer *Principal*

Bryan Wahl *Associate*

Katherine Doty *Interior Designer*

Karen A. Skunta & Company

Karen Skunta *President*

TEC, Inc.

Terry Kilbourne *President*

Tim Pool *Principal*

Ardra Zinkon *Associate - Director of Lighting Design*

Bob Mehosky *Senior Associate - Director of Mechanical Engineering*

McGuiness Unlimited

Erin McGuiness *President*

CPL Administrative Oversight

Tom Corrigan *President*

Maritza Rodriguez *Vice President*

Felton Thomas *Director*

CPL Core Design Team

Tim Diamond *Special Assistant & Planning Administrator*

Cindy Lombardo *Public Services Administrator*

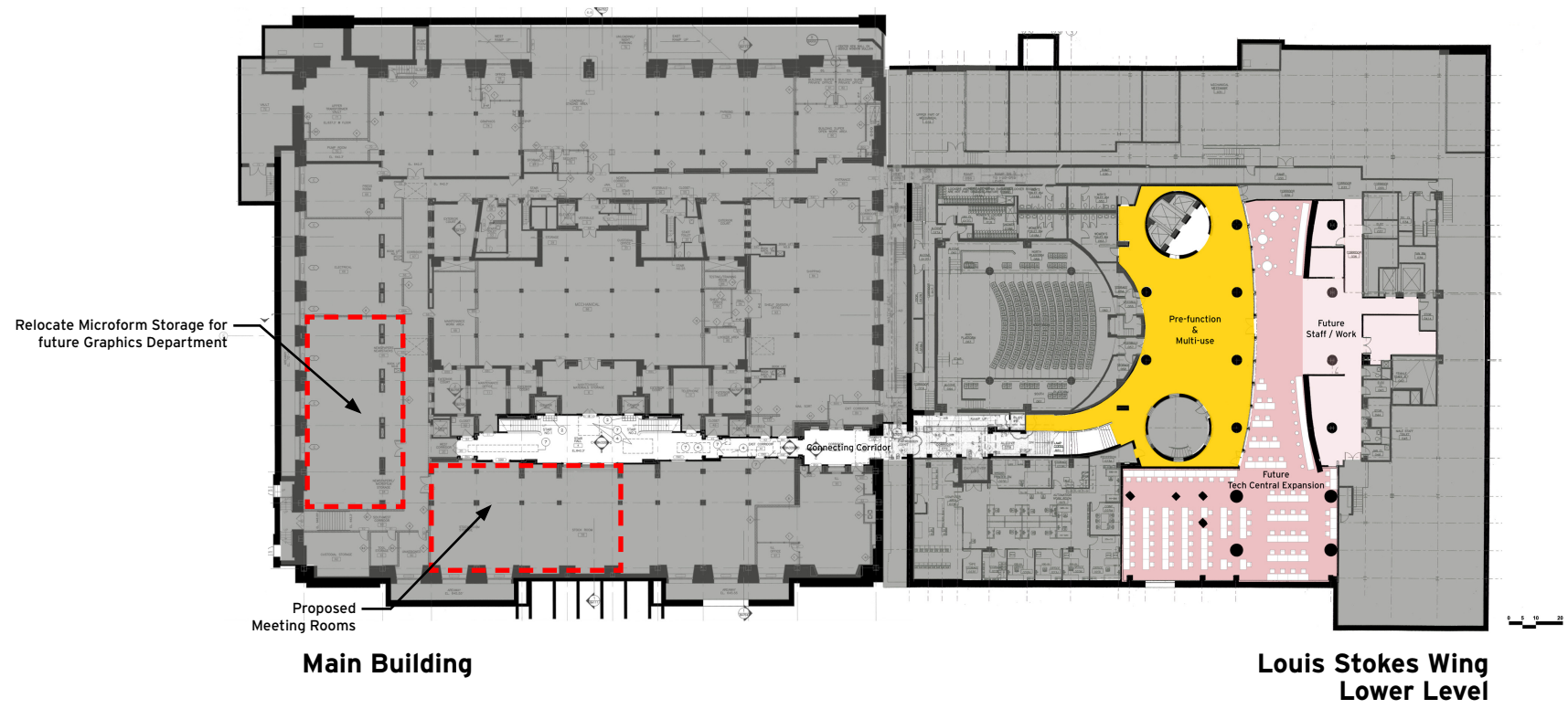
Bob Carterette *Automation Administrator*

Myron Scruggs *Property Management Administrator*

Larry Finnegan *Systems Manager*

Michael Ruffing *Acting Manager, Business, Economics & Labor Dept.*

Anastasia Diamond-Ortiz *Computer Learning Connection Librarian*



Lower Level

The Lower Level will be the home for the newly created Tech Central. The existing Audio-Video department will be relocated to allow the full program area available to consolidate all reservable public computer workstations. Proposed to the north as you enter will be stand-up stations for short duration uses such as email or quick visits with laptops for printing. This area will also accommodate the Tech Toybox, sessions where staff will educate visitors on the latest in e-readers, listening devices and other related products. The remainder of Tech Central will be maximized for scheduled computer use.

The Lobby space and pre-function area in front of the Louis Stokes Auditorium will remain a flexible gathering and display space. New additions may include a comfortable seating and waiting area for those in line for computers at Tech Central, improved lighting, new artwork and more intuitive wayfinding for the path to the Main Building. The long corridor leading to the Main Building will be improved not only through intuitive signage, but also new lighting, and improved exhibit space. A later phase will relocate existing microform storage in the Main Building to allow for multipurpose meeting room space.



First Floor

The Main Building will be reconfigured with the relocation of Popular, Audio-Video and CD and Foreign Literature collections surrounding a rejuvenated Brett Hall. Brett will be designed not only to provide museum quality display to showcase the library's rare and special collections, but will include comfortable and flexible seating for daily visitors or occasional special events. A Teen Center will activate the original catalogue room, and Lending will be reconfigured to accommodate the circulation increase resulting from these historically popular program items.

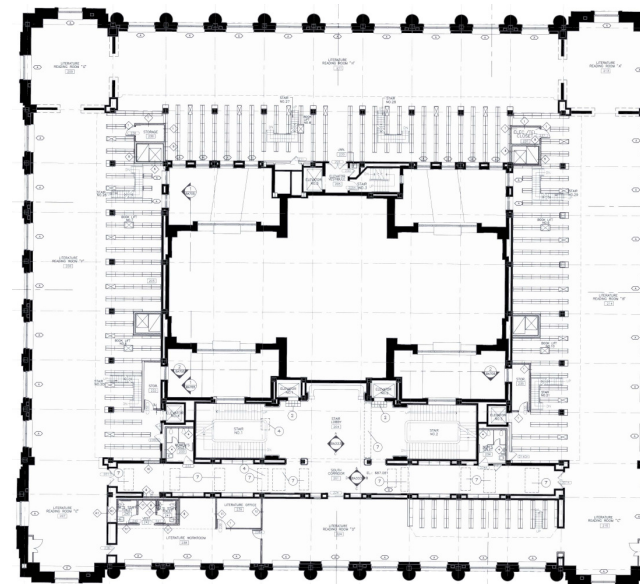
The Louis Stokes Wing entrance will now expand to include both 'Tower Rooms' east and west of the front vestibule. These rooms will include interactive exhibits honoring the legacy of Louis Stokes, an introduction to the library and collections, and information on the city and the region. New lighting will save energy and improve visual comfort, and the north end of the floor will house a new 'Indoor Garden' welcoming visitors year-round the way the Eastman Reading Garden does in the warmer months. This casual gathering space will be flanked by the relocated Friends' Gift Shop on the west and a welcoming and easily reached Tech Instruction area on the east.

Executive Summary
Recommendations Summary

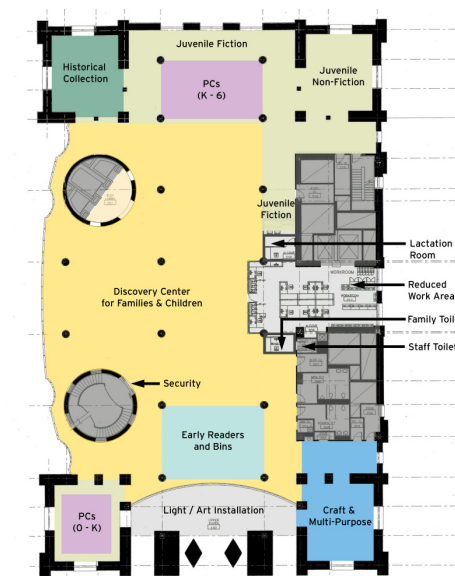
Second Floor

The second floor of the Louis Stokes Wing will house the future Discovery Center for Families and Children. This exciting new destination will feel like an educational children’s museum in a library setting. Children and parents will be engaged, entertained and educated in a flexible floor plan that can evolve over time as new interests and technologies emerge. There will be space for the historic children’s book collection, a multipurpose craft area, plus computers for the smallest users up through 6th grade.

The second floor of the Main Building is not currently intended for much in the way of improvements, however the future designs to improve exhibitry and lighting will inform future improvements in this location.



Main Building

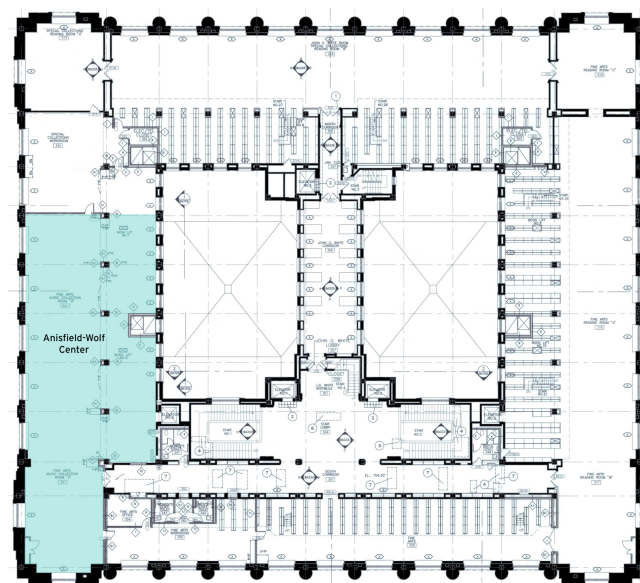


**Louis Stokes Wing
Second Floor**

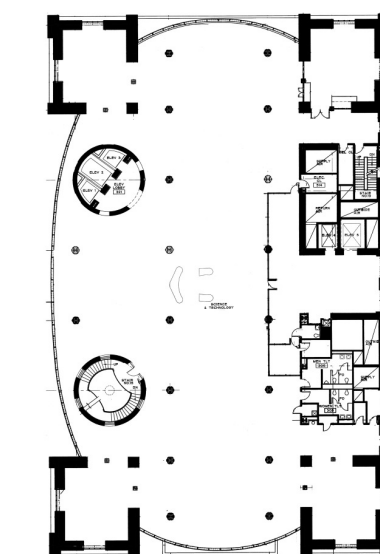
Third Floor

The west wing of the third floor of the Main Building will be open after the CD collection moves to the first floor. This vacated space is among the areas which may be closed to the public as part of targeted reductions. Should funding become available, this space may be repurposed to showcase and celebrate the history and future of the Anisfield-Wolf Book Award, and recognize Cleveland Public Library as host of the Ohio Center for the Book. Additionally, the archives, currently located on the 10th floor of the Louis Stokes Wing may move here for a more public and accessible location.

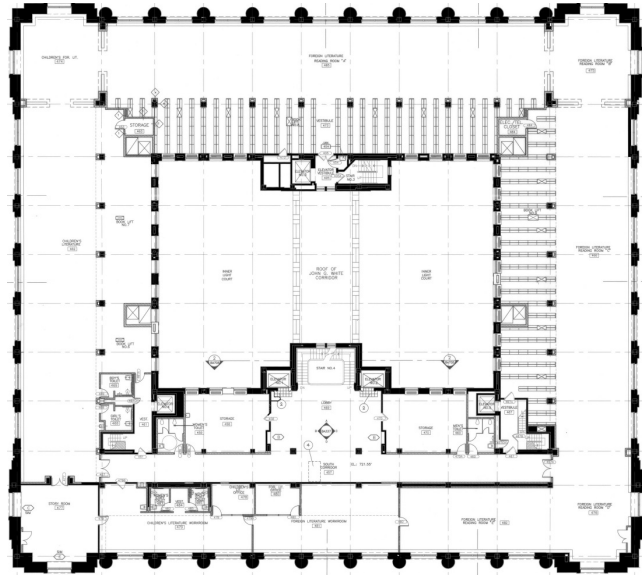
There are no current plans to modify the third floor of the Louis Stokes Wing as part of this work.



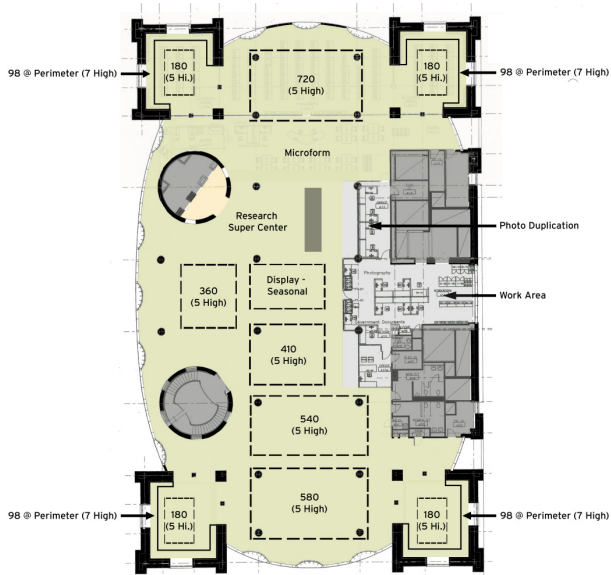
Main Building



**Louis Stokes Wing
Third Floor**



Main Building

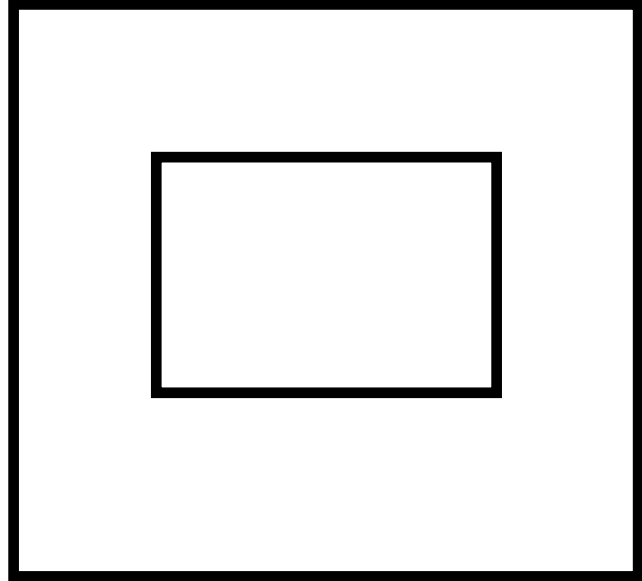


**Louis Stokes Wing
 Fourth Floor**

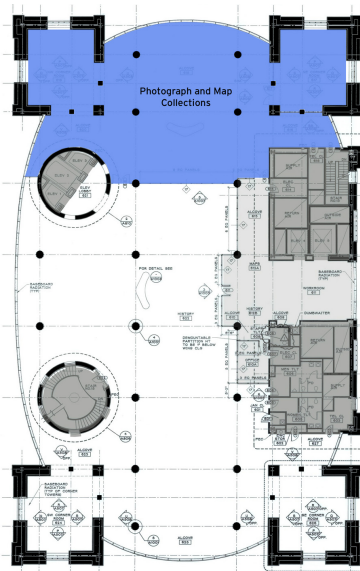
Fourth Floor

The fourth floor of the Main Building will become available after Youth Services moves to the second floor of the Louis Stokes Wing, and Foreign Literature moves to the first floor of the Main Building. This vacated space represents the largest reduction of space use as part of the consolidation, but is also an attractive area for a potential future partner program and/or tenant space for a fitting institution.

The fourth floor of the Louis Stokes Wing will house the Research Center, providing a convenient and attractive place for new and established businesspeople, entrepreneurs, and individuals with projects to find the service, the space, or the data they need to do their work. The work areas will necessarily expand to accommodate co-located staff, and the floor will house a new combination of General Reference, Business, Economics and Labor, Microform, and Government Documents.



Main Building



**Louis Stokes Wing
 Sixth Floor**

Sixth Floor

The sixth floor of the Louis Stokes Wing will provide a newly consolidated Map Collection and Photograph Collection. The Photograph Collection was necessarily relocated to allow for the Research Super Center to be accommodated on the fourth floor below.

Executive Summary
Budget and Timeline

At the level of investigation inherent to this study, the budgeting is a conceptual opinion based on the recommendations and inspirations to date, most of which remain conceptual in nature. The intent is to establish a way forward with an understanding of the rough order of magnitude probable cost between phases.

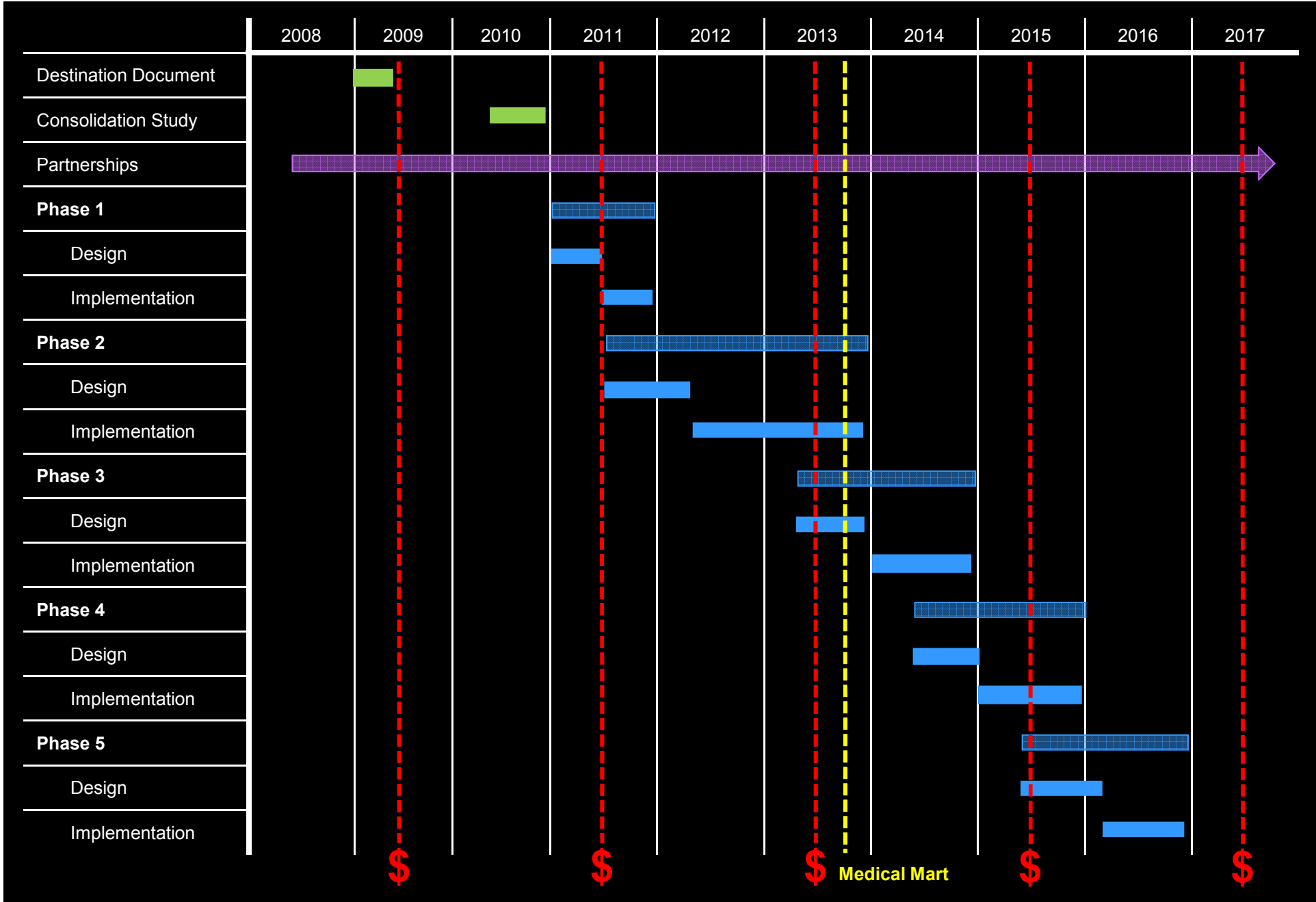
It should be noted that these budgets include two broad kinds of costs: those which are necessary to achieve baseline consolidation goals, and those which are discretionary items which the design team has recommended to achieve the goal of making the Main Library a destination. Each phase will necessarily be reviewed prior to commencing, to establish the true scope of work appropriate to the current realities at inception of each phase of work.

The totals here document items with an associated construction or installation cost, some of which were easier than others to quantify. These construction costs do not include what is referred to as ‘soft’ costs, which are design fees, moving costs, loose furniture and equipment, administrative and legal fees, etc. The construction costs are totaled, and standard overhead and profit margins are applied, with escalation as can be anticipated at this time. This phase total construction cost is then used to establish the baseline budget, or the low end of the potential budget range as outlined. The soft costs are added to this as a percentage range, based on relevant soft cost ranges for projects of similar scope.

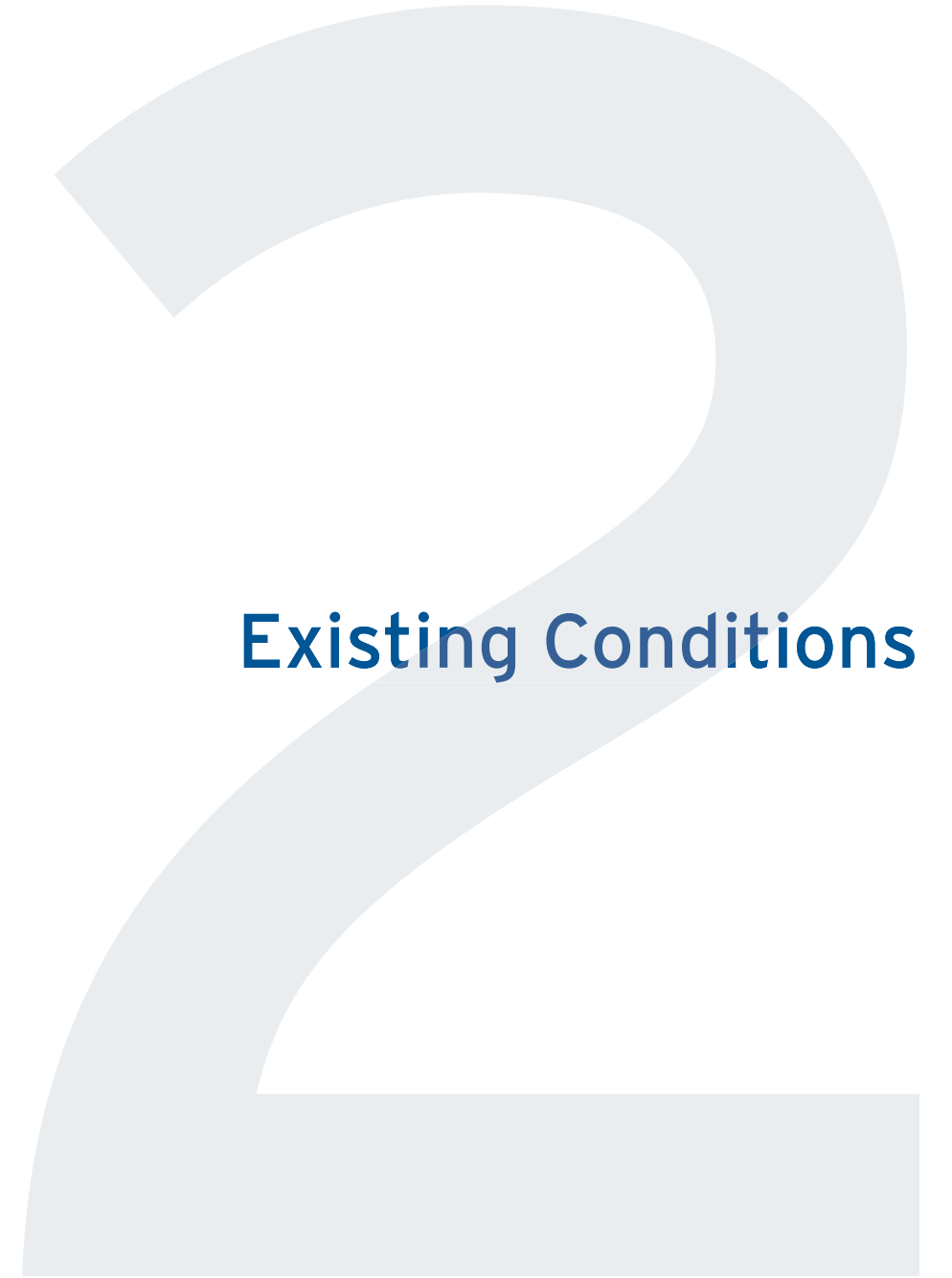
Phase	* Construction Budget	** Total Project Budget
Phase 1	\$785,000 - \$865,000	\$1,100,000 - \$1,215,000
Phase 2	\$2,770,000 - \$3,050,000	\$3,878,000 - \$4,270,000
Phase 3 (interior)	\$1,185,000 - \$1,300,000	\$1,660,000 - \$1,820,000
Phase 3 (exterior)	\$1,452,000 - \$1,600,000	\$1,743,000 - \$1,920,000
Phase 4	\$1,600,000 - \$1,750,000	\$2,240,000 - \$2,450,000
Phase 5	\$1,165,000 - \$1,280,000	\$1,630,000 - \$1,792,000
	\$8,957,000 - \$9,845,000	\$12,251,000 - \$13,467,000

* Note these costs include items that are necessary for consolidation as well as discretionary items intended to make the Main Library a ‘Destination Experience’

** Note these costs are calculate as a 40% increase over construction costs as a conceptual estimate.



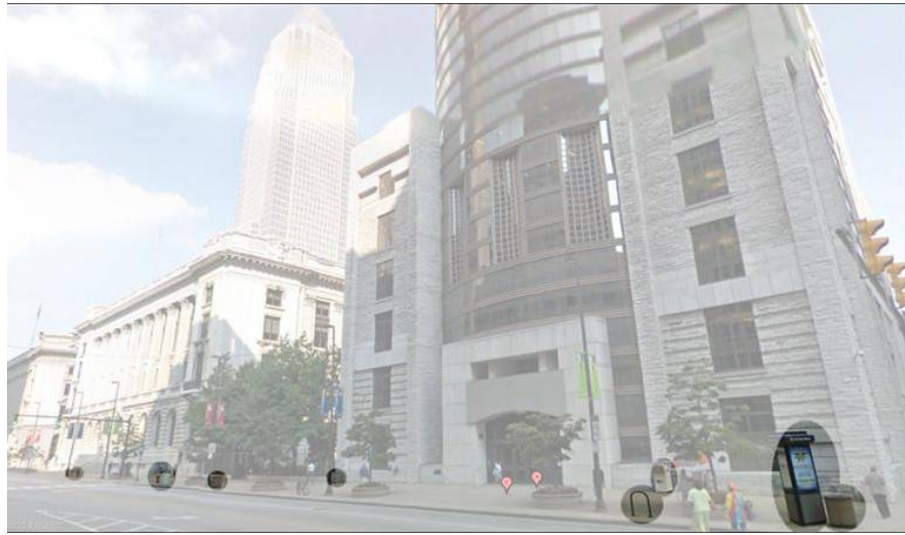
The timeline is established as a product of the probable construction cost for each phase, as a calculated ratio of cost over time. Actual timelines can vary depending on the final approved scope, as the smaller the project the shorter the timeframe.



Existing Conditions

Existing Conditions
Exterior



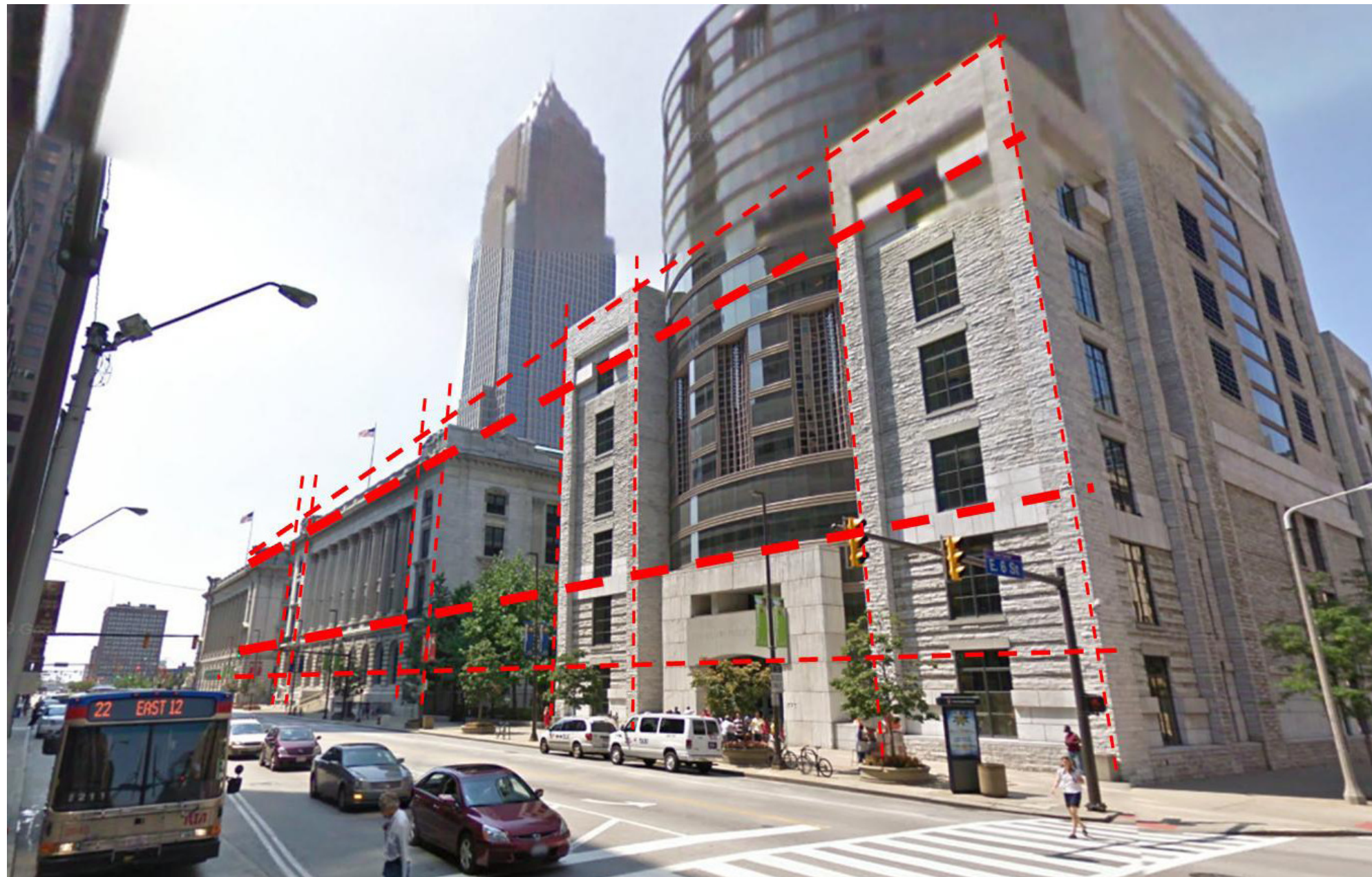


Architectural

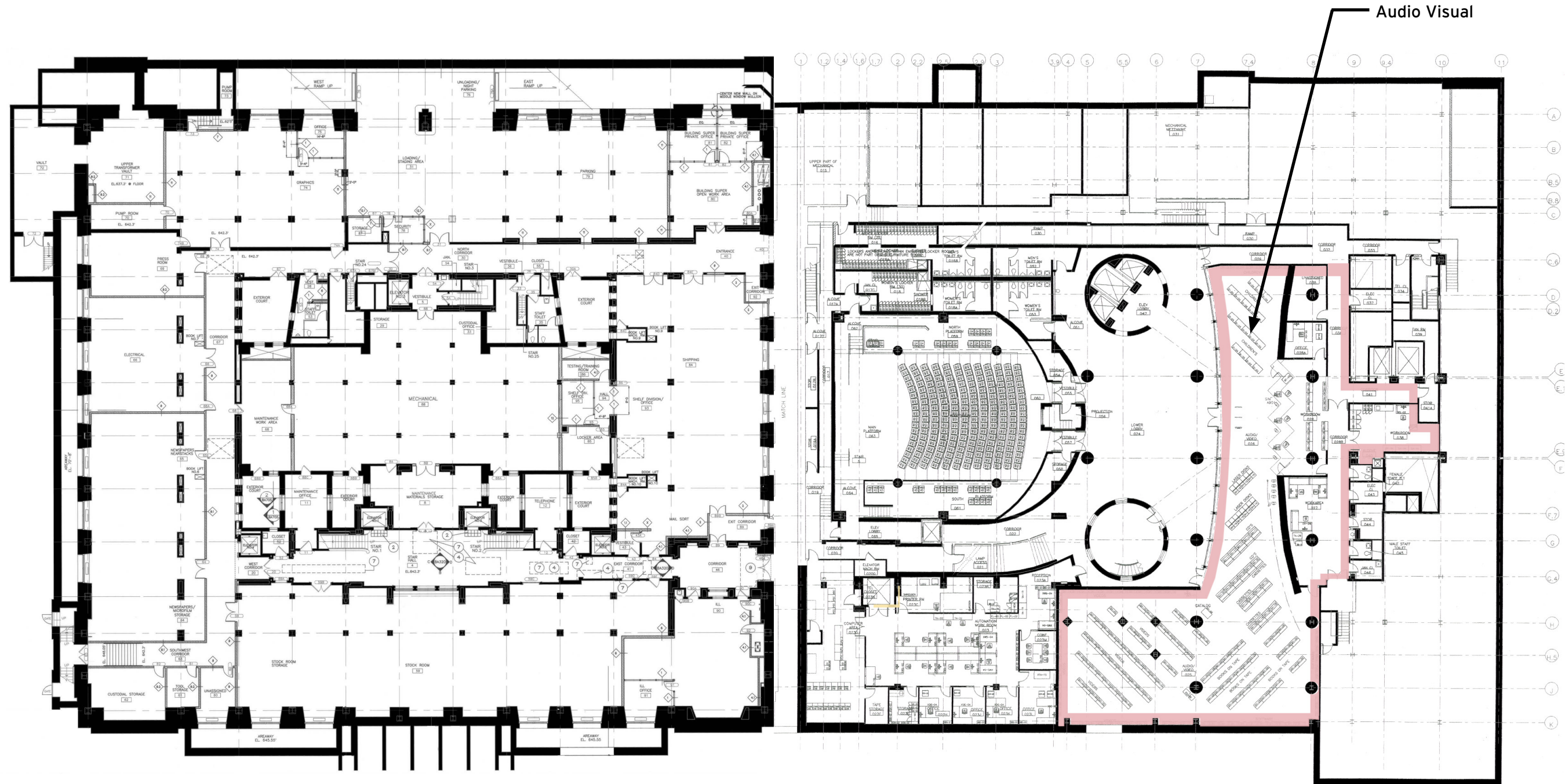
The exterior of the Main Library is impressive, and as a combination of the Main Building, the Eastman Reading Garden and the Louis Stokes Wing is truly a campus and should be considered as such for future identity and wayfinding. Approaching this campus from the surrounding streets and walks, there are several observations, regarding orientation and design consistency. First and most importantly, the campus does not offer any strong identity other than the architecture, as it does not provide much wayfinding clarity. As you approach the Louis Stokes Wing, there is a subtle sign cast in the stone above the main entry. The Main Building does not have any signage indicating that you have reached the Library at street level, only high above near the top of the building. Second, the two buildings have a different type of architectural expression, the Main Building presenting a classical Beaux-Arts design and the Louis Stokes Wing offering a more modern expression with some relevant proportional connections to the original building.

Both buildings are linked in that they employ the same materials; a white and grey marble and windows with dark tinted glass. Each building utilizes the materials in a different ratio, with the Main Building clad primarily in stone and the Louis Stokes Wing clad primarily in glass over its facades in the opposite ratio. The Louis Stokes Wing is twice as tall as the Main Building, and as a way to honor the proportions of the older building has designed stone clad “towers” that are the same height as the Main Building. Both buildings’ entries are on the south side of the buildings on Superior Avenue. The Main Building has an entrance staircase that need to be navigated, while Louis Stokes Wing is at the same level of the street achieving ADA accessibility.

The streetscape at the sidewalks in front of the buildings does not currently reinforce the Library’s identity. The new identity signs on Superior Avenue light poles are a positive step but given their elevation work mostly for the people in vehicles. The pedestrian experience is less intuitive, as signage at street level is not bold and competes with other items in the streetscape. The low planters offer a little bit of green, but offer no opportunity for sitting. Additional visual complexity includes trash cans, information kiosks, fire hydrants, light poles, and other miscellaneous street elements. All have their place, but collectively do not currently relate to or assist the library with wayfinding to the front door, garden, or drive-up service window. Given the dark glass noted above, it is difficult to see into either building on the campus. As noted above, with a lack of specific identity, the inability to see inside in general does not contribute to an intuitive understanding of what the library has to offer.



Existing Conditions
Lower Level



Main Building

Louis Stokes Wing



Existing Audio Visual - Louis Stokes Wing Lower Level



Existing Audio Visual - Louis Stokes Wing Lower Level



Existing Audio Visual - Louis Stokes Wing Lower Level

Architectural

Arriving from the stairway or elevators, the lower level experience of the Louis Stokes Wing begins with a grand two story space fronted by a large glass wall framed by large blue columns. The arrival areas under the pedestrian bridges above are darker than the rest of the space. The unfinished concrete cylinders housing the stair and elevator offer little in the way of directions or collection locations, which contributes to some confusion, but destinations are limited to as Audio-Video (the only collection here), the auditorium and the path to the Main Building. Signage for Audio-Video is visible above the doors in the large glass wall. Opposite the glass wall are two orange doors, marked subtly in the stone above as the Auditorium. Two historical lights above the center space between the doors appear to be exterior fixtures. The Dawoud Bey image of Louis Stokes is a handsome addition, but the identification is undersized for the space and importance of the portrait. On either end of the long wall are two small signs: on the right for a restroom behind the elevator tower, and on the left indicating the path to the Main Building leading behind the stair tower. Adjacent to the sign identifying the path to the Main Building is a large security camera overhanging the entry to the path.

The corridor to the Main library has been discussed as a major wayfinding challenge, as outlined below, from the visitor perspective. Just past the sign to the Main Building are two corridors: one to an ADA accessible elevator that appears private, and another up an adjacent staircase, dimly lit. Progressing up the staircase to the left, there are several large Dawoud Bey photographs, difficult to view in mid stair, and currently not appropriately lit. At the top of the staircase is a long corridor lacking clear wayfinding. Farther along is a skylight, implying arrival at someplace special. This allows a view up and out to the Eastman Reading Garden and buildings above, but effectively marks the path to and from the elevator. The Main Building is again identified here, by a small sign, which can be difficult to read against the surrounding paint colors. Next to that is an exit sign pointing to a door on the right, which can be misleading because it leads to the emergency exit and up a set of stairs to the garden. The next area contains several private doorways, with deep display cases between. This area also contains significant mechanical system noise. The remaining corridor into the lower level of the Main Building has more display cases, private unmarked doors, and ceiling lights with bright visible light creating some glare. Approaching the Main Building lower-level lobby, there are a pair of doors at the end of the hall with three signs indicating the area is for employees only. Upon reaching the lobby, one must decide between the dark stairways with a yellowish light at the top, or one of two elevators with push buttons at each door. The elevators are thirty feet apart and create a challenge, as it's unknown which door may open after pushing the button, and one has hurry quickly to get to the other before the door closes.



Louis Stokes Wing Lower Level

Lighting

Louis Stokes Wing

Review of the Entry Lobby showcased the continuation of the custom linear fluorescent as seen in the first floor lobby. Two different decorative wall sconce styles were seen mounted to the west wall. CPL staff provided historical significance to the sconces and their need to remain. Two of the four were burned out; CPL staff provided the lamping as Mercury Vapor. Large wall mounted semi-recessed step-lights were located on the west wall, none were illuminated. They did not appear to add visual interest to the space. Large free-standing display units were located in the lobby with luminaires mounted to the display. They were not plugged in and no additional accent lighting was available for the display.

The corridor to the west leading to the original building appeared under lit. Wall mounted decorative sconces were sparsely located along the passage. Artwork was not highlighted and direction (wayfinding) was unclear.

Main Building

The Main Corridor from the Stokes Building was lit by twin globe pendants. Illumination levels appeared sufficient; however the space did not have much visual interest. Recess wall displays were washed out by the flat illumination coming from the pendants and did not provide sparkle to the passageway illuminated with a single compact fluorescent track head. Several appeared burned out and a few on upper floors appeared to have occupancy sensors in the case.

Mechanical

Louis Stokes Wing

The existing HVAC system serving the AV room may not be sufficient for conversion of the space to a computer lab. Dedicated HVAC systems for this area should be considered.

Main Building

Existing building mechanical systems appear to be sufficient for current and future uses.

Electrical / Telecommunications

Louis Stokes Wing

The Computer Tech Central area has limited floor access. The trolley tunnel will facilitate cables through the area, but beyond the tunnel and immediate area above, there is limited cable pathway.

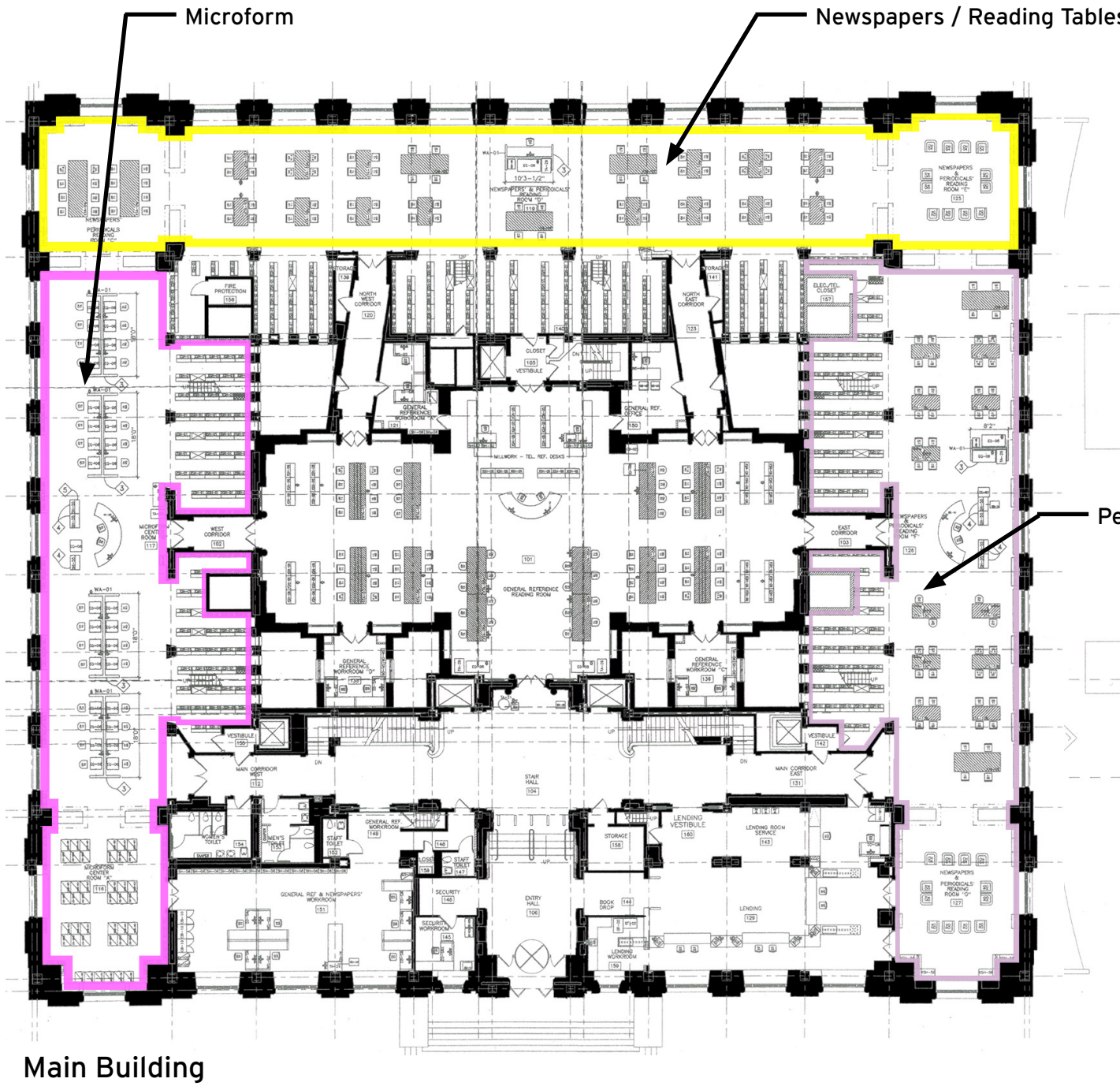
The main incoming fiber and telephone is on the other side of the book counter. All computers and equipment in the tech central area will be taken back to the MDF room on the lower level.

Adequate power is available from the main distribution panel in the HVAC room behind the tech central area.

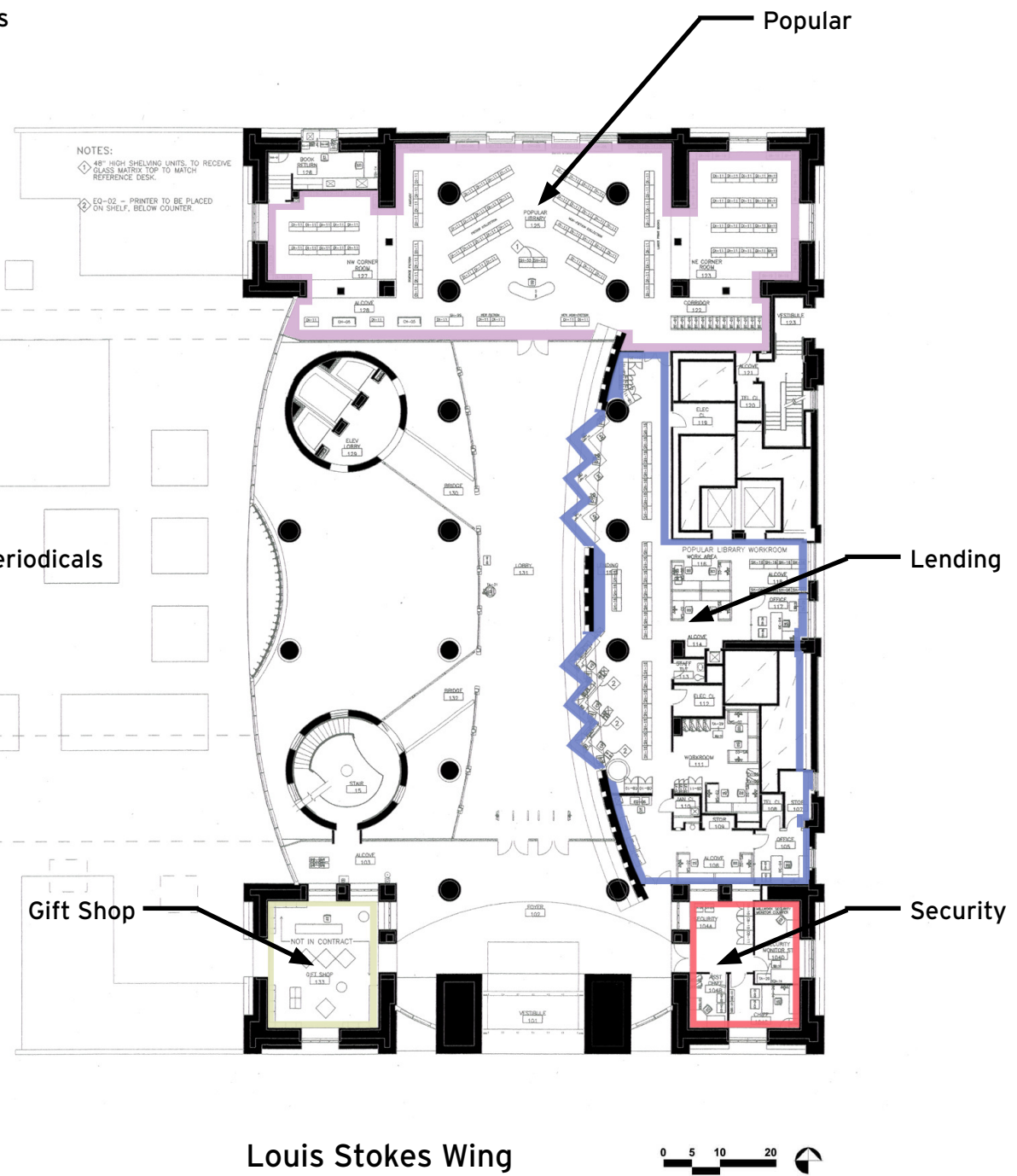
Main Building

The Main Building area has very limited access because of its marbled finishes and granite features. The Main Telecommunications room is located in a room off the hallway.

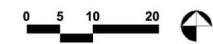
Existing Conditions
First Floor



Main Building



Louis Stokes Wing





Louis Stokes Wing Vestibule

Architectural
Louis Stokes Wing

The main entrance at the first floor of the Louis Stokes Wing includes a tall lobby, multiple sign boards, and a TV, but also with some glare from the visible lamps of ceiling light fixtures. There is ample visual activity, but little to assist with orientation. To the right, a security guard sits at a large desk while to the left there is an open area with folding tables and flyers on top. Beyond the flyers are stone walls with a small window, the exterior side of the Friends' Gift Shop, without clear identification. Ahead and above, there is a large expanse of glass opening into the second floor space, with a view of the ceiling and fixtures above. Passing under the lowered ceiling space directly below the large expanse of glass is a glass wall framed by two large blue columns with four doors in the center. In the center of the doors there is a wood stand where a greeter works part time. Through the doors and upon entering the main body of the long, narrow, colorful space, the visitor is presented with a choice of stair or elevator. Along the path, the space presents a colorful tiled wall with two metal circulation counters on your right, display cases and short red columns with lights on your left. Heading to the elevator, you pass by a computer station to the left, with visitors waiting for direction to their reserved public computer. Straight ahead is a second glass wall with books visible behind it, with a difficult to read 'Popular Collection' sign due to the exposed bright lamps of the lighting in the space beyond. The elevators and stairs are contained in unfinished concrete enclosures. Crossing the bridge into one of these enclosures, you view the large open two-story space below. Among the banners and displays that occasionally occupy this space, are small signs indicating the direction to the 'Main Library.' Across the two story space at the same level is Eastman Reading garden, inaccessible accept from the Gift Shop.



Main Building First Floor Lobby

Existing Conditions

First Floor

Main Building

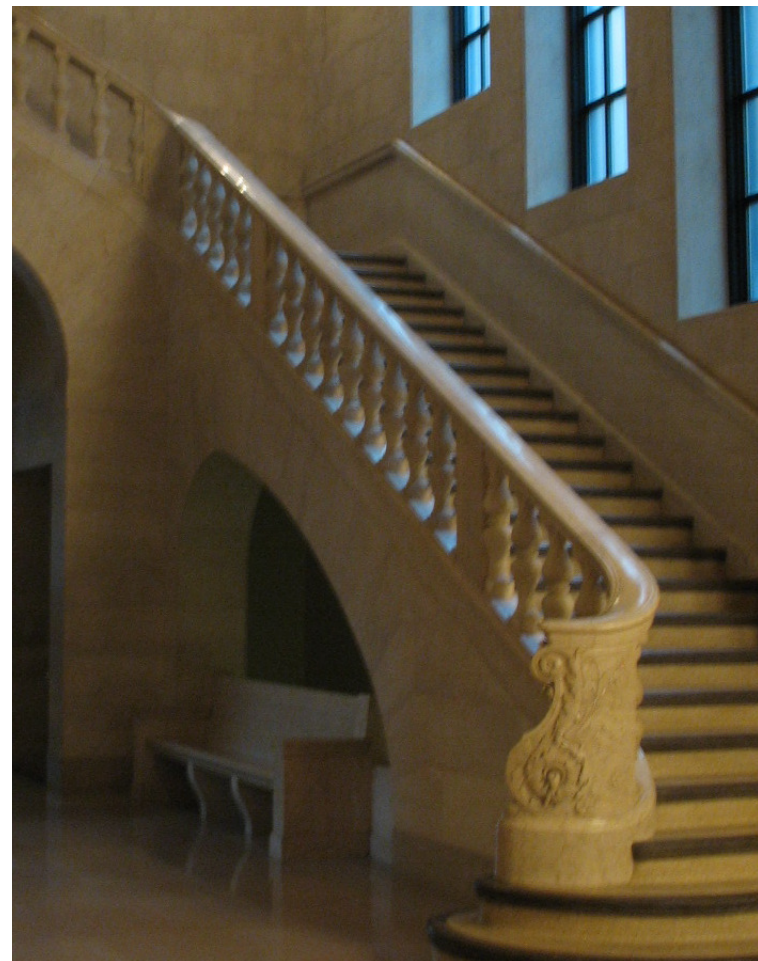
Walking through the revolving front door of the Main Building, first impressions of the lobby is impressive, with fine historic stone detailing and ornate, elaborate paintings on arched ceilings. While appropriate placed, the security guard to your left compels you to hurry past to avoid being questioned. To the right is the lending area, and straight ahead is a set of four stairs leading to the Main Hall of the Main Building. Ahead and to the sides are three distinct choices for directions, each with a marked door but difficult to read in the existing light. On the right and left of this ornate but underlit Main Hall are grand stairs leading up, while separate and more difficult to see stairways lead down to the lower level. With little in the way of signage, it is possible that your desired may be in the other building, and wayfinding here does not assist those unfamiliar with the space. Without this, the most promising direction - and the door commanding the most attention - is the portal that leads into Brett Memorial Hall. On either side of this door are brightly lit historic lamps, and two displays: a small TV with important information about the library and a small drawing indicating the location of all the collections.

Upon entering architecturally beautiful Brett Hall, computers on the right and left are busy with people while straight ahead is the reference desk, typically occupied for assistance. The grand, symmetrical space includes important murals, dark wood moldings and book shelves, and lush carpets that reflect the ceiling design at floor level. This space has a museum feeling, and while beautiful can also overwhelm a visitor unfamiliar with where to go or with this level of grandeur.

The collections that surround Brett Hall on this level are as follows: to the right Periodical collections, to the left microform, and to the north (opposite the side Brett Hall was entered from the main entrance) a large room with reading tables. While identified from the outside, within each of these long original library rooms there is little indication of the collections, other than observable equipment or titles that help orientation. The ceiling lighting is arranged in a semicircular pattern, outlined in the lighting observations below. There are original metal stacks, into which it's unclear if visitors are welcome, but areas at the corners where these rooms intersect are well-lit and open, and are where people seem to enjoy sitting.



Louis Stokes Wing First Floor Lobby



Main Building First Floor

Lighting

Louis Stokes Wing

The Lobby space is illuminated with a series of custom linear fluorescent luminaires. The design creates a consistency of light within the space that does not serve to emphasize the architecture or wayfinding. The custom luminaire includes shielding that fails to cover the bare source which can contrast glare for occupants. Surface mounted decorative half-spheres are mounted into the decorative tile wall. CPL staff had commented that the luminaires have a distinct buzzing sound. Decorative railings had illuminated posts with halogen lamps behind frosted glass. Several luminaires were noted to be out and not lit evenly, likely due to short life lamps or difficulty of maintenance. A review should be undertaken of the maintained lighting level within the lobby space. With the custom luminaires as designed, we may be able to lower energy consumption in this space if properly re-designed with that in mind.

Louis Stokes Wing Main Elevator Lobby

The Elevator Lobby is currently lit by wall mounted fluorescent sconces that do not aid in the wayfinding into that floor space. There is no additional accent light on the signage for occupants in this area.

Main Building

The Main Corridor is currently illuminated with decorative luminaires only. Supporting illumination in the space is not present therefore, there appears to be a significant amount of glare coming from the torchieres (relamped with retrofit CFL lamps) and the pendants. The decorated ceilings are underilluminated and do not showcase the grandeur of the space with the current lighting configuration.

The Main Lobby entrance appears to have had some linear lighting product mounted on the brass door opening to provide some uplight, however, it is not enough to fill the volume of the space. The brass door contains a clock mounted to the top and is not currently illuminated.

Main Building Reading Room

The Reading Room is currently illuminated with a mix of decorative chandeliers, torchieres and uplight at the large “windows”. Stacks contain surface mounted linear fluorescent uplight/downlight luminaires with egg grate louvers. Table lamps provide additional task lighting. Again, the space feels very flat, contrast is lacking in some areas to highlight the architecture and provide optimal task lighting. The decorative chandeliers appear to have been relamped with retro-fit compact fluorescent lamps and are very glarey upon direct view, which then emphasizes the lack of usable task lighting. The chandeliers (as noted by CPL staff) had been refurbished and halogen asymmetric reflector luminaires had been added for additional illumination. Lamping was provided by CPL staff to be 2500-1500 watts with very limited lamp life. All of these were currently burned out.

Main Building Stack Area

Stacks appear to be lit with surface mounted two lamp T12 fluorescent wrap-around luminaires. Illumination levels appear sufficient, however T12 lamps are being phased out and an upgrade is recommended to provide energy conservation with more efficient lamps and better harmony with the architecture.

Reading area is illuminated with custom multi-lamp biax luminaires in a serpentine configuration. Lamps are directly visible thru louvers and are a source of glare in the reading area. There is no additional vertical illumination or accent lighting in the space creating a very flat appearance.

Electrical / Telecommunications

Louis Stokes Wing

The cases currently plug into receptacles that are exposed and are not very pleasing. This is also a safety concern. Numerous computer terminals with cables hanging about need to be addressed and hidden.

The floor below the popular book area can be core-drilled. Other areas lack access to computer terminals. No floor trench system exists on this floor.

Main Building Reading Room

There is access under this floor to install poke through devices with power and data. Care must be taken to preserve the historic nature of this space.

Emergency Exit signs are tritium type signs which are radioactive and are past their shelf life. Disposal is a concern. Wiremold has been used to extend receptacles and data wiring to the existing desks.

Main Building Stack Area

The main building has high patterned ceilings which makes core drilling on any floor but the first impossible. It is recommended to install new island desks at pre-existing floor box locations or put desks against the walls to feed power and data from a wall space.

Mechanical

Louis Stokes Wing

Existing building mechanical systems appear to be sufficient for current and future uses.

Louis Stokes Wing Main Elevator Lobby

Existing building mechanical systems appear to be sufficient for current and future uses.

Main Building

Existing building mechanical systems appear to be sufficient for current and future uses.

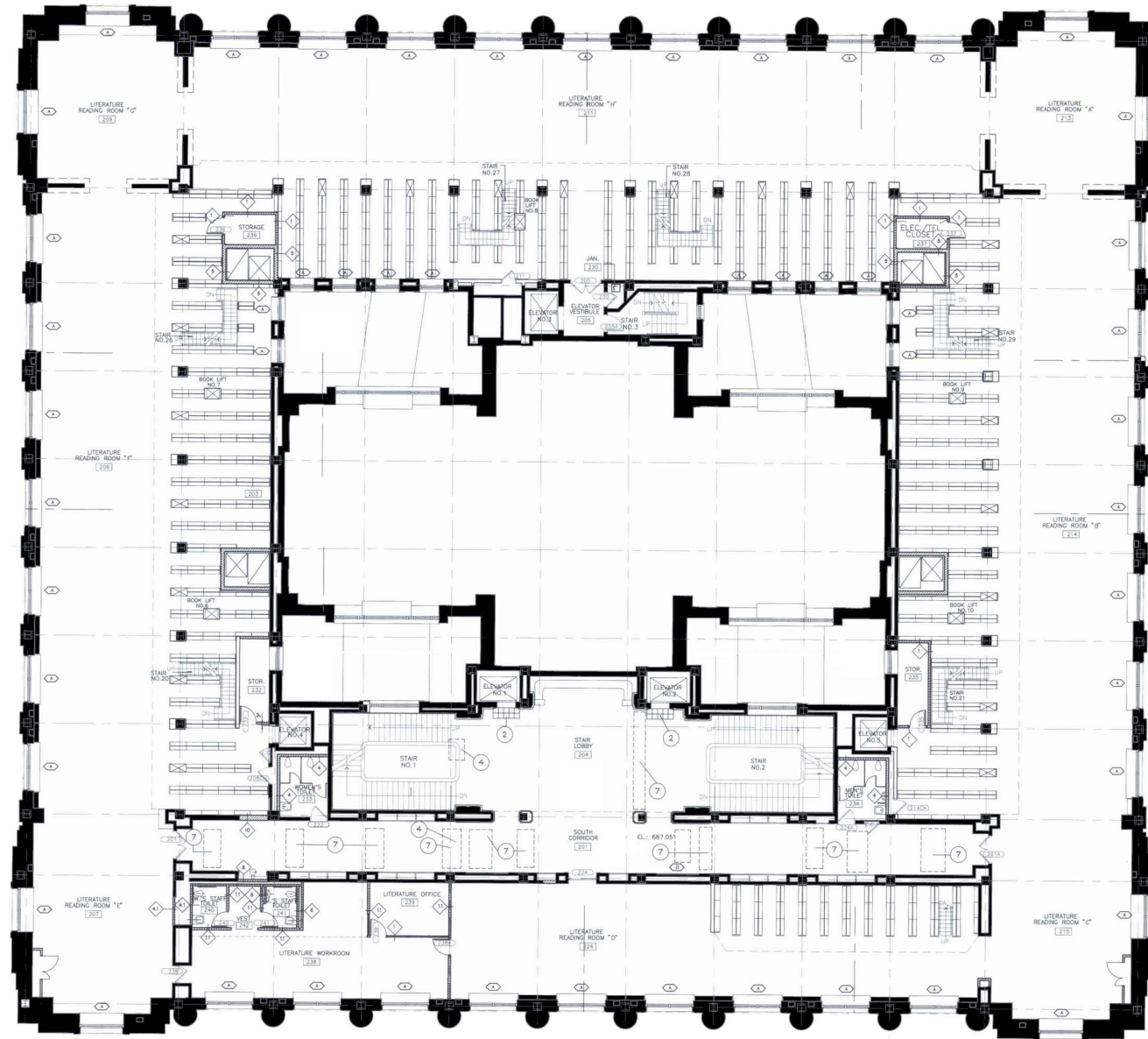
Main Building Reading Room

Existing building mechanical systems appear to be sufficient for current and future uses.

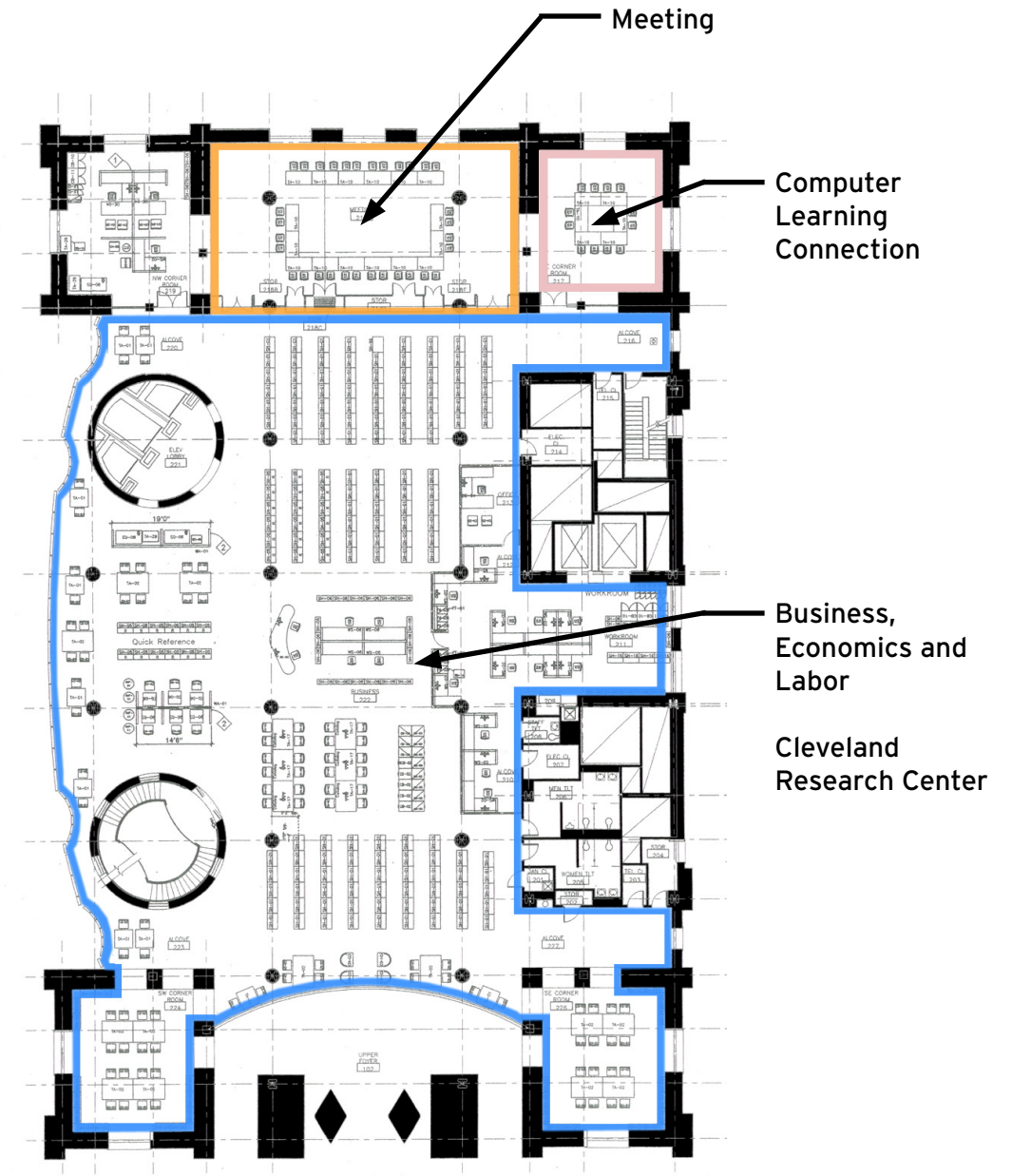
Main Building Stack Area

Existing building mechanical systems appear to be sufficient for current and future uses.

Existing Conditions
Second Floor



Main Building



Louis Stokes Wing





Main Building Second Floor



Main Building Second Floor

Architectural
Louis Stokes Wing

Walking through the door from the stair or coming off the elevator on the second floor of the Louis Stokes Wing, your view is obscured with stacks of books either directly or partially blocking the view of the staffed desk, which is centrally located between the stair and elevators. Behind the staff desk is a grey metal wall, partially glazed with textured glass, enclosing the staff work area. The area to the left of the elevators is closed off with a similar wall, partially glazed, beyond which are a locked staff work area, the conference rooms, and Tech Instruction in the far corner.

On the opposite side of the floor to the south, behind the stair tower is a room with two large brass tables. These are part of the art installation, From Here to There. As one approaches or leaves this room there is the large expanse of glass that overlooks the lobby, adjacent to which are reading tables. On the opposite side is another somewhat isolated room. Sight-lines are difficult, but upon approach a large bronze pig is visible, the art installation called Pig Bank. Beyond this are a few reading / study tables, with book shelves around the perimeter.



Louis Stokes Wing Second Floor

Lighting

Louis Stokes Wing

Similar to the lighting on the 4th Floor, the only change noted here is the area overlooking the Foyer with a large window wall. The area feels cramped due to the adjacent tall stacks. Lighting in this area continues with the same pattern of recessed or suspended 1x4, and no change is created for areas of soft seating or to emphasize the architecture. The windows have a direct view of a concrete wall illuminated with some linear fluorescent at the top of the two-story space. The space clearly needs more visual interest for both the viewers on the 2nd Floor and those entering the foyer below. The Design Team discussed considering the use of color or scene control to create a more playful environment.

Windows had a dark glazing, which kept many of the areas dark within the space. Upon review from the exterior, they are almost black. In order to best highlight the interior to be seen from the garden location, we recommend a mock-up be done with several lighting types to see how best to create a portal into the indoor space.

Electrical / Telecommunications

Louis Stokes Wing

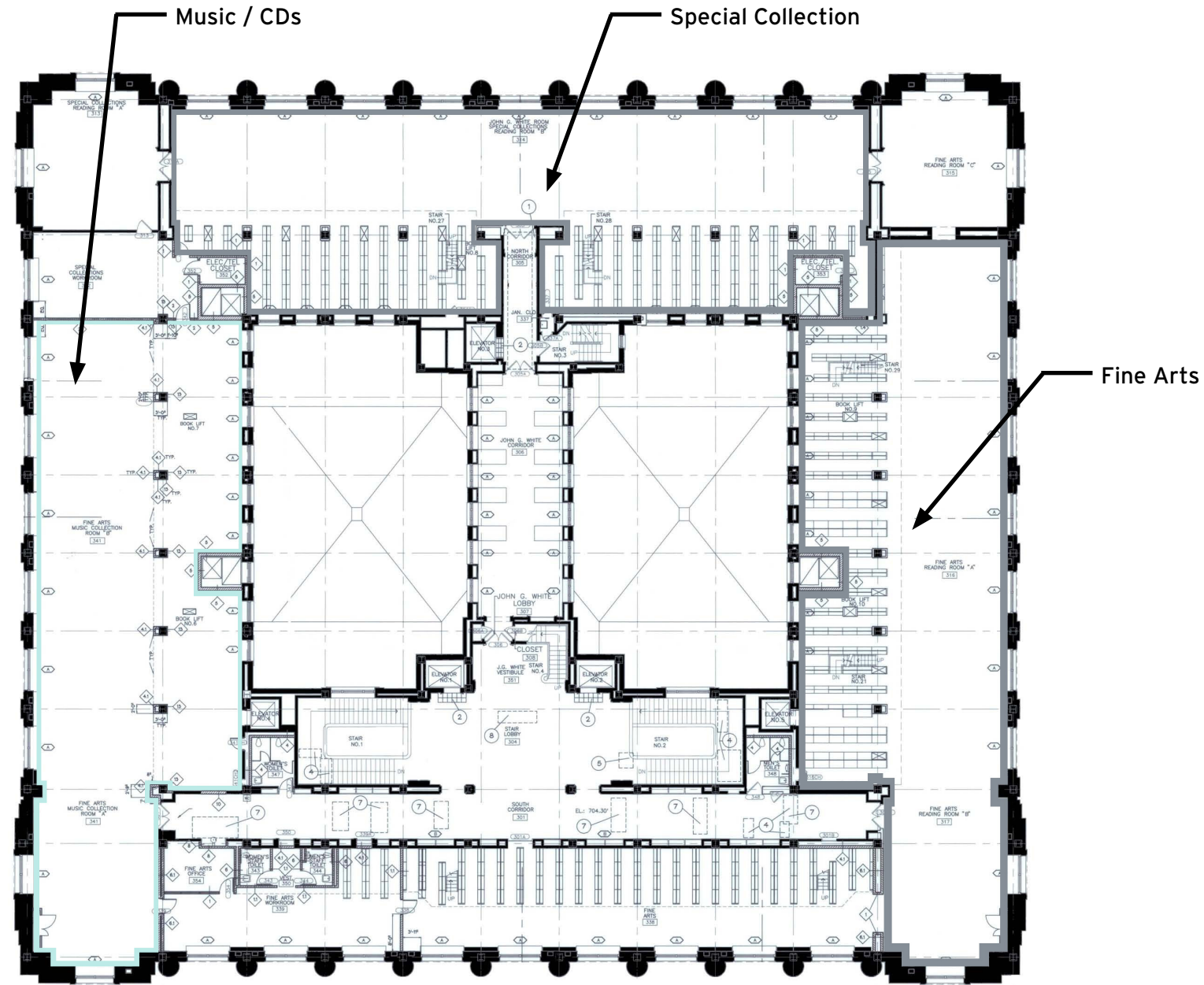
Similar Patterson Floor Trench system on this floor. Additional power and data will be needed for the children's computer lab functions. No pediatric (safety) type receptacles are installed in this area.

Mechanical

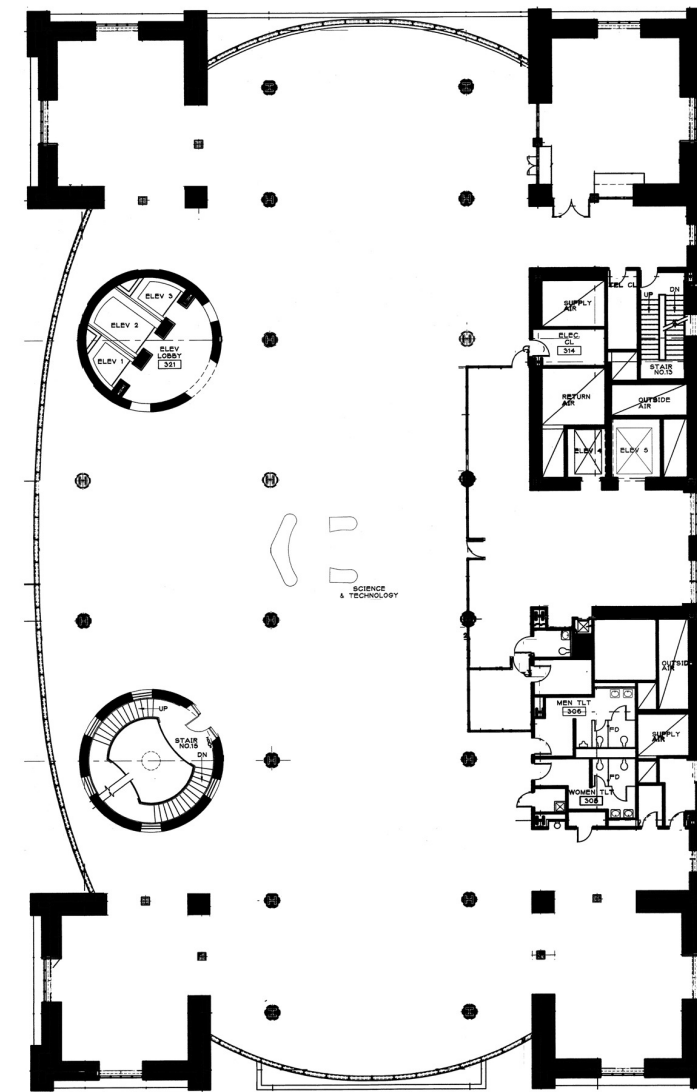
Louis Stokes Wing

Similar to 4th floor. Toilet room fixtures would need to be lowered to accommodate children.

Existing Conditions
Third Floor



Main Building



Louis Stokes Wing



Main Building Third Floor



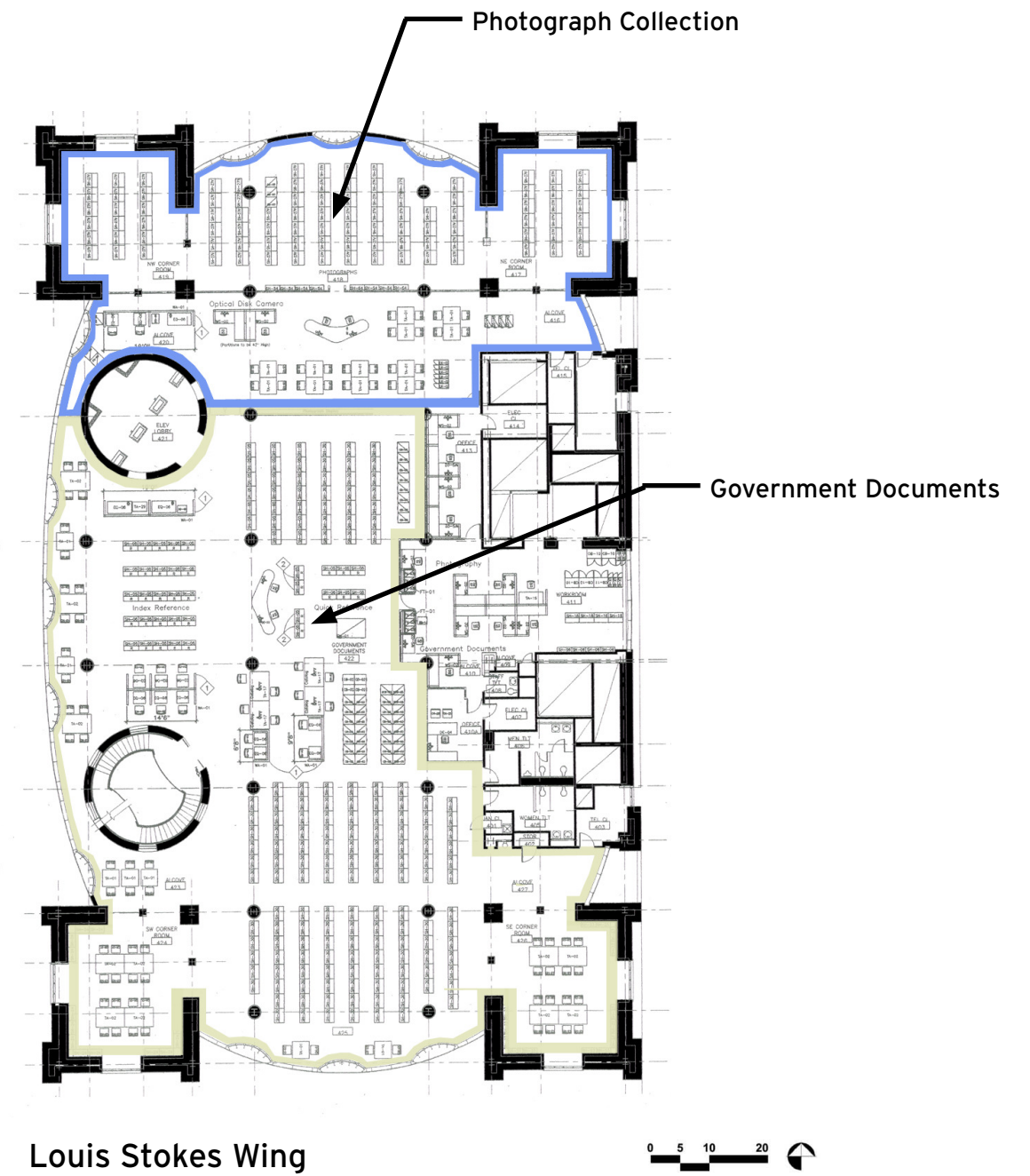
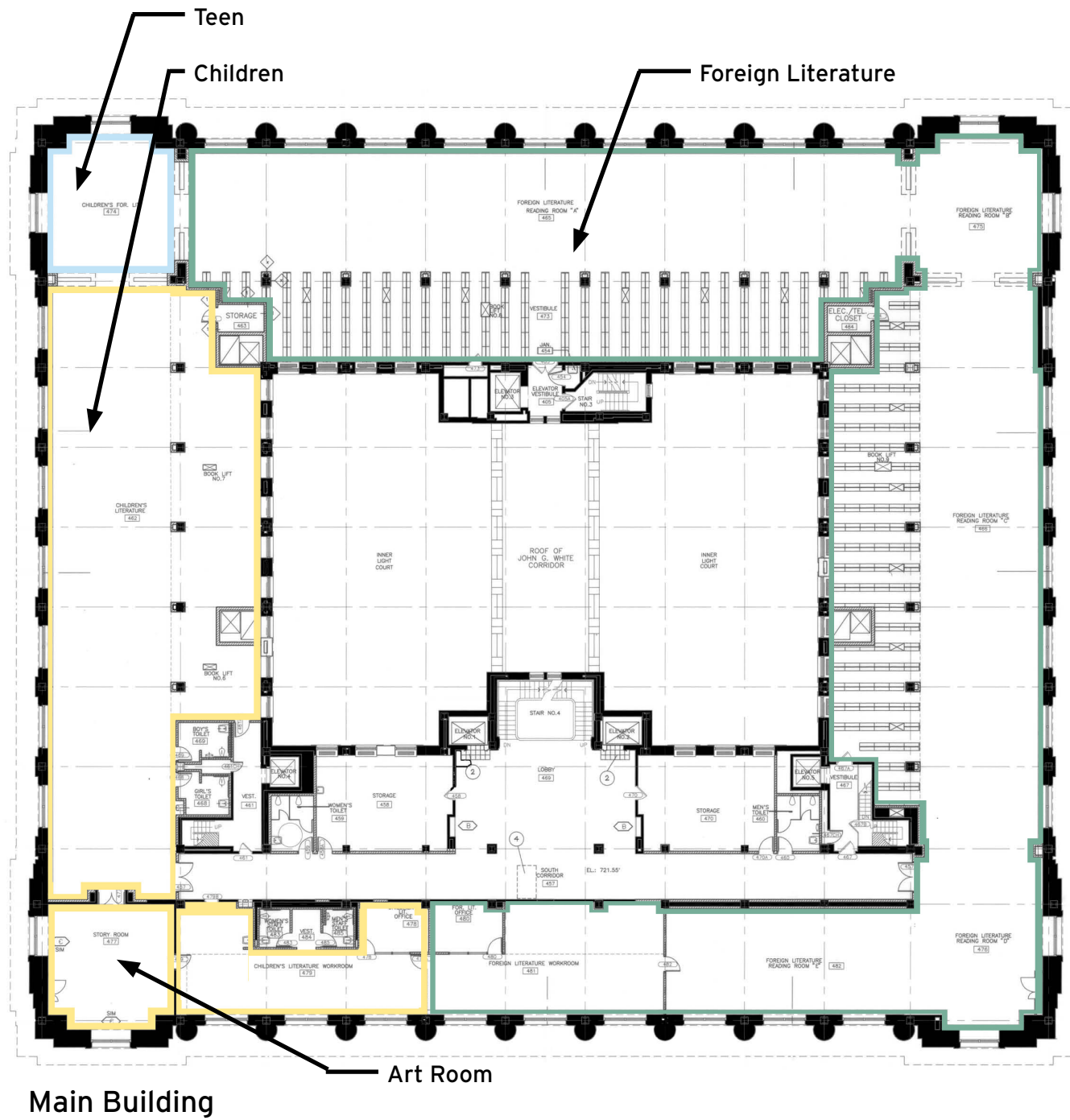
Main Building Third Floor

**Architectural
Main Building**

Ascending to the third level from the dark stair wells or the elevators, you enter another central hall with a choice of three distinct directions. There is a corridor that either leads you to the right or to the left, or behind you as you come out of the elevator is a gated portal that leads you to the special collections, through the John G White Exhibition Corridor. Included here are original display cases on either side, containing a rotating display of collections, artwork or photos.

The Music CD collection is entered from the stair hall and to the west. You enter the department through leather clad doors and are greeted with a circulation desk to your left and the music CD's to your right. All of the CDs are in bins with shelves that slide out for easy access.

Existing Conditions
Fourth Floor



Architectural

Louis Stokes Wing

Arriving at the fourth level from the elevators the first view includes book shelves with displays on the top, and a large metal wall to your left enclosing the Photograph Collection, which typically has images leaning against the windows or enclosed within the wall system. The metal wall may give a visitor the feeling that one is not allowed to enter the area, and one may instead ask the staff at the other desk first.

There are similarities to the second floor here: there are two rooms on the south side of the floor which are difficult to see and seem disconnected. As on the second floor these “tower rooms” are contained with large stone walls, within which are places to sit, with some collection around the perimeter.

Main Building

Entering the welcoming chamber on the fourth floor there are only two directions to choose from, to the right or left down the corridor. Going to the right down the corridor is the Youth Services area and to the left is Foreign Literature.

The corridor contains several display cases with rotating displays of art work, photographs, or other items from the collection. Entering the youth area, a visitor finds small tables, chairs and many fully filled low stacks. Just beyond that is a staffed children’s librarian desk. Proceeding past the desk there are more low shelves. In the far northwest corner are various marked displays, and different shelving for a small teen collection. A historic doll house is secured in an enclosed case at the edge of the Children’s area.

The teen area, isolated from the rest of the Youth services, is located at the end of the long floor and is contained within the dark wood partition added in the main Library Renovation to highlight these corners.

The remainder of the fourth floor consists of the foreign language collections. While passing through this space there are tables for reading, several lounge areas, and at the intersection of the main hall from the stairway, a desk for assistance. The original stacks line the interior edge of this space, and as on lower floors it is not clear whether these are accessible to the general public.

Lighting

Louis Stokes Wing

Existing lighting layout appears to meet light requirements for the space with a mixture of suspended and recessed linear fluorescent 1x4 luminaires. Lighting is very static and does not aid in maneuvering thru high stack areas or distinguishing circulation desk for assistance.

Tower Rooms are lit with three indirect pendants, which appear to provide too little light into the space. CPL members expressed their opinion that the space was under lit and therefore also under utilized.

Electrical / Telecommunications

Louis Stokes Wing

A Patterson Floor Trench system is used to distribute power and data to floor boxes throughout the floor. There are two electrical closets on this floor and two data comm. rooms. Wiring within the floor trench is very limited.

Power and data cannot be delivered to the far corners of the floor except via overhead.

Mechanical

Louis Stokes Wing

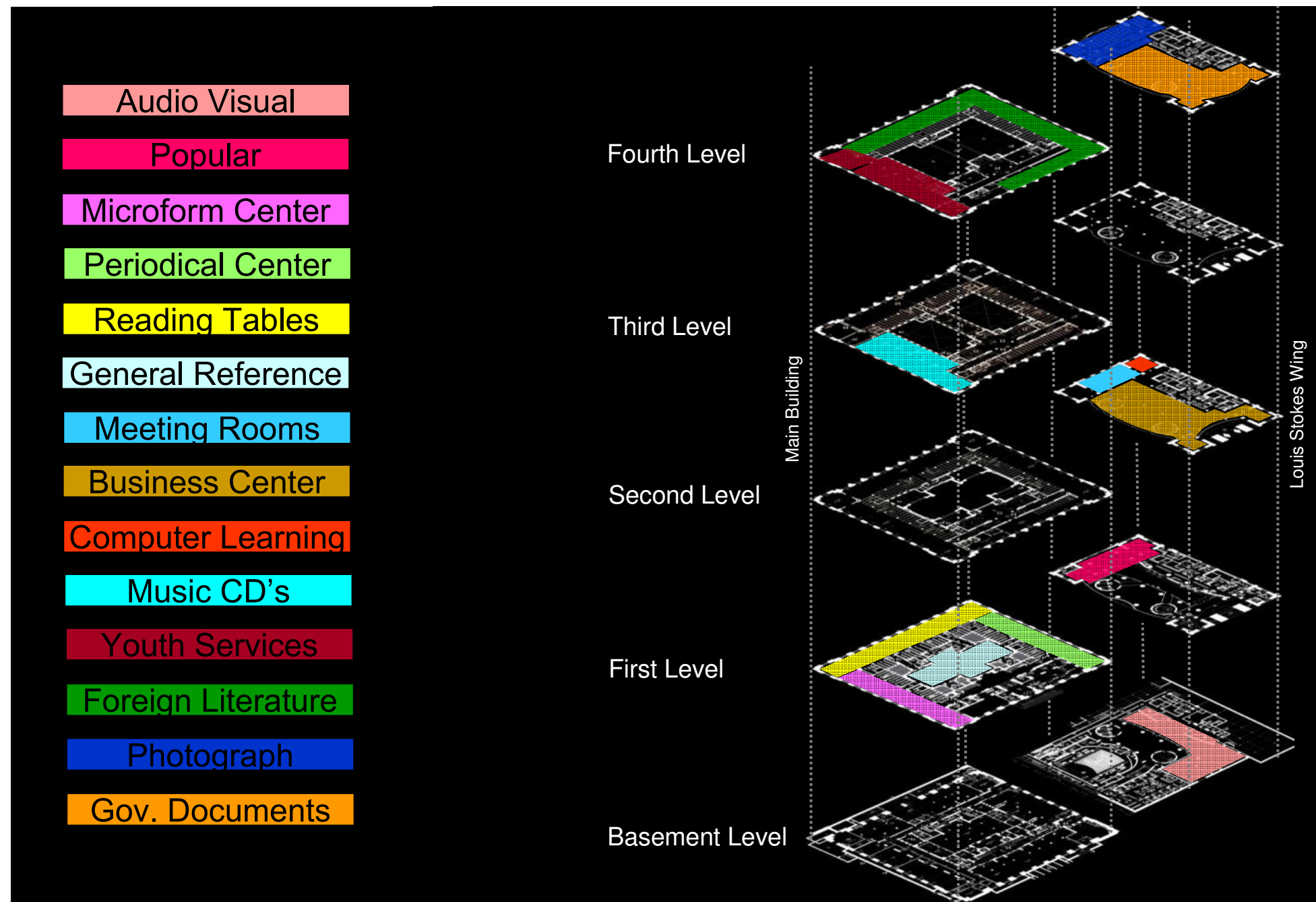
Existing HVAC systems appear to meet the needs of the current space. Controls are tamperproof and open ceiling and floor plan lead to good air movement in most areas. Photo area is open to the remainder of the floor, which is not ideal (Area should have dedicated temperature and humidity control).

Main Building

Area may be a good candidate for a relocated photo archive area. Installation of dedicated HVAC system would be fairly straightforward.

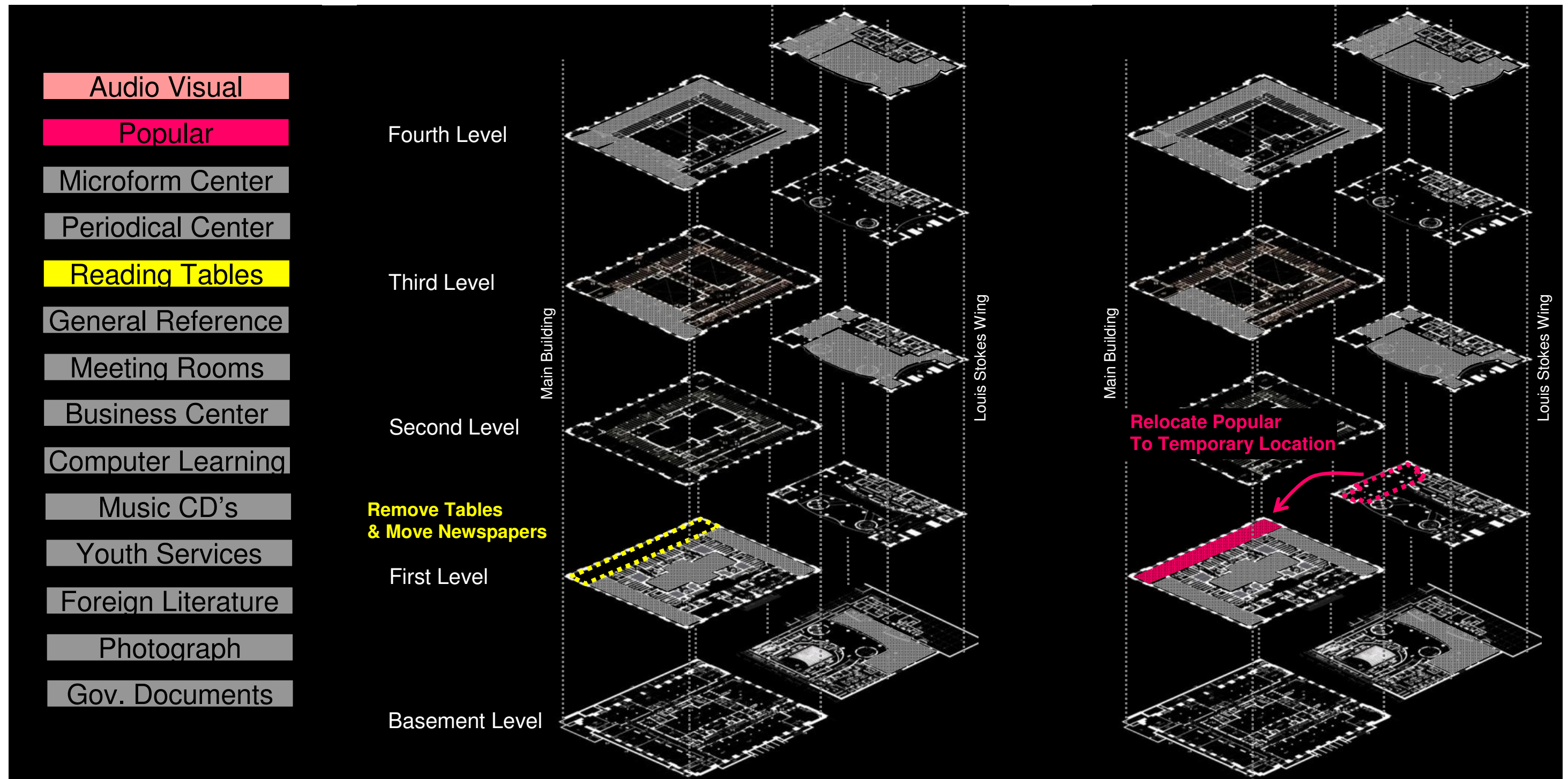


Recommendations



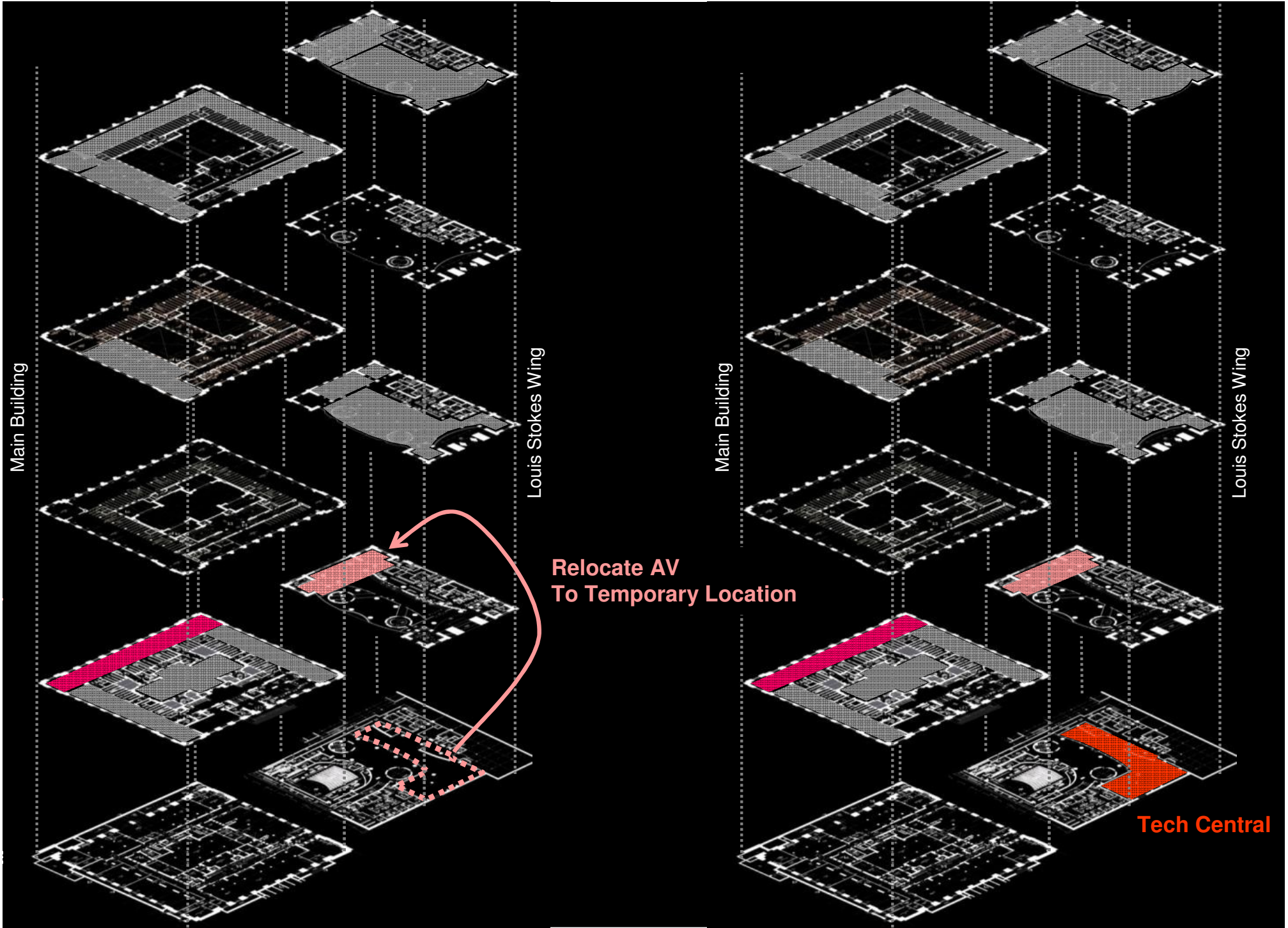
The starting point for all phasing and future modifications is the current programmatic layout. This diagram indicates the existing location of program departments, the starting point from which all of the proposed moves in the following pages depart.

The recommendations that follow modify this layout phase by phase and step by step, until the final proposed consolidated layout is achieved as indicated on the final page after the recommendations. Note that these phases and proposed steps are based on the best information available at this time, and while the overarching programmatic goals will remain long term targets, the specific steps and order may evolve as new information becomes available and new partnerships are forged.



Step 1

Step 2



Step 3

Step 4

Tech Central

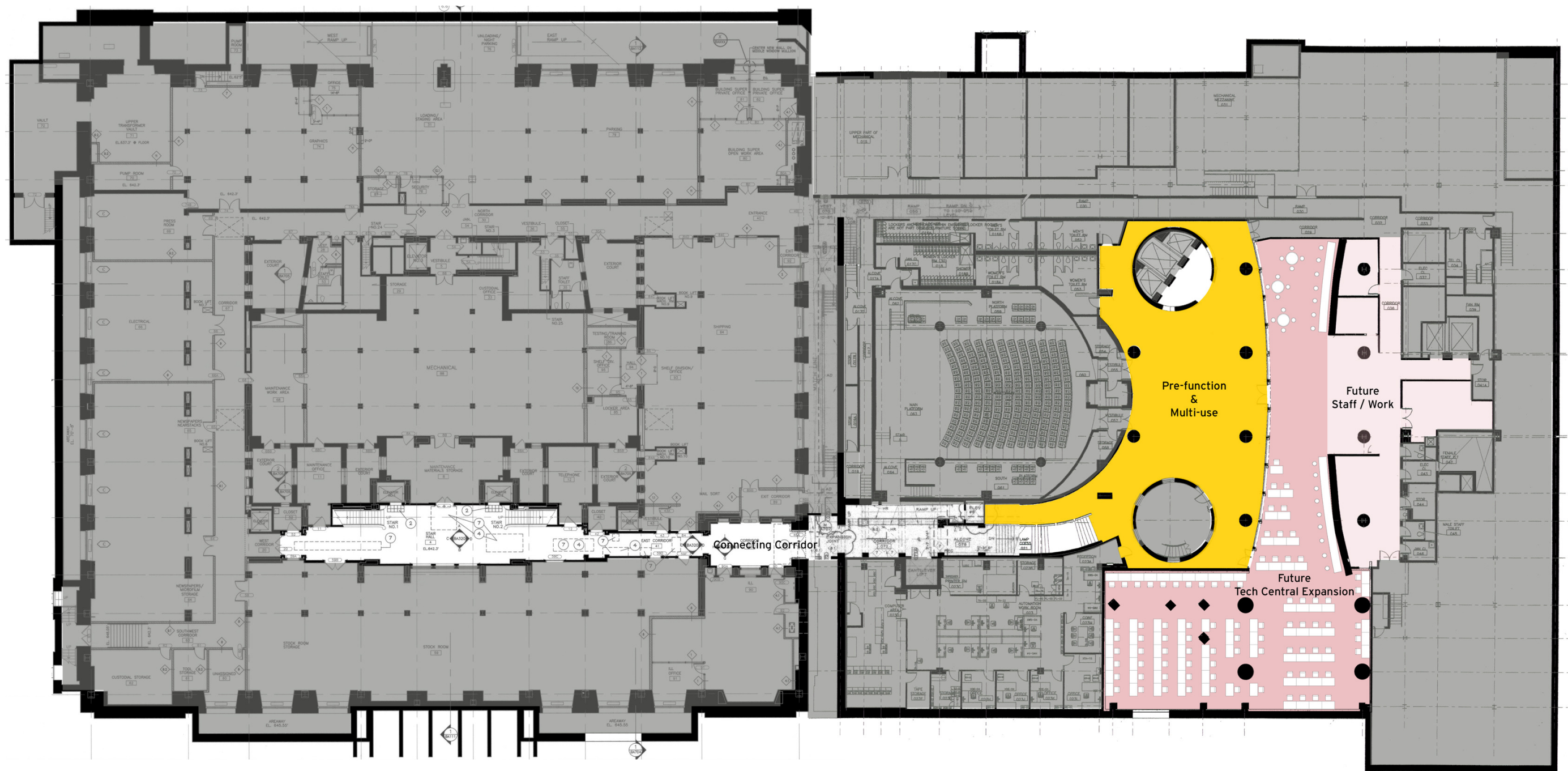
The First Phase of work to be completed is to create Tech Central. This phase is a necessary part of consolidating resources and staff to create efficiencies in resource locations and workflow. This will have the added benefit of placing all reservable public computers in one location, maximizing convenience for visitors.

Phasing

In order to free up space for Tech Central, a few other steps need to be made. In close collaboration with the library core team we've documented the steps required to achieve this phase:

1. Clear the area on the first floor of the Main Building, north wing, of tables and chairs. This creates room for the first of several temporary collection moves.
2. Relocate the Popular Collection from the first floor of the Louis Stokes Wing to the first floor of the main Building, north wing. This can be accommodated on the existing shelving, quickly disassembled and re-assembled to create a new Popular Collection area. This location will also be a first test to see how activity in the Main Building will change with a partial relocation.
3. Relocate Audio-Video from the lower level of the Louis Stokes Wing to the first floor, just vacated by the Popular Collection. Again, the collection will be accommodated with its own shelving for a temporary location.
4. Finally, create Tech Central in the lower level of the Louis Stokes Wing, just vacated by the Audio-Video collection.

Recommendations
Phase 1 - Tech Central



Main Building

Louis Stokes Wing



Panel Underside



Raised Flooring



Example of Computer Stations



Computer Learning



Computer Area in New Rice Branch

Architectural Recommendations

The space should reflect the much more user-friendly approach to public computer work at Cleveland Public Library. The space will be organized to embrace technology and project a helpful ease of use. The improvements that can be anticipated are below.

The entrance will be adjusted with no security gates, as none are needed. A video installation is envisioned for the revised check-in system, providing an attractive and convenient way for visitors to know when their computer is available. The existing desk inside will be adjusted to accommodate the new use, and for ease of check-in and assistance if needed. A counter for PCs or laptops can be added in front of the decorative tile without touching it, and seats can align with decorative details.

A new, small and efficient workstation will be added for staff in middle of space, for visibility and for assistance. It will be large enough for ad-hoc assistance is needed. The work area will be reconfigured for Tech Central staff, to make assistance for printing etc easier and to accommodate a new function.

New finishes are anticipated throughout, not necessarily for a comprehensive re-coloring of the space, but to freshen the appearance for a new use. New furniture should anticipate upwards of 100 PCs in the work area, and new furniture in lower level lobby would anticipate comfortable waiting, flexible to be removed for functions in the space outside the auditorium.

Once Tech Central is up and running, new wayfinding to and from the path to Main will be necessary. Ultimately, all inadequate signage should be replaced with a comprehensive wayfinding graphics design. The handsome portrait of Louis Stokes by Dawoud Bey requires more appropriate signage, regardless, to adequately inform the visitor of the namesake.

Discretionary improvements may include a more graphically robust video installation for entrance and signage to Tech Central, to inform, educate and entertain in the lower level lobby. There is also a suggestion to remove historic lighting over Auditorium, for relocation on the exterior as a way to tie the entrances together. The security camera over the entrance to the Main Building may be relocated or replaced with a less intrusive model. The bare concrete on the wall and stairwells may be a good location for a new mural, signage, or changing art installation. The complex geometry, analyzed in an attached diagram, informs how improvements here may be located and help enhance the importance of this space.

Recommendations Phase 1 - Tech Central

Lighting Recommendations

The lighting for Tech Central will be reviewed, for functional use and energy efficiency. Any remaining custom fluorescent surface mounted luminaires will be removed. Light levels will be checked from existing suspended linear fluorescent to see if they can be maintained for the space and provide sufficient light levels. Additional lighting may be added for wayfinding or to highlight an information desk/kiosk that may serve the area.

The historic exterior wall sconces mounted to the large curved wall may be removed and refurbished. The custom linear fluorescent product will be removed and the space will be illuminated with either (or a mix of) ceramic metal halide and fluorescent product depending on the final space planning. Lighting will accent the volume of the space and tie into the first floor above.

The lower level corridor that leads from the Stokes Building to the Main Building will be relit with several objectives. Lighting will be brighter to provide the feeling of safer and more secure passage. Any new signage will be highlighted and lighting will function as wayfinding, either thru the use of color, or shape to create a sense of movement on the path to the Main Building.

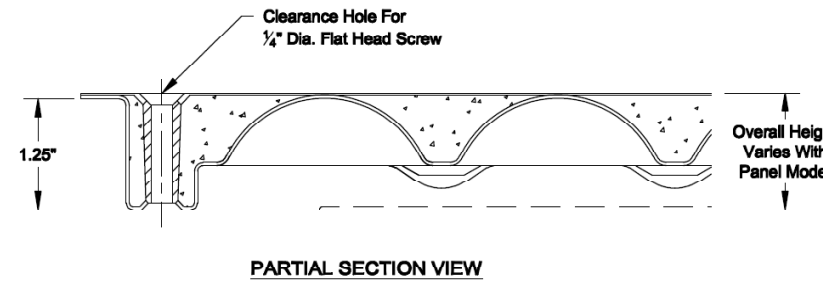
Mechanical Recommendations

The existing HVAC and fire suppression systems serving the Lobby/Art/Gathering area meets the current and future loads and is in good condition. We anticipate the existing system remaining as-is. Existing plumbing and fire suppression serving the new Tech Central shall remain unless sprinkler relocation would be required to accommodate any ceiling modifications.

The renovation will need to furnish and install new chilled water cooling, steam heating air handling unit to serve new Tech Central. We anticipate locating the unit in the adjacent Mechanical Area. The unit shall have sufficient capacity to handle load of new computers. Revise air distribution in the new Tech Center to accommodate new cooling loads and any new architectural finishes.

Electrical and Technology Recommendations

Additional branch circuits will need to be installed using the tram tunnel into the Tech Center. We recommend using a low-profile raised floor system throughout the computer tech center to get power and data to the desk locations. Power and Data feeds can be installed under the low-profile raised floor system to connect the tele/data and power services to the workstations. When the desk locations are finalized, we suggest installing wiring channels through the furniture partitions to supply the services to the computer stations.



Since there will be approximately 100 computer stations in this area, we will need fifteen (15), 20 amp branch circuits and a new 200 amp panel board installed in the utility space adjacent to the computer tech center area. There is sufficient power within this room to accommodate the additional computer loads. No UPS system for the tech lab has been included in the schematic design.

The new chilled water cooling unit proposed in the mechanical narrative will be fed from the distribution panels located in the mechanical equipment room immediately adjacent to the tech central area.

The technology cable bundle size to feed 100 computers is roughly a 4" diameter trunk. We recommend splitting this trunk line and installing two or three smaller trunk lines through the tram tunnel and into the computer stations. Once in the computer stations, similar to the power wiring, the data cabling will be managed through the furniture using a furniture wiring system.

The data cabling head-end will be located in the tele/data closet located behind the administrative offices on the lower level of Stokes. The Art and gathering area will require a possible floor trench with power and technology for an information kiosk. Other branch circuits required for the new lighting will also be provided.

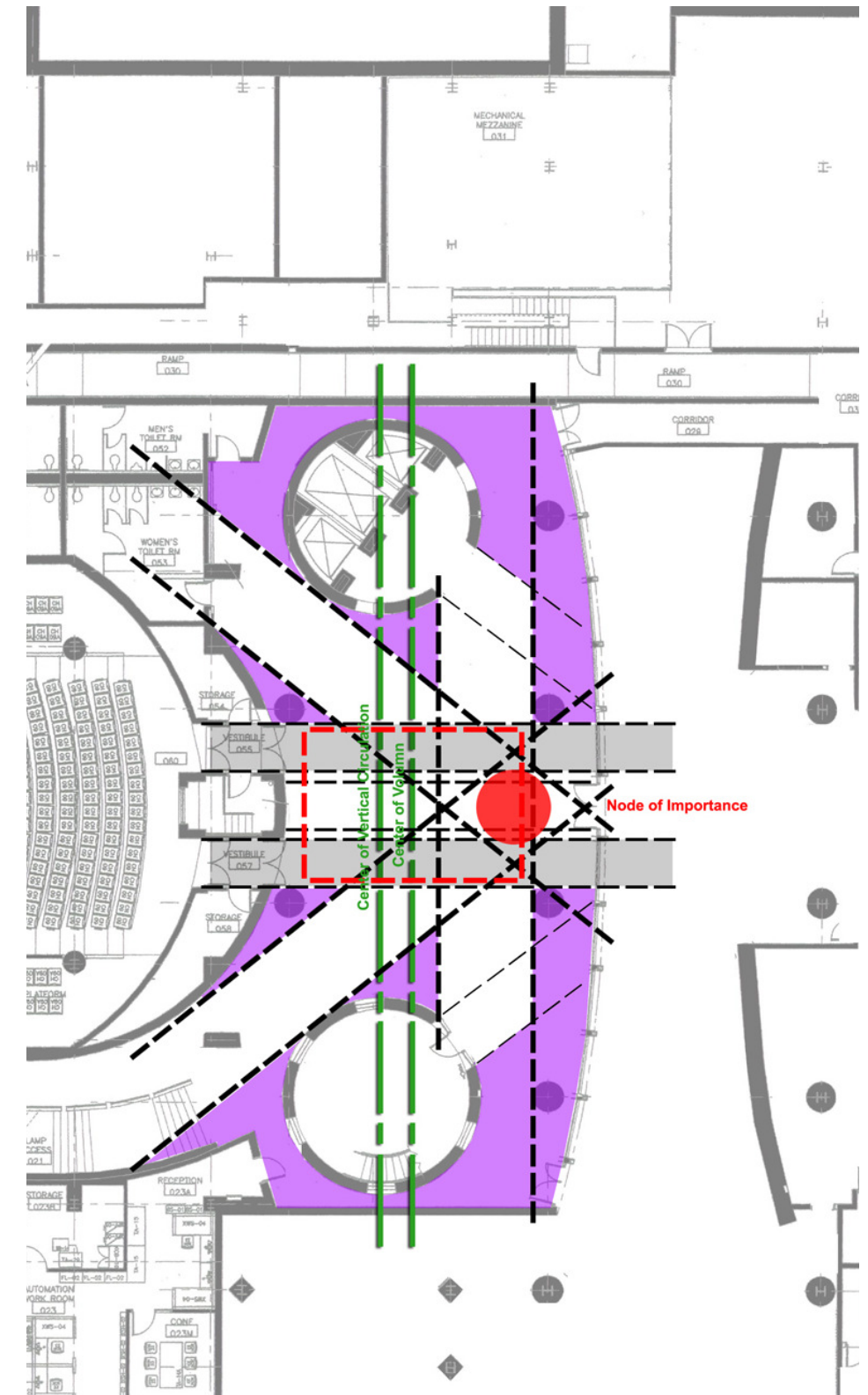


Diagram of Louis Stokes Wing
Lower Level Gathering Space

Description	Quantity	Unit	Unit Price	Total
CPL Main Library Reconfiguration Phase 1: Tech Central				
Step 1				
Main 1st Floor				
Move tables 1st Floor Main as required for new collection	7385		soft cost	
Step 2				
LSW 1st Floor - Main 1st Floor				
Relocate Popular Collection from LSW to Main, including shelving	7385		soft cost	
Step 3				
LSW LL - LSW 1st				
Relocate AV Collection from LSW LL to LSW 1st, including shelving	3653		soft cost	
Step 4				
LSW LL - First Priority				
New HVAC for Tech Central - See TEC's report	6486	sf	15	\$ 97,290
Channel floor for IT pathway N-S from Booktruck tunnel	360	sf	5	\$ 1,800
New raised floor system for distribution (inc demo of old)	6486	sf	14	\$ 90,804
Paint existing space	6486	sf	1.5	\$ 9,729
New lighting	6486	sf	10	\$ 64,860
New carpet tile	721	sy	35	\$ 25,235
Add counter for PCs along tile wall, align seats with details	110	lf	60	\$ 6,600
Modify desk for new use	1	ea	1500	\$ 1,500
New workstation for staff in middle of space	1	ea	7500	\$ 7,500
Reconfigure work area for Tech Central staff (assumes new walls, carpet, ceiling, lights etc)	1500	sf	35	\$ 52,500
Video installation for revised check-in system	1	ls	22000	\$ 22,000
				\$ -
LSW LL Discretionary				\$ -
Provide video installation for entrance and signage to Tech Central	1	ls	12000	\$ 12,000
New wayfinding for path to Main, and identity for Louis Stokes portrait	1	ls	20000	\$ 20,000
Multimedia wayfinding allowance	2	ls	11000	\$ 22,000
Remove historic lighting over Auditorium	1	ls	2400	\$ 2,400
Relocate security camera	1	ls	2500	\$ 2,500
Mural, signage, or art installation on bare concrete	1	all	50000	\$ 50,000
Provide design to 'center' the space (bid drawings/spec's)	1	all	15000	\$ 15,000
Subtotal				\$ 503,718
General Conditions				
Supervision	5	mo	5000	\$ 25,000
Office Trailer	5	mo	2000	\$ 10,000
Temp Utilities	5	mo	500	\$ 2,500
Porta Pit	5	mo	300	\$ 1,500
Final Clean	8000	sf	0.1	\$ 800
Trash removal	3	mo	450	\$ 1,350
Contractor Staging Area	1	all	5000	\$ 5,000
Daily Cleaning	5	mo	1000	\$ 5,000
Subtotal				\$ 51,150
Soft Costs & Mark-ups				
Permit	1	ls	6000	\$ 6,000
Bond	1.5%		560868	\$ 8,413
Contractor Overhead & Profit	8%		569281	\$ 45,542
Construction Escalation	1%		614824	\$ 6,148
Design Contingency	20%		620972	\$ 124,194
Construction Contingency	5%		745166	\$ 37,258
Subtotal				\$ 227,556
Total				\$ 782,424

Phase 1 Budget and Timeline

At the level of investigation inherent to this study, the budgeting is a conceptual opinion based on the recommendations and inspirations to date, most of which remain conceptual in nature. The intent is to establish a way forward with an understanding of the rough order of magnitude probable cost between phases.

It should be noted that these budgets include two broad kinds of costs: those which are necessary to achieve baseline consolidation goals, and those which are discretionary items which the design team has recommended to achieve the goal of making the Main Library a destination. Each phase will necessarily be reviewed prior to commencing, to establish the true scope of work appropriate to the current realities at inception of each phase of work.

The spreadsheet documents specific ideas that have an associated construction or installation cost, some of which are easier than others to quantify. These do not include what is referred to as 'soft' costs, which are design fees, moving costs, loose furniture and equipment, administrative and legal fees, etc. The construction costs are totaled, and standard overhead and profit margins are applied, with escalation as can be anticipated at this time. This phase total construction cost is then used to establish the baseline budget, or the low end of the potential budget range as outlined. The soft costs are added to this as a percentage range, based on relevant soft cost ranges for projects of similar scope.

The timeline is established as a product of the probable construction cost for each phase, as a calculated ratio of cost over time. Actual timelines can vary depending on the final approved scope, as the smaller the project the shorter the timeframe.

The conceptual construction budget for Phase 1:

\$785,000 - \$865,000

The total conceptual project budget for Phase 1, including soft costs:

\$1,100,000 - \$1,215,000

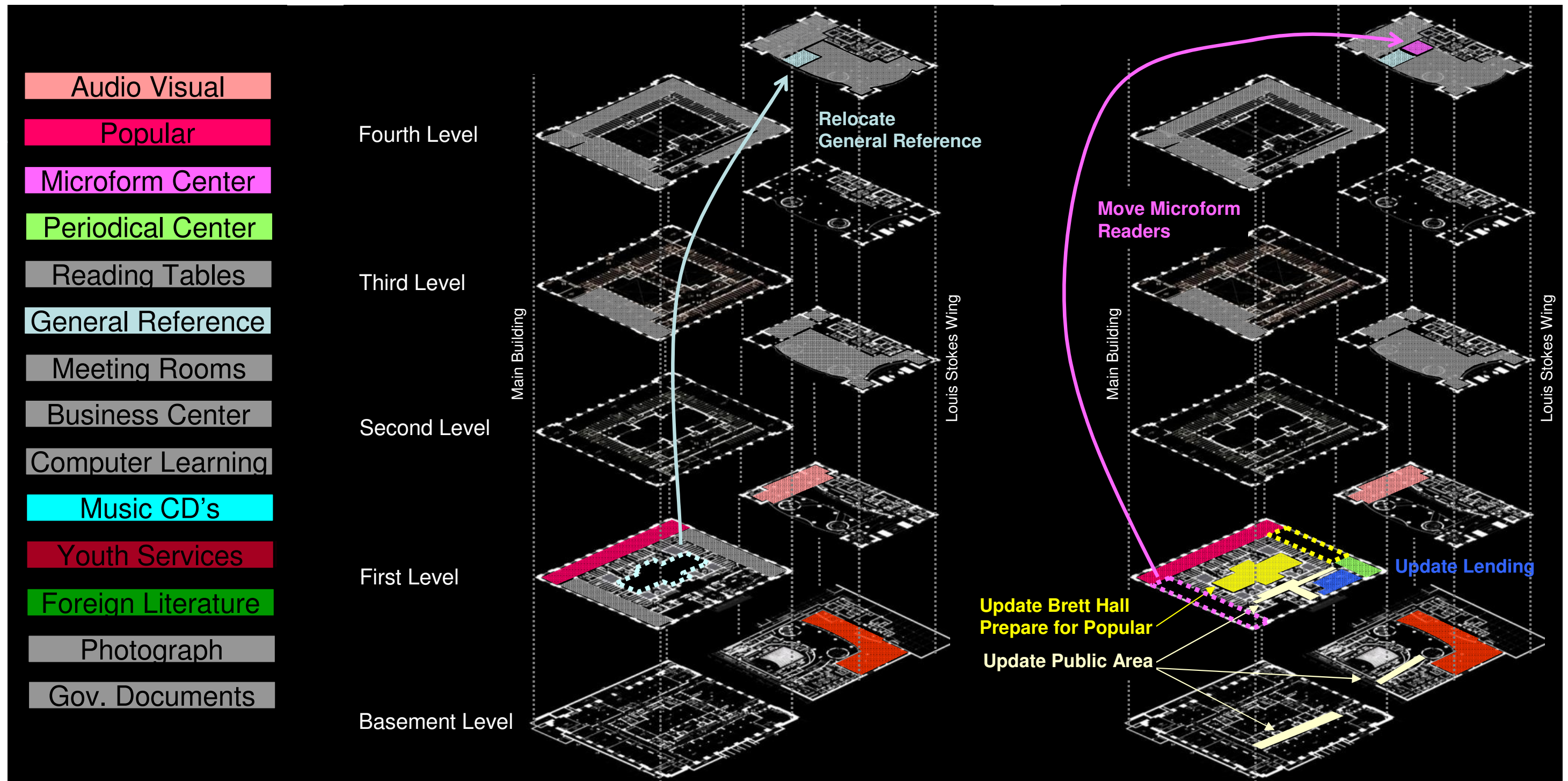
The conceptual construction timeline for Phase 1:

5 to 6 months

The total conceptual timeline for Phase 1, including design and implementation:

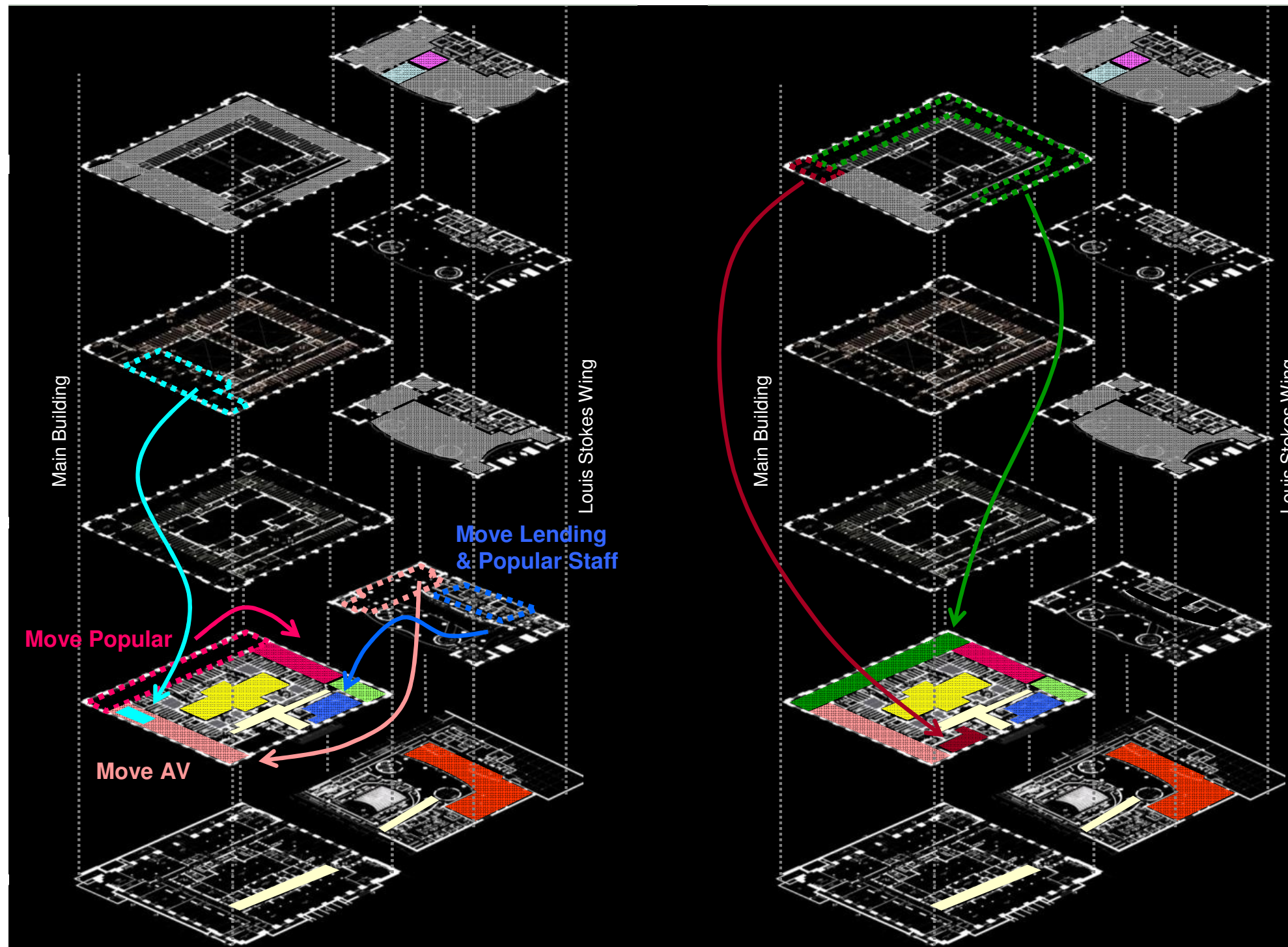
11 to 12 months

Recommendations
Phase 2 - First Floor Main Building



Step 1

Step 2



Step 3

Step 4

First Floor Main Building

The Second Phase of work to be completed is the relocated program areas on the first floor of the Main Building. This will not only revitalize Brett Hall but reinvent how services will be provided to the public in the highest circulating parts of the collection. In addition, once the Main Building and Tech Central are complete, the path between should be revitalized, so in addition to the first floor, the lower level is recommended to be included in this phase.

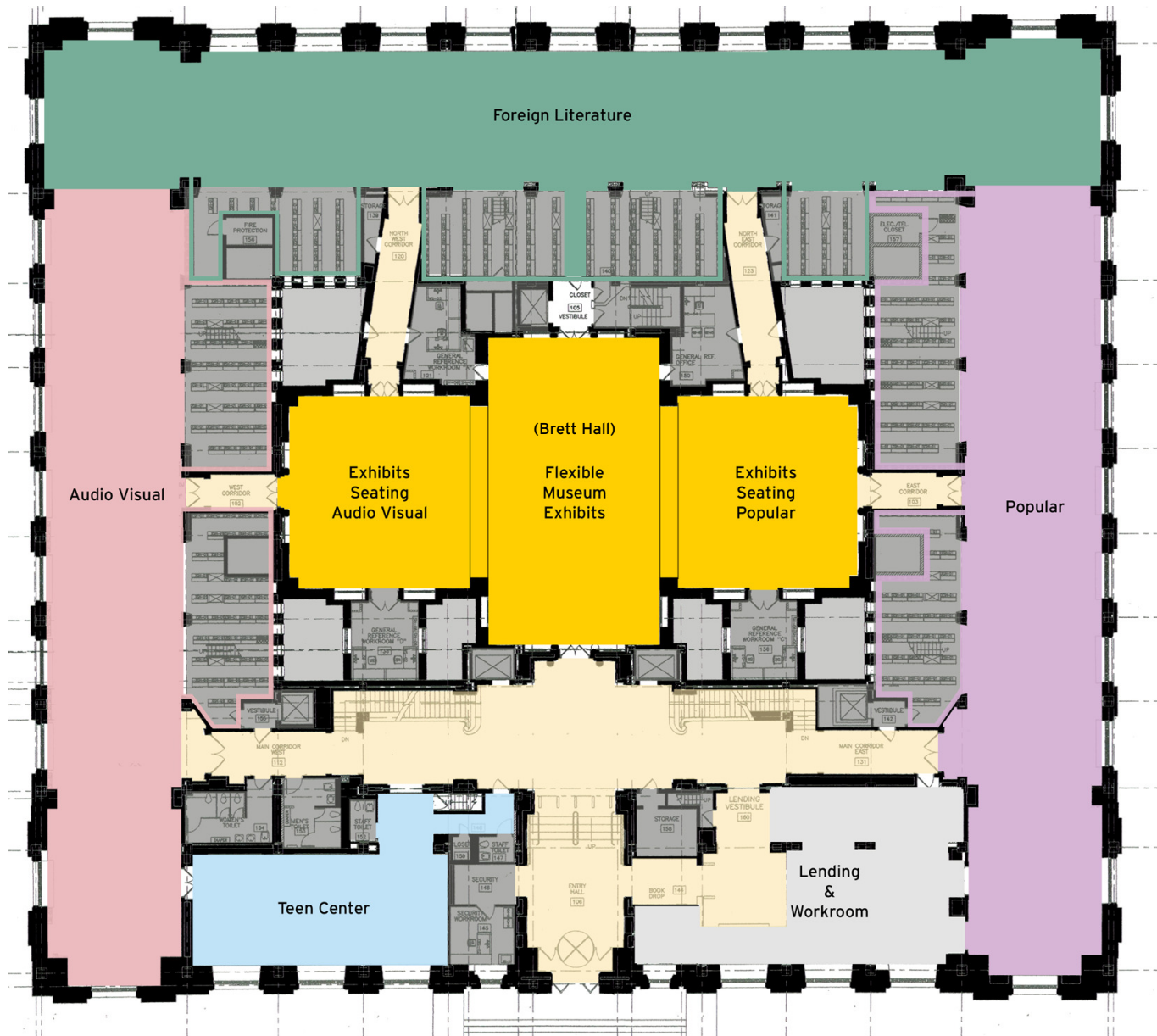
As the historic heart of the library, this phase has high public visibility and historic sentimentality, and is a strong candidate for engaging funding partners. This phase should be undertaken with the full participation of new community partners who are interested, willing and in appropriate support of your mission.

Phasing

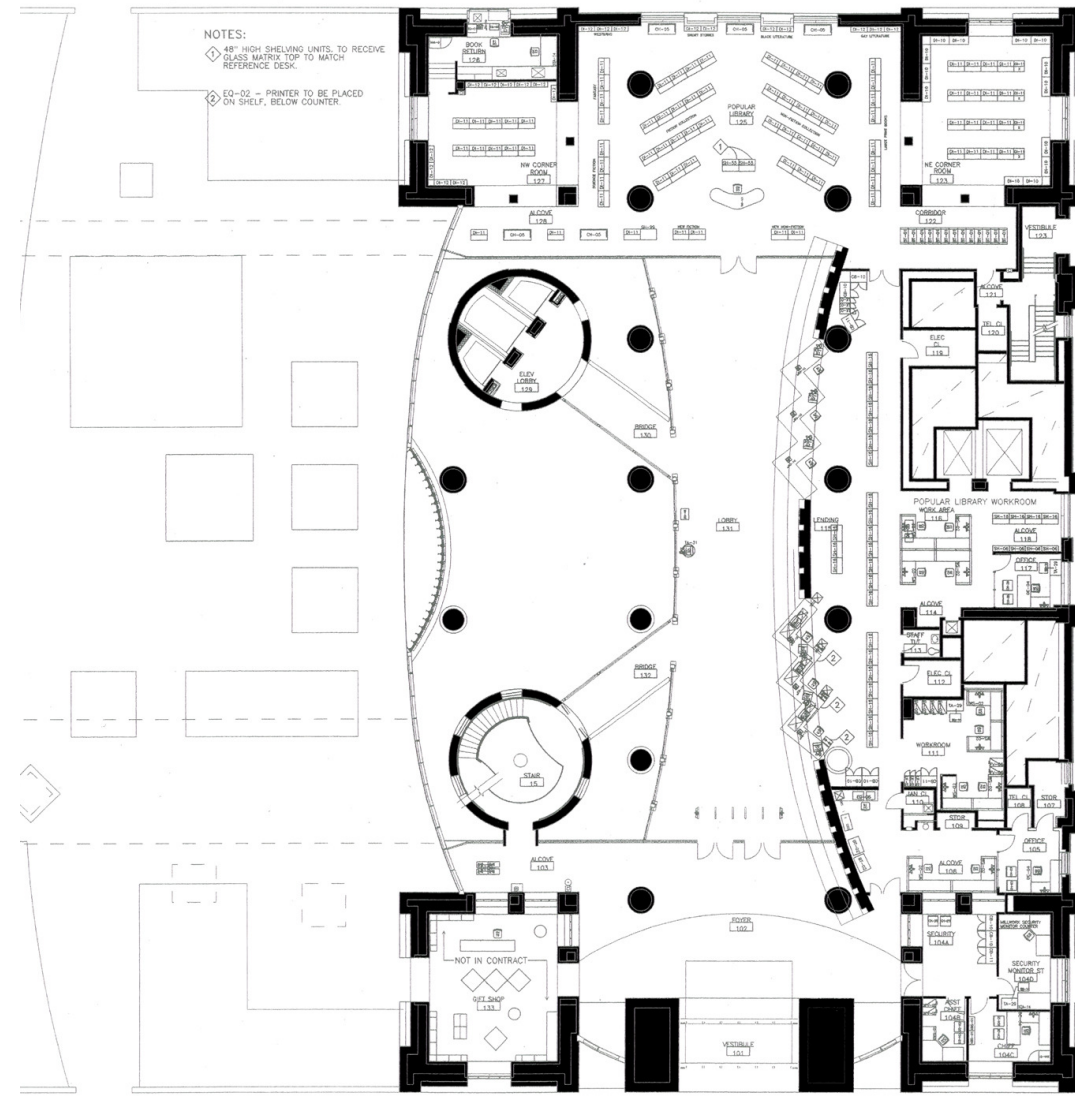
Several steps are required to allow this transformation, and as in Tech Central, we've documented the steps required to achieve this phase in close collaboration with the library:

1. Public computers in Brett Hall were relocated to Tech Central, and the remaining General Reference can be relocated to its future home on the fourth floor of the Louis Stokes Wing.
2. Once vacated, Brett Hall can be updated with improvements as outlined below. The public spaces on both levels and lending should also be renovated at this point, to anticipate the rest of the collection changes happening. Simultaneously, microform can be relocated to the 4th floor, and the west wing can prepare for Popular Collection move also.
3. With Brett underway, Popular, AV, CDs and the Lending department can relocate from their respective locations to their new spaces. The Teen Center space can be updated in anticipation of moving into this location.
4. Finally, Foreign Literature and the Teen Center can move to their new spaces, and the first floor can be opened.

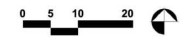
Recommendations
Phase 2 - First Floor Main Building



Main Building



Louis Stokes Wing





Example of Seating / Rest Area



Appropriate Lighting Solution

Architectural Recommendations

The security desk at the entry vestibule will be redesigned to more appropriately respect the historic architectural details, and lighting in this space will highlight the ceiling murals, as outlined below. A new system of way-finding will be required to intuitively lead visitors to the collections and to the Louis Stokes Wing. New lighting will also support this goal.

All modifications will be respectful to the historic nature of the building, and enhance the beauty of the architecture. However, a balance must be created to also indicate that there is a newness here, something different to be found. The programmatic changes will create its own level of new buzz, and the design will support and enhance that goal. The improvements that can be anticipated are below.

Brett Hall can be transformed to showcase the treasures in the collection currently unable to be displayed anywhere in the building. In conjunction with this, Brett hall can be transformed into a regional resource as an event space. More study needs to be done to confirm the functional and financial viability of this, but precedents exist in Cleveland that can provide meaningful insights for this goal.

Museum quality display cases must be added to accommodate the display of collections, and will be sized to also anticipate the potential for other travelling exhibitions. This will primarily be located in the center bay of the hall, with comfortable seating in the two square rooms flanking the center part of the hall. A sample of collections will be located in these square rooms which highlight the larger collections in the adjacent east, north and west rooms. In addition to the museum cases mentioned above, more flexible exhibitry can further enhance this space and add more to educate about the library's history. Lighting can be upgraded as outlined below, and all furniture in these areas will work in conjunction with these goals.

A new identification system for artwork will provide visitors with easily accessed information, and more history on the works. Possibly in Brett Hall or in the Main Entry hall, an educational interactive display can highlight the history of the building, educate about the collections, Brett Hall and artwork.

Recommendations

Phase 2 - First Floor Main Building

Given the ample windows serving Brett Hall, one idea proposed was to remove the patterned glass in favor of clear glass, allowing more light in and providing views of the decorative brickwork on the interior of the courtyard. The design team recognizes that this may change the historic nature of the room too significantly to be considered.

The main reading rooms flanking Brett Hall on three sides, accommodating Popular, Audio-Video and CDs, and Foreign Literature, will be outfitted with new furniture to best showcase these collections. New service points will be simple and minimal, emphasizing customer assistance over staff workspace. Self check stations will be considered in these areas, for ease of use and point of service checkout.

The Lending area will be reconfigured to provide more workspace and minimize the oversized area for visitors. The unfinished mezzanine above lending will be renovated to add workspace to this area. Additional self check stations are being considered here, along with a self-service area for patron holds.

The underused staff workspace in the old card catalogue room will be transformed into a Teen Center, targeting this demographic that is currently underserved by the Main Library. Precedents like YouMedia in Chicago have been referenced, and further study will be required in conjunction with likely funding partners to determine the future of this exciting space.

The lower level of main will benefit from a comprehensive wayfinding package, making the path from the Main Building to the Louis Stokes Wing a more intuitive experience. Ideas to enhance this experience include providing markers of progress along the way, improving signage or providing artwork to visually soften the many private doorways, creating flexible system for exhibits to enhance the existing cases to remain, and possibly adding a mural at the elevator door wall.

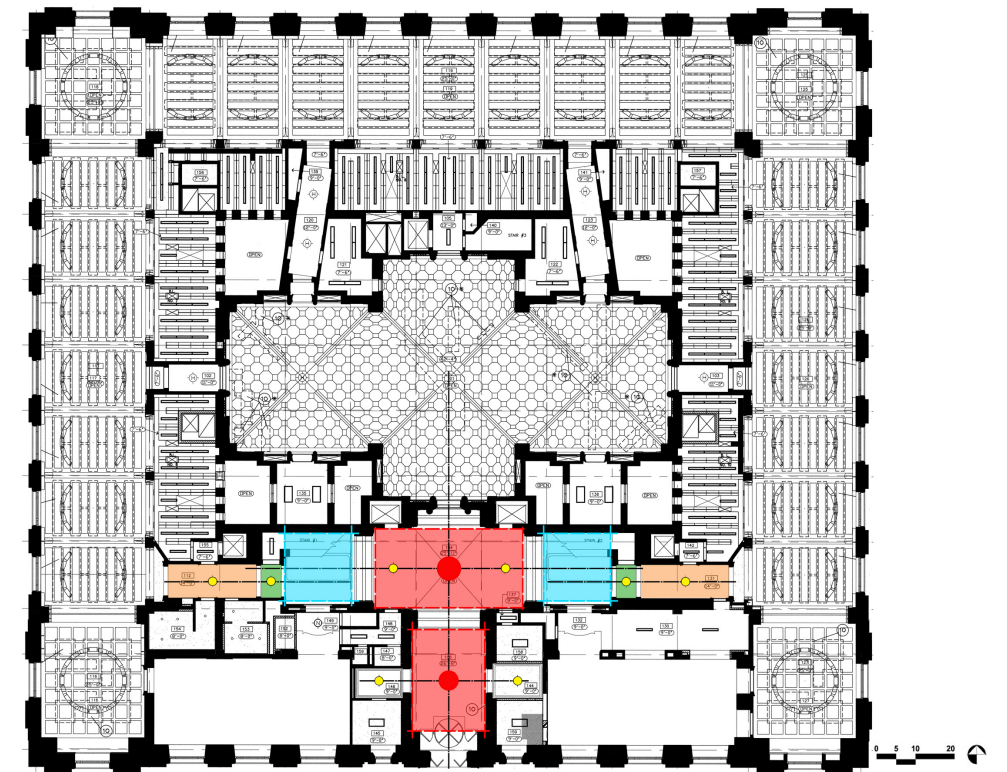
On the far end, at the transition to the Louis Stokes Wing, the path for those with disabilities can be improved. Removing low wall between ADA ramp and corridor at the far end at Louis Stokes, and replacing with open rail or glass will make the connection to the corridor more intuitive, and relocating the Dawoud Bey photos to a more appropriate place will eliminate the confusion of this as anything but a place to pass through instead of linger.

A larger initiative on this level will be to relocate the compact shelving and microform storage currently in the west wing of the lower level to the 7th floor of the Louis Stokes Wing, to allow Automation storage or the Graphics Department to relocate and make room for new meeting rooms in this location. These would replace the meeting space to be lost as part of the new Discovery Center for Families and Children, and this location would be a good proximity to the Louis Stokes Auditorium. This work would not be required until Phase 5 outlined later.

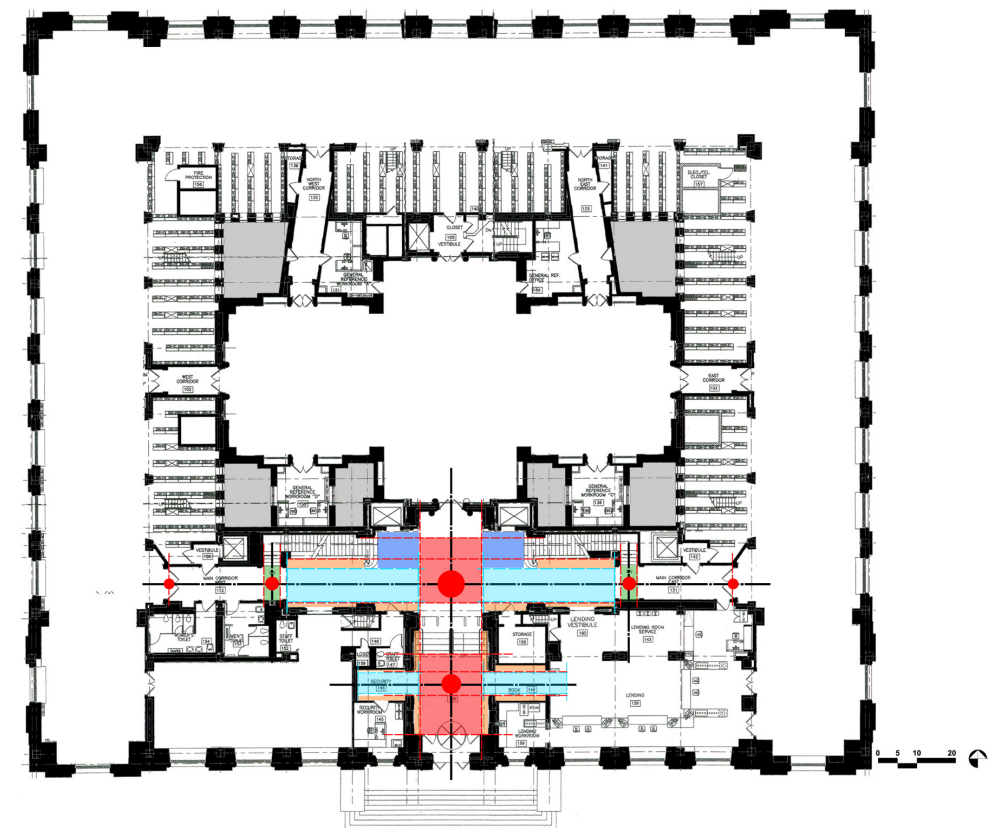
Lighting Recommendations Main Building First Floor

The Main Corridor will be relit with indirect uplight luminaires to highlight the vaulted ceiling. Existing decorative luminaires will either be refurbished or removed altogether and replaced with new decorative luminaires that meet the “period style” of the building, but present more energy effective solutions and do not expose the bare lamps. Similarly, the torchieres will be refurbished to serve as a decorative “jewel-like” element rather than an overly bright source; will remove the contrast glare problems currently seen in the space.

The Entrance will include indirect uplight to highlight the ceiling and possible accent light for the brass clock and ornamentation above the front door. Additional accent lighting may be added for the wall niches in the space. Additionally we will coordinate with the Architect on adding integral light to the Security deck, either for accent or added task lighting. And additional lighting may be added for information kiosks if part of the new space planning



Ceiling Diagram of Space Importance



Plan Diagram of Space Importance



Comfortable Reading Area



Digital Media



Modern Display

Main Building First Floor Brett Hall

The reading room luminaires will be refurbished with energy saving product. The added indirect luminaires previously incorporated will be reviewed as possible locations for uplighting the vaulted ceiling. If the location is to be maintained in the chandelier, the High Wattage Quartz Halogen product will be removed and replaced with low wattage ceramic metal halide to increase lamp life to 12,000 hours and reduce energy consumption. The alternative indirect solution would be to add small wattage ceramic metal halide indirect uplights to the bottom of the vault to evenly illuminate the space. The large windows will be reviewed to provide illumination during non-daylight hours. Additional lighting will be dependent on space planning. Any permanent large art installations will be illuminated with locking adjustable accent luminaires, while moveable displays will contain integral LED lighting.

Floor and table lamps may be added depending on space planning. They will match the architectural aesthetic and contain energy saving lamps with long life and good color quality.

If the existing case work stays within this space, we will likely remove the linear fluorescent uplights here and replace the stack downlight with a newer more efficient option.

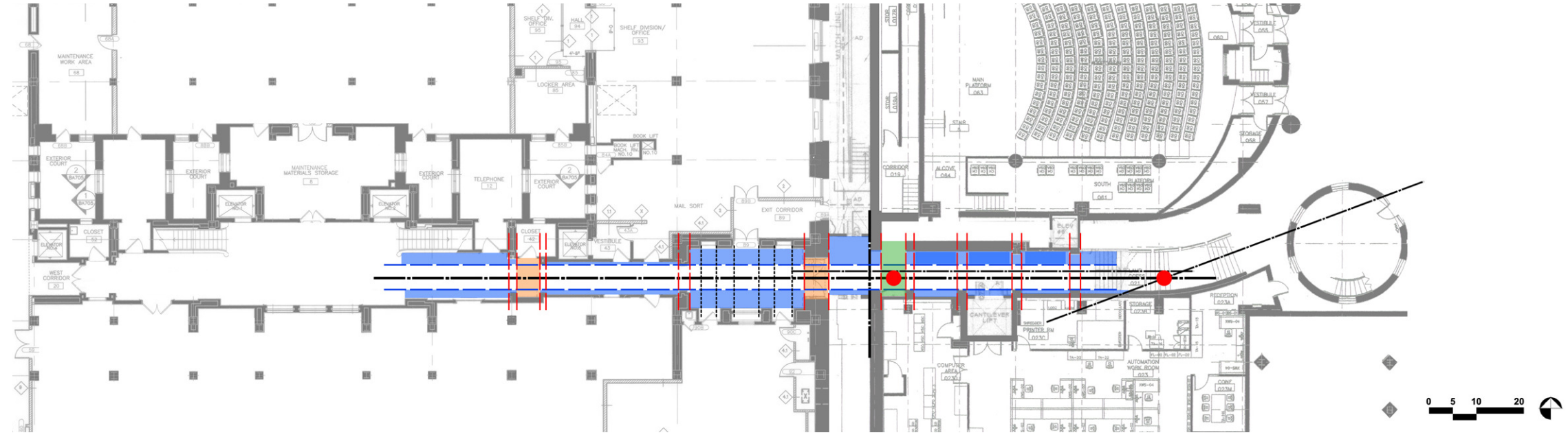
Main Building Multi-level Stack Areas

Stack areas would be relit with new surface mounted two lamp 32w T8 3500K lamps and new high efficiency ballasts for energy savings and better lighting quality. Additionally, the stacks could incorporate occupancy sensing technology for advanced energy savings.

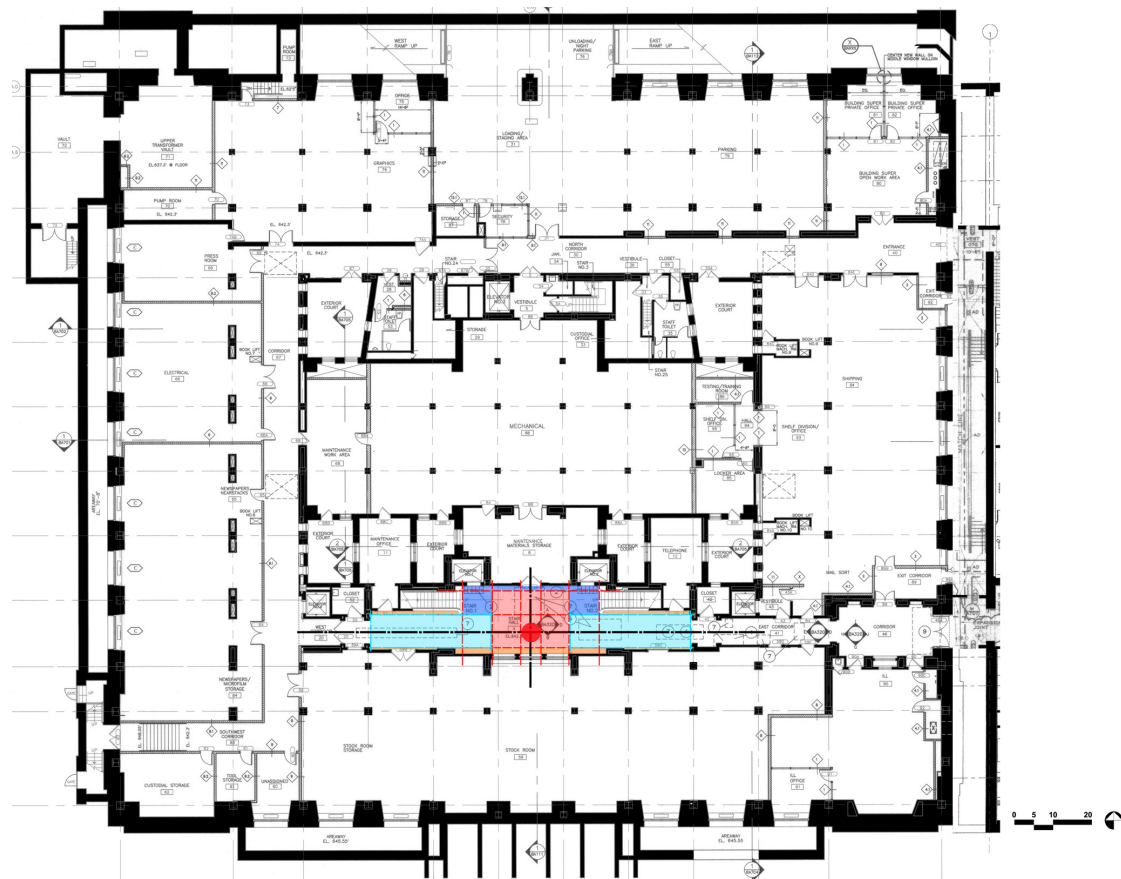
Main Building Reading Area

Currently the reading area is lit with custom curved fluorescent luminaires. We would recommend an option to either: rework the existing luminaire (if possible) or to replace it completely in the single curves but maintain it in a full circle configuration on the far ends of the room. Currently the uplight component is not properly lighting the detailed stenciled ceiling. If removed completely, we would incorporate an indirect component to highlight the architecture as well as direct component to meet the IES recommended practice reading. If the existing custom curved luminaire remains, we will look at a lensing option rather than the existing louver to shield patrons from direct view of the light source and add an additional optical element to allow uplight contribution onto the ceiling. Daylight harvesting could be incorporated into either a new luminaire or the existing one for increased energy savings.

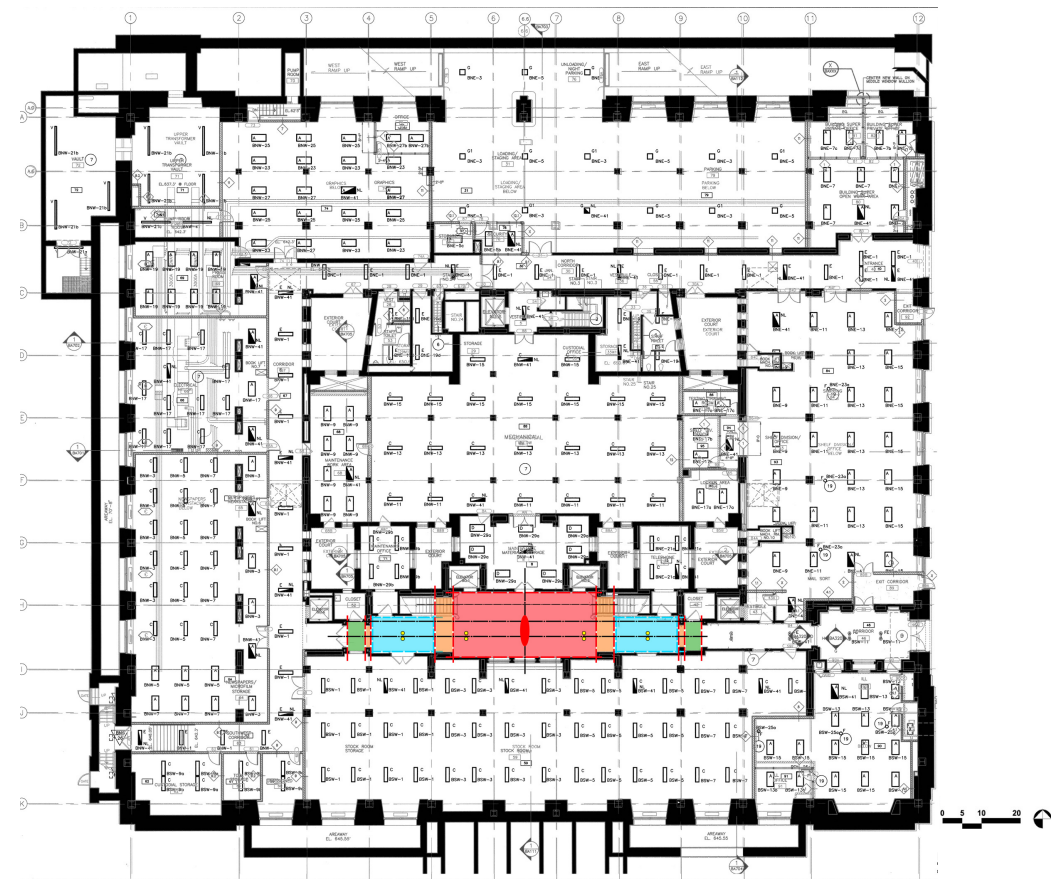
Recommendations
Phase 2 - First Floor Main Building



Lower Level Connection Corridor



Plan Diagram of Space Importance



Ceiling Diagram of Space Importance



Connecting Corridor Illumination



Connecting Corridor Media Display



Connecting Corridor Wayfinding

Main Building Lower Level

The lower level lighting will be revised to provide a link from the connector to the Stokes building as well as providing additional wayfinding thru the space. If display areas are maintained for use, all new LED lighting will be designed to highlight items. The existing decorative “twin teardrop pendants” will be removed. We would recommend replacing it with a decorative luminaire that can provide a glow AND has performance characteristics that can illuminate the space without creating eye strain. The new proposed luminaire would have an indirect component to highlight the architecture as well as an internal “glow” component for decorative purposes.

Existing historic wall sconces will be removed and re-furbished. We will review lamping options for extended life, lower maintenance costs and better quality of illumination.

HVAC, Plumbing and Fire Suppression Recommendations

Existing HVAC, fire suppression and plumbing systems shall remain, except where they must be modified to accommodate new architectural finishes.

Electrical and Information Technology Recommendations

The existing quantity of circuits in Brett Hall appears acceptable for the new lighting proposed. Since the new lighting is more energy efficient than the existing, the modifications to the lighting system should use less energy and therefore the existing circuits should be sufficient for the lighting proposed.

Additional lighting locations will be added above the bookshelves and windows and the new lighting for the brass decoration above the entrance and in the wall niches. Concealing the branch circuit raceway in these areas will be critical since the room has such ornate architecture and vaulted ceilings.

The existing surface mounted wiring raceway and branch circuit and data running along the walls and floors will be removed and the original wall restored.

New power and data will be installed in the Teen and Check-out areas. The Popular, Foreign Lit and Audio Visual areas can all be fed with poke-through floor box devices and the branch circuits running in the lower level ceiling space. The panels in the main building are older style panels which are out of date. Adding additional branch circuits for these areas will be expensive and we will reuse the existing wiring and circuiting wherever possible.

Connecting Corridor Between Main Building and Lewis Stokes Building

Run new circuits through the corridor for the additional signage and wayfinding. We anticipate power and data services required at three locations within the corridor as well as additional lighting branch circuits for the lighting improvements. The quantity of circuits will be determined as the space layout is finalized. This power can be brought from the main mechanical and electrical room in the lower level of the Lewis Stokes Wing.

Main Building Lower Level Lighting

The lower level lighting will be revised to provide a link from the connector to the Stokes building as well as providing additional wayfinding thru the space. If display areas are maintained for use, all new LED lighting will be designed to highlight items. The existing decorative “twin teardrop pendants” will be removed. We would recommend replacing it with a decorative luminaire than can provide a glow AND has performance characteristics that can illuminate the space without creating eye strain. The new proposed luminaire would have an indirect component to highlight the architecture as well as an internal “glow” component for decorative purposes.

Existing historic wall sconces will be removed and re-furbished. We will review lamping options for extended life, lower maintenance costs and better quality of illumination.

Main Building 1st Floor Lighting

The Main Corridor will be relit with indirect uplight luminaires to highlight the vaulted ceiling. Existing decorative luminaires will either be refurbished or removed altogether and replaced with new decorative luminaires that meet the “period style” of the building, but present more energy effective solutions and do not expose the bare lamps. Similarly, the torchieres will be refurbished to serve as a decorative “jewel-like” element rather than an overly bright source; will remove the contrast glare problems currently seen in the space.

The Entrance will include indirect uplight to highlight the ceiling and possible accent light for the brass clock and ornamentation above the front door. Additional accent lighting may be added for the wall niches in the space.

Additionally we will coordinate with the Architect on adding integral light to the Security deck, either for accent or added task lighting. And additional lighting may be added for information kiosks if part of the new space planning.

Main Building 1st Floor Brett Hall Lighting

The reading room luminaires will be refurbished with energy saving product. The added indirect luminaires previously incorporated will be reviewed as possible locations for uplighting the vaulted ceiling. If the location is to be maintained in the chandelier, the High Wattage Quartz Halogen product will be removed and replaced with low wattage ceramic metal halide to increase lamp life to 12,000 hours and reduce energy consumption. The alternative indirect solution would be to add small wattage ceramic metal halide indirect uplights to the bottom of the vault to evenly illuminate the space. The large windows will be reviewed to provide illumination during non-daylight hours. Additional lighting will be dependent on space planning. Any permanent large art installations will be illuminated with locking adjustable accent luminaires, while moveable displays will contain integral LED lighting.

Floor and table lamps may be added depending on space planning. They will match the architectural aesthetic and contain energy saving lamps with long life and good color quality.

If the existing case work stays within this space, we will likely remove the linear fluorescent uplights here and replace the stack downlight with a newer more efficient option.

Main Building Multi-level Stack Areas Lighting

Stack areas would be relit with new surface mounted two lamp 32w T8 3500K lamps and new high efficiency ballasts for energy savings and better lighting quality. Additionally, the stacks could incorporate occupancy sensing technology for advanced energy savings.

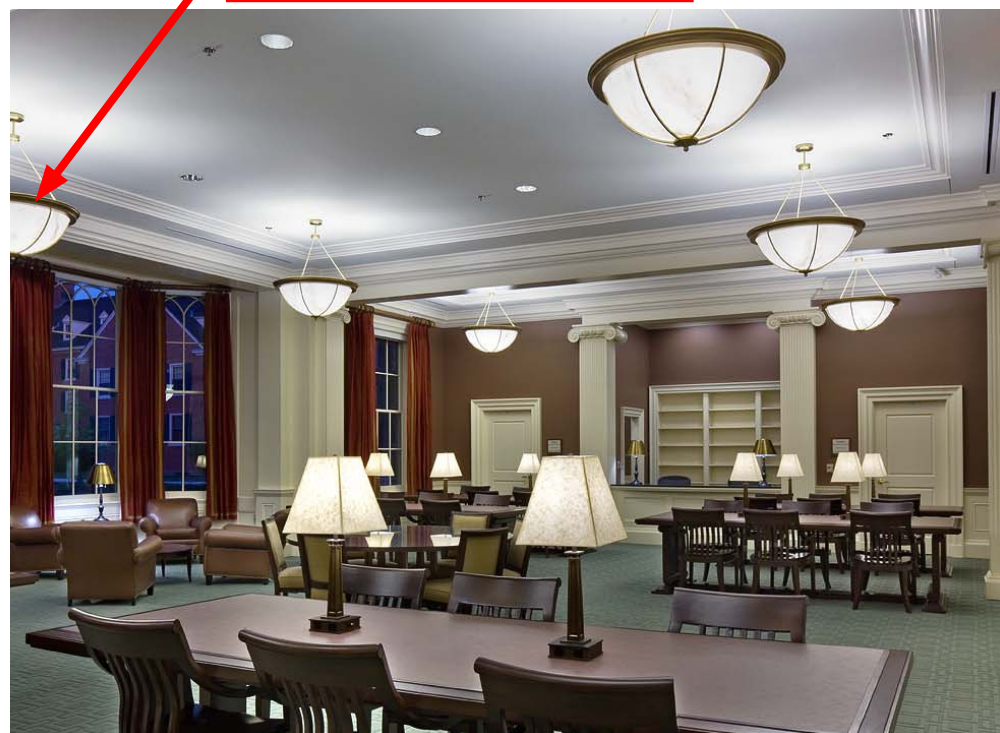
Main Building Reading Area Lighting

Currently the reading area is lit with custom curved fluorescent luminaires. We would recommend an option to either: rework the existing luminaire (if possible) or to replace it completely in the single curves but maintain it in a full circle configuration on the far ends of the room. Currently the uplight component is not properly lighting the detailed stenciled ceiling. If removed completely, we would incorporate an indirect component to highlight the architecture as well as direct component to meet the IES recommended practice reading. If the existing custom curved luminaire remains, we will look at a lensing option rather than the existing louver to shield patrons from direct view of the light source and add an additional optical element to allow uplight contribution onto the ceiling. Daylight harvesting could be incorporated into either a new luminaire or the existing one for increased energy savings.

Lamps and Ballasts

All fluorescent, compact fluorescent and LED products will be 3500K with a CRI of 80+. Binning on the fluorescent will be no greater than 3 steps of variation and no greater than 4 steps for LED product. All Metal Halide will be ceramic type with a 3000K color temperature and a CRI of 85+. Color shift must be less than 200 degrees maximum over the life of the source. All ballasts will be high efficiency electronic dual voltage type ballasts. Power factor to be determined based on specific needs for delivered lumens in the spaces mentioned above.

soft glow to illuminate bowl with performance uplight optical plan to light the space



Lighting Example

Louis Stokes Wing Lower Level Lighting

Exterior wall sconces mounted to the large curved wall will be removed and refurbished. The custom linear fluorescent product will be removed and the space will be illuminated with either (or a mix of) ceramic metal halide and fluorescent product depending on the final space planning. Lighting will accent the volume of the space and tie into the first floor above.

The lower level corridor that leads from the Stokes Building to the Main Building will be relit with several objectives. Lighting will be brighter to provide the feeling of safer and more secure passage. Any new signage will be highlighted and lighting will function as wayfinding, either thru the use of color, or shape to create a sense of movement on the path to the Main Building.

The lighting for Tech Central will be reviewed. Any remaining custom fluorescent surface mounted luminaires will be removed. Light levels will be checked from existing suspended linear fluorescent to see if they can be maintained for the space and provide sufficient light levels. Additional lighting may be added for wayfinding or to highlight an information desk/kiosk that may serve the area.

Louis Stokes Wing 1st Floor Lighting

In the Lobby, the existing custom surface mounted fluorescent luminaires will be removed. New fluorescent or ceramic metal halide luminaires will illuminate the space and match the lighting used in the Lower Level for consistency. Lower wattage versions may be used as light levels may need to be varied. The existing halogen lighting in the red tower and rail will be removed. We will explore options for re-lighting with a longer life source. The small surface mounted orbs mounted to the curved openings on the tile walls will be removed, either new lighting that is more appropriate (and does not buzz) will be installed, or the existing will be modified for energy conservation. We will coordinate display lighting with either locking adjustable luminaires for permanent installation or case mounted lighting for changeable installations. Seating areas will be defined by additional accent lighting in the space.

The new relocated Gift shop lighting will be renovated to confirm to a more “retail” oriented application where merchandise can be highlighted and “pop” out from the general lighting in the area. All luminaires will be 3500K fluorescent or 3000K Ceramic Metal Halide.

The Indoor Garden space will be re-lit with new fluorescent or ceramic metal halide luminaires as appropriate to the space planning. Existing luminaires will be removed.

The lighting in the areas currently used as the gift shop and security office will be removed and new lighting more appropriate to an exhibit space will be installed. The lighting will allow general illumination as well as adjustable accent for the potential changeable displays.

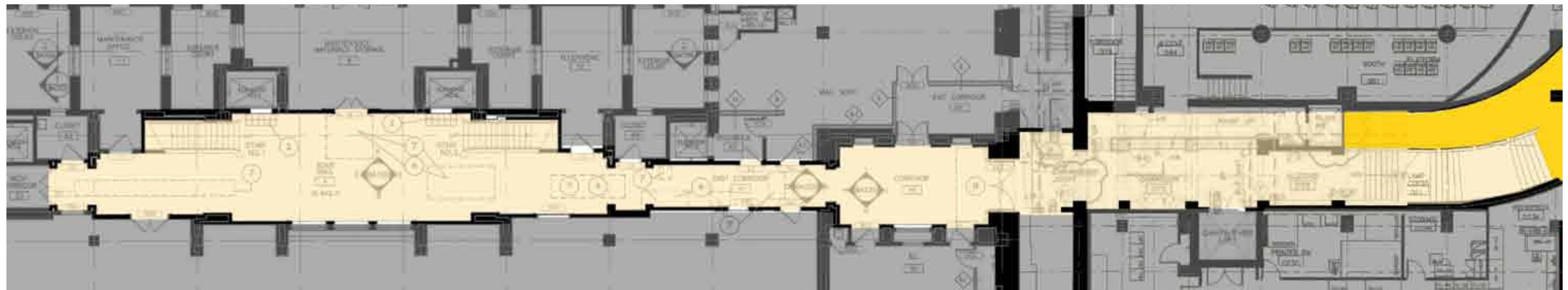
The new Tech Instruction area will be relit to meet the new task requirements of the space and to match the change in design scheme being implemented on this floor.

Louis Stokes Wing Main Elevator Lobby Lighting

The Elevator Lobby is currently lit by wall mounted fluorescent sconces that do not aid in the wayfinding into that floor space. There is no additional accent light on the signage for occupants in this area.

Recommendations
Phase 2 - First Floor Main Building

Inspirations



Lower Level Connecting Corridor

Current Site Conditions



Inspirations



While we know that a very real need exists: the lower level corridor route that connects the Main Building with LSW is in need of both wayfinding and signage – it cannot drive the solution for the entire campus.

A combination of graphics (e.g. there are more than a dozen doors that can support large graphics referencing various CPL resources), contemporary signage suspended from the ceiling, and a change of lighting in areas of importance (e.g. elevator bank area) would be tools of a unified strategy for this lower level. However, these tools need to work throughout the campus.

The process will also yield a list of short-term and long-term objectives that coincide with the phases presented in this document. The long-term objectives will fit into a master plan for the entire campus.



Recommendations
Phase 2 - First Floor Main Building

Description	Quantity	Unit	Unit Price	Total
CPL Main Library Reconfiguration Phase 2: Living Room				
Step 1				
Main 1st Floor - LSW 4th				
Relocate Reference Collection in Brett to 4th Floor LSW				
Step 2				
Main 1st Floor - LSW 4th Floor				
Relocate Microform Readers				
Move furniture to prepare Main 1st Floor East Wing for Popular				
Update Brett Hall and Main lobby area				
Change Brett Hall into an event space	4969	sf	10	\$ 49,690
Add flexible, museum quality display in Brett Hall	1	ls	125000	\$ 125,000
Add multimedia to support exhibits	1	ls	250000	\$ 250,000
Re-light Brett Hall	4969	sf	12.5	\$ 62,113
Provide new identification system for artwork	4	ea	1200	\$ 4,800
Provide interactive display to highlight the history of the building , Brett Hall and artwork	4	ea	25000	\$ 100,000
Provide new lighting in entry hall	2500	sf	12.5	\$ 31,250
Provide intuitive wayfinding to get to stairs to LSW, redo lighting to support this	1	ls	5000	\$ 5,000
Redesign security desk at entrance (bid drawings/spec's)	1	ls	15000	\$ 15,000
Replace patterned glass in lightwells with clear glass (Brett Hall)	3150	sf	50	\$ 157,500
Reconfigure lending to add more workspace	1750	sf	30	\$ 52,500
Finish mezzanine above lending to add workspace	900	sf	50	\$ 45,000
Add self-check stations and holds pickup area (casework & equipment)	3	ea	2000	\$ 6,000
Add comprehensive wayfinding package	1	ls	40000	\$ 40,000
Add multimedia wayfinding assistance	2	ea	11000	\$ 22,000
Step 3				
Main 1st Floor - Main 3rd Floor - LSW 1st Floor				
Relocate Popular Library, AV + CDs this floor				
Reconfigure new lighting in reading rooms, see TEC report	18400	sf	12.5	\$ 230,000
Relight stacks	15660	sf	8	\$ 125,280
Step 4				
Main 1st Floor - Main 4th Floor - Main Lower Level				
Relocate Foreign Literature and Teen Center to 1st floor	11000			
Reconfigure new lighting in reading rooms, see TEC report	18400	sf	12.5	\$ 230,000
Relight historic stacks and stack mezzanines	15660	sf	8	\$ 125,280
Update Main Lower Level				\$ -
Add comprehensive wayfinding package at ADA area	1	ls	18000	\$ 18,000
Replace light fixtures in Main	2000	sf	12.5	\$ 25,000
Relocate photo art at LSW (moving cost)	1	all	4200	\$ 4,200
Redesign lighting for stairway	1	all	15000	\$ 15,000
Remove low wall between ADA ramp and corridor, replace with open rail or glass	140	sf	80	\$ 11,200
Signage or art for private doorways	17	ea	1200	\$ 20,400
Dampen noisy HVAC	1	all	15000	\$ 15,000
Create flexible system for exhibits in existing cases to remain	12	ea	300	\$ 3,600
Replace existing exhibit lighting with new LED	200	lf	300	\$ 60,000
Mural for elevator wall	50	sf	100	\$ 5,000
Improve lighting on stairs up to lobby in Main	2	ea	15000	\$ 30,000
Change glass door near graphics to avoid unfriendly signage	1	ea	2500	\$ 2,500
Subtotal				\$ 1,886,313

General Conditions				
Change glass door near graphics to avoid unfriendly signage	1	ea	2500	\$ 2,500
Subtotal				\$ 1,886,313
General Conditions				
Supervision	7	mo	5000	\$ 35,000
Office Trailer	7	mo	2000	\$ 14,000
Temp Utilities	7	mo	500	\$ 3,500
Porta Pit	7	mo	300	\$ 2,100
Final Clean	34369	sf	0.1	\$ 3,437
Trash removal	7	mo	450	\$ 3,150
Contractor Staging Area	1	all	5000	\$ 5,000
Daily Cleaning	7	mo	1000	\$ 7,000
Subtotal				\$ 73,187
Soft Costs & Mark-ups				
Permit	1	ls	6000	\$ 6,000
Bond	1.5%		1965499	\$ 29,482
Contractor Overhead & Profit	8%		1994982	\$ 159,599
Construction Escalation	2%		2154580	\$ 43,092
Design Contingency	20%		2197672	\$ 439,534
Construction Contingency	5%		2637206	\$ 131,860
Subtotal				\$ 809,567
Total				\$ 2,769,067

Phase 2 Budget and Timeline

At the level of investigation inherent to this study, the budgeting is a conceptual opinion based on the recommendations and inspirations to date, most of which remain conceptual in nature. The intent is to establish a way forward with an understanding of the rough order of magnitude probable cost between phases.

It should be noted that these budgets include two broad kinds of costs: those which are necessary to achieve baseline consolidation goals, and those which are discretionary items which the design team has recommended to achieve the goal of making the Main Library a destination. Each phase will necessarily be reviewed prior to commencing, to establish the true scope of work appropriate to the current realities at inception of each phase of work.

The spreadsheet documents specific ideas that have an associated construction or installation cost, some of which are easier than others to quantify. These do not include what is referred to as 'soft' costs, which are design fees, moving costs, loose furniture and equipment, administrative and legal fees, etc. The construction costs are totaled, and standard overhead and profit margins are applied, with escalation as can be anticipated at this time. This phase total construction cost is then used to establish the baseline budget, or the low end of the potential budget range as outlined. The soft costs are added to this as a percentage range, based on relevant soft cost ranges for projects of similar scope.

The timeline is established as a product of the probable construction cost for each phase, as a calculated ratio of cost over time. Actual timelines can vary depending on the final approved scope, as the smaller the project the shorter the timeframe.

The conceptual construction budget for Phase 2:

\$2,770,000 - \$3,050,000

The total conceptual project budget for Phase 2, including soft costs:

\$3,878,000 - \$4,270,000

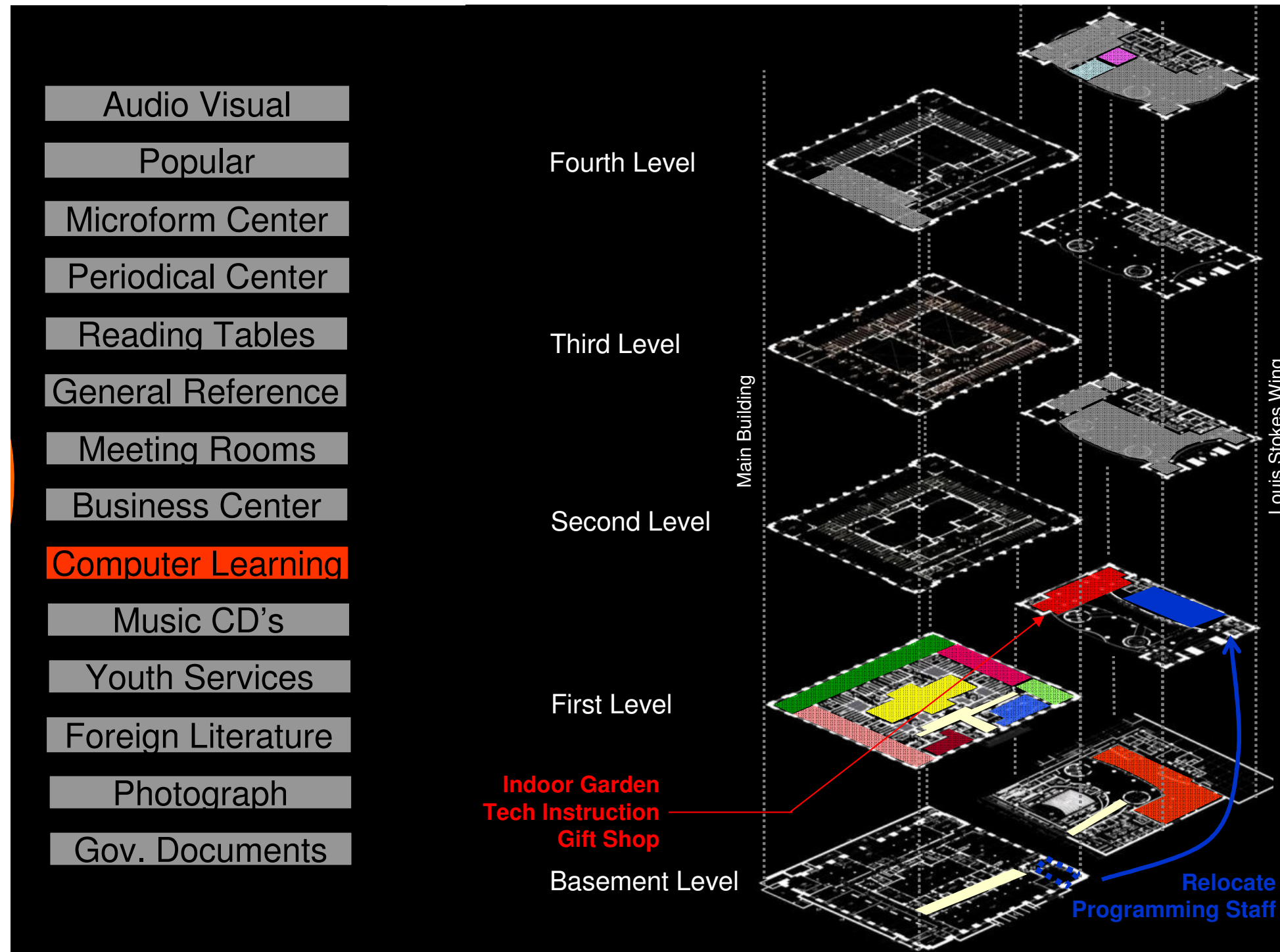
The conceptual construction timeline for Phase 2:

18 to 21 months

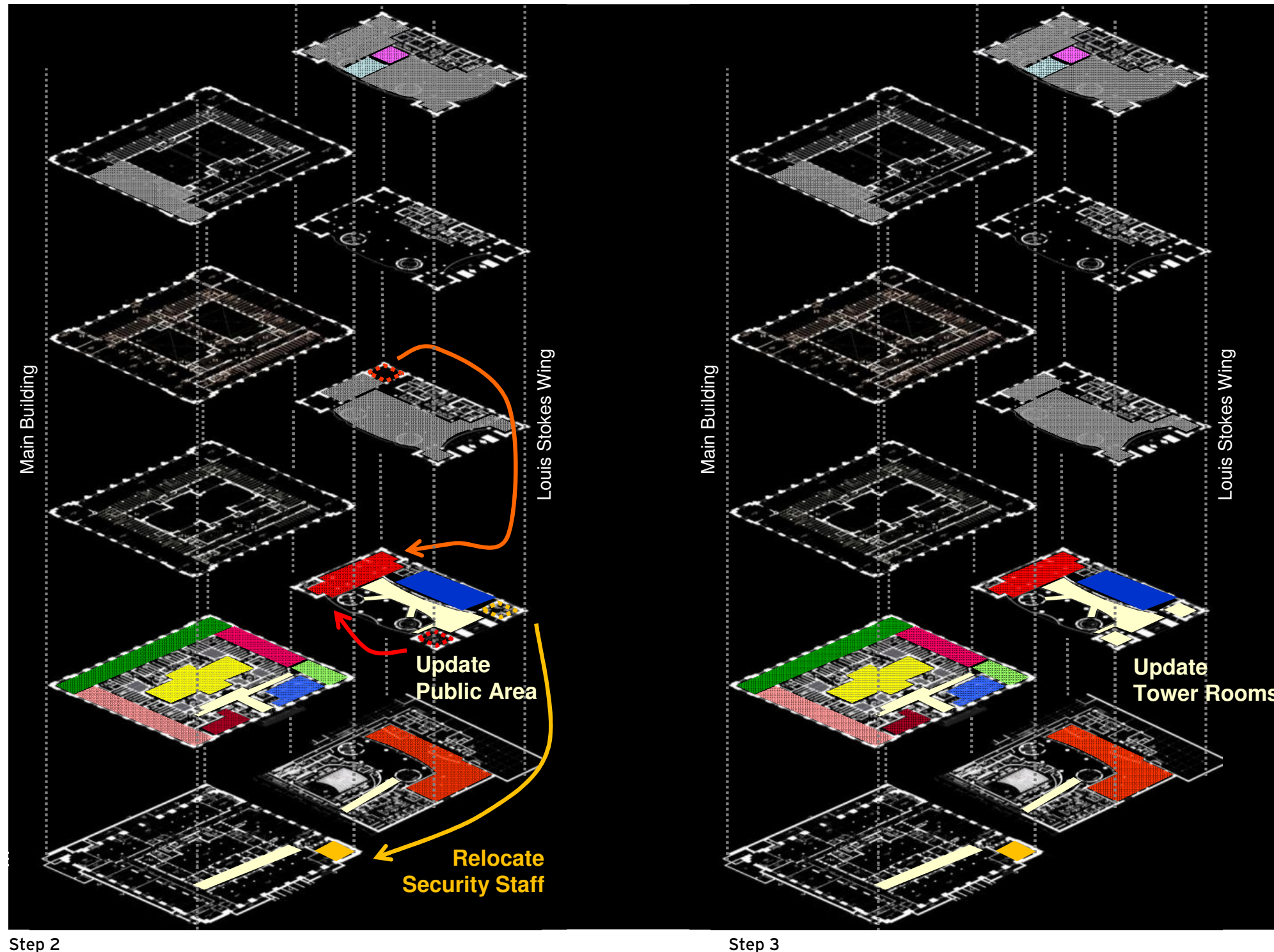
The total conceptual timeline for Phase 2, including design and implementation:

28 to 30 months

Recommendations
Phase 3 - First Floor Louis Stokes Wing



Step 1



First Floor Louis Stokes Wing

The Third Phase of work will be the first floor of the Louis Stokes Wing, which will also include a new entrance experience. In addition, as this phase adds a new experience at the entrance level of the Louis Stokes Wing to the completed first floor of the Main Building and Tech Central, proposed work on the exterior of the building should be considered, so in addition to the first floor of the Louis Stokes Wing, recommendations for the exterior of the campus are included in this phase.

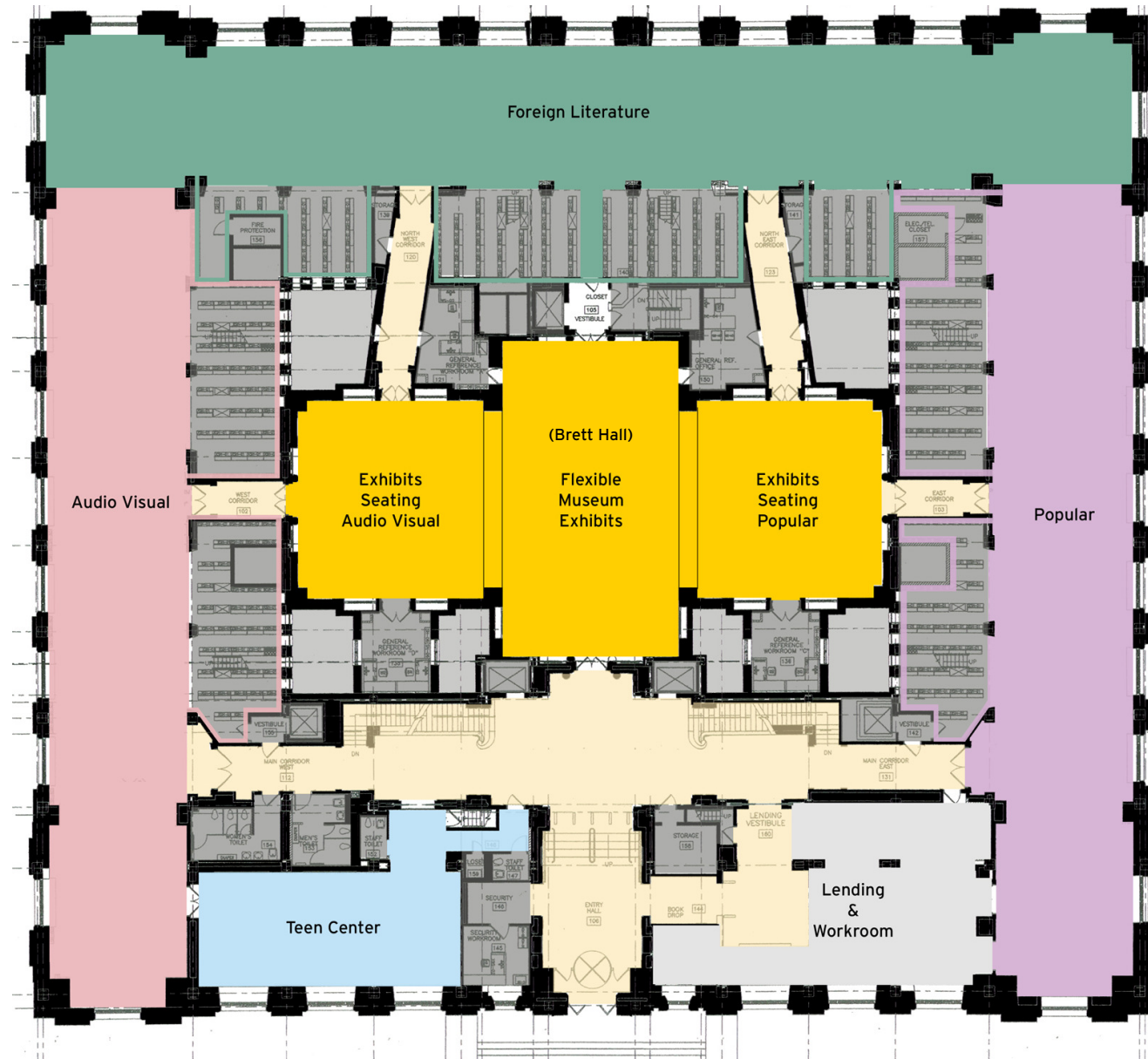
As the main accessible entrance to the Main Library, this phase has similarly high public visibility, and similar to the first floor of the Main Building is a strong candidate for engaging funding partners. This phase should be undertaken with the full participation of new community partners who are interested, willing and in appropriate support of your mission.

Phasing

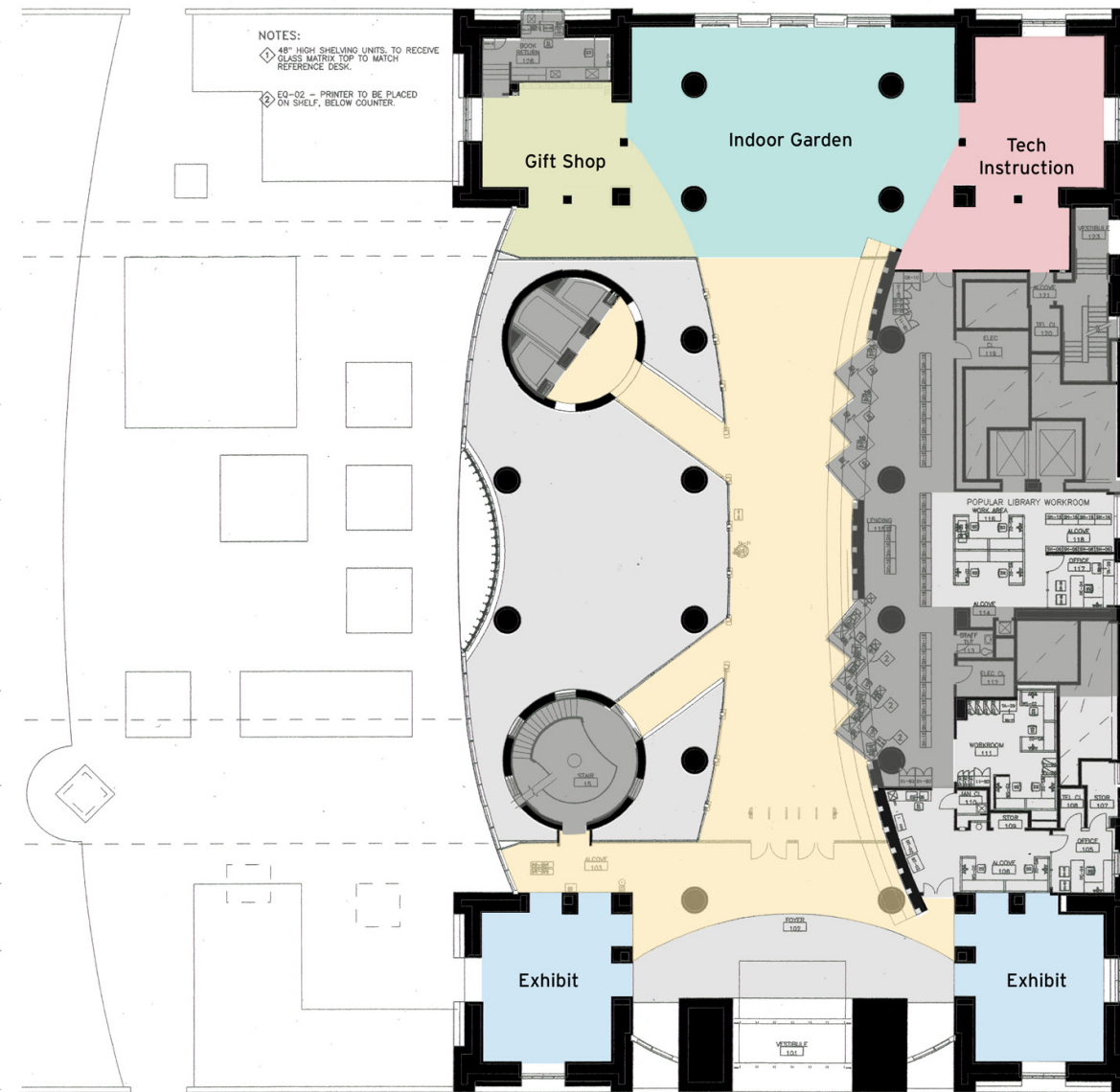
Several steps are required to allow this transformation, and as with previous phases, we've documented the steps required to achieve this phase in close collaboration with the library:

1. With the temporary home of the Audio-Video department vacated, this space can be renovated to prepare for its future use as the spaced identified as the 'Indoor Garden,' the Friends' Gift Shop and Tech Instruction. Additionally, programming staff can move from Room 38 in the lower level of the Main Building to the area behind the circulation desks in the Louis Stokes Wing, vacated by the Popular Collection staff and the Lending staff.
2. Tech Instruction, the Gift Shop and the new Indoor Garden can be created in the newly renovated areas, while the public areas along the main walking path can be upgraded. The Security offices located in the southeast tower room adjacent to the entrance, can relocate to the vacated Room 38 in the lower level of the Main Building.
3. The two front tower rooms and the main entry hall can be renovated to complete the phase.

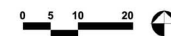
Recommendations
Phase 3 - First Floor Louis Stokes Wing



Main Building
 *Work here occurred in previous phase



Louis Stokes Wing





Seating Arrangement



Seating with Appropriate Lighting



Visual Display at Cleveland State University



Example of Tech Instruction

Architectural Recommendations

The entrance experience will be changed, through several physical and programmatic interventions. First the security desk, a large presence upon entry, will be minimized and moved to avoid blocking the path to a newly open east tower room. This desk will be redesigned, perhaps to engage the first blue column to your right upon entry. Opposite will be a greeter station, staffed for questions and orientation.

The west tower room, formerly the gift shop, will also be renovated. The tower rooms together will tell the story of the library, of Louis Stokes and possibly Cleveland and the region. In order to accomplish this, the doorway to the Eastman Reading Garden will be relocated from the west tower room to the short hallway where the pay phone and change machine reside today.

The space will be re-lit, as glare from the visible light source complicates an already visually active space. Through light, or art, or color, or a combination, the vestibule will be designed to draw your eye up to the windows above, looking into the future Discovery Center for Families and Children. The soffit below these windows will be enhanced with a welcoming, inspirational message. The entire floor will benefit from new lighting as outlined below, which will increase comfort and reduce the glare of the existing sources. A use will be designed for the custom glass shields, either as future decorative lighting elements or art installation.

A comprehensive wayfinding and signage design should be implemented to more intuitively inform and orient visitors. Along the west edge of the main walkway, adjacent to the glass rails, we propose to add small areas of casual seating with carpets, to soften the noise in the space and provide an area for casual meetings or just reading. This can be considered an extension of the Indoor Garden concept. Opposite, some of the existing desks will require re-purposing, so that the lower levels of circulation anticipated don't create an 'empty' feeling at the staff area.

Recommendations Phase 3 - First Floor Louis Stokes Wing

The connection between this entry level and the gathering space outside of the Louis Stokes Auditorium below is critical. We understand that an original design included escalators which were reconsidered and never installed. Ideally a stair outside of the concrete enclosed fire stair could be added, however the cost for this may be prohibitive. In lieu of a new stair, enhancing the existing fire stair through the introduction of a light or sound installation may provide an interesting experience that brightens the space and encourages its use. The ‘airspace’ above the floor in the two-story space has an occasional exhibit or installation, and this kind of temporary exhibit should continue to be encouraged in the future to provide renewed interest over time.

At the north end of the first floor, the new Gift Shop will be outfitted with appropriate retail fitting and fixtures, and will be more visible with an adjacency to the ‘Indoor Garden’ lounge space centered on the walkway ahead. This room will be a comfortable, casual and flexible room, ideal for lunch hours – or for meeting, reading, or events any time. The Tech instruction space will move down from the same location above on the second floor, with more room and better alignment of furniture and technology. This location will allow more visitors to be aware of what is offered, and anyone in the indoor Garden can see how the tech space is being used.

The exterior of the campus is as great an asset as it is a challenge. The buildings are significant architecturally, but in many ways this very fact makes them intimidating in a way that may detract from the goal of maximizing visitorship. First, the campus needs to be identified as such, in an effort to visually and literally connect the series of buildings and spaces. Marking the corners and creating compelling, bold graphics to identify the library is an important step in orienting your visitors. Next is a secondary sign at each entrance that informs and clarifies what can be expected inside each building.

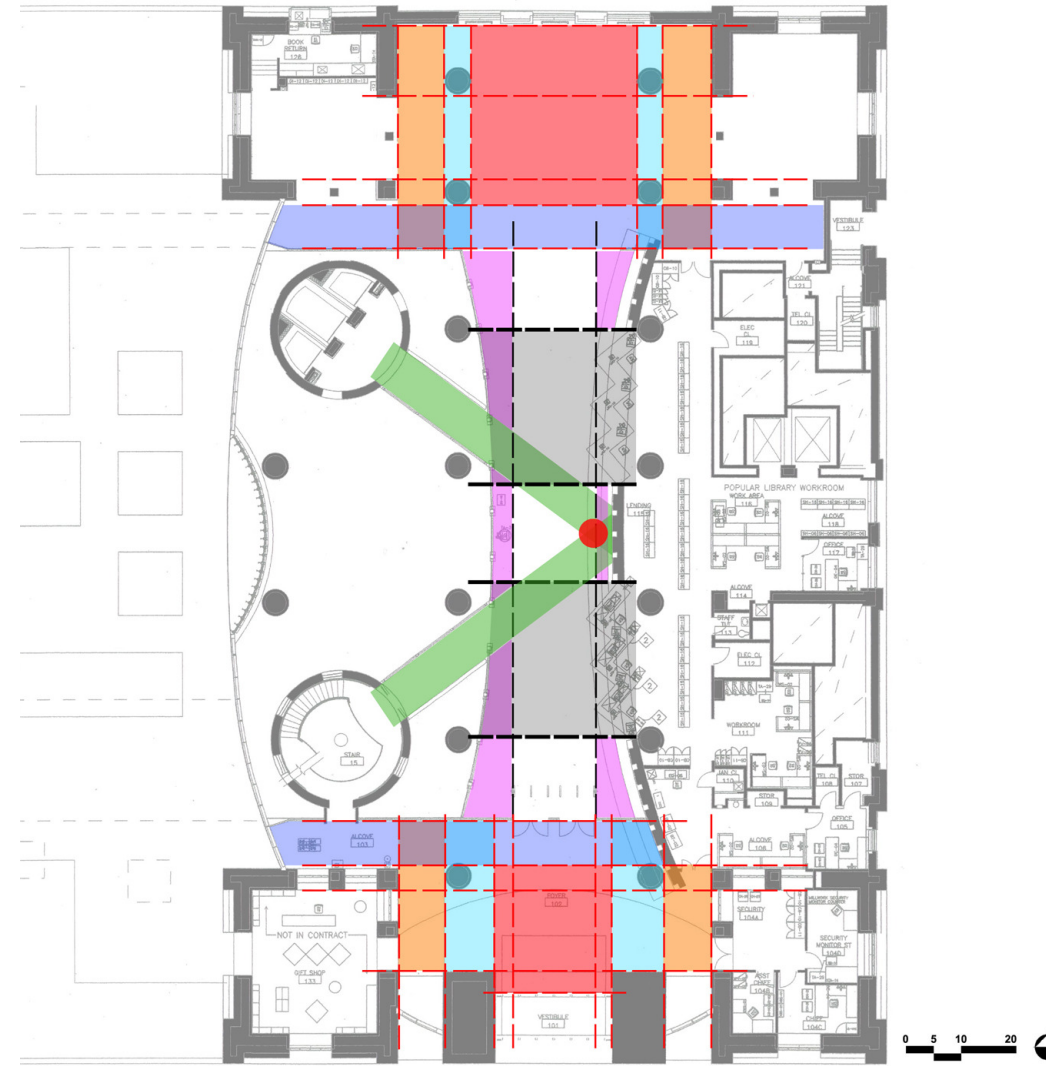


Diagram of Floor Plan

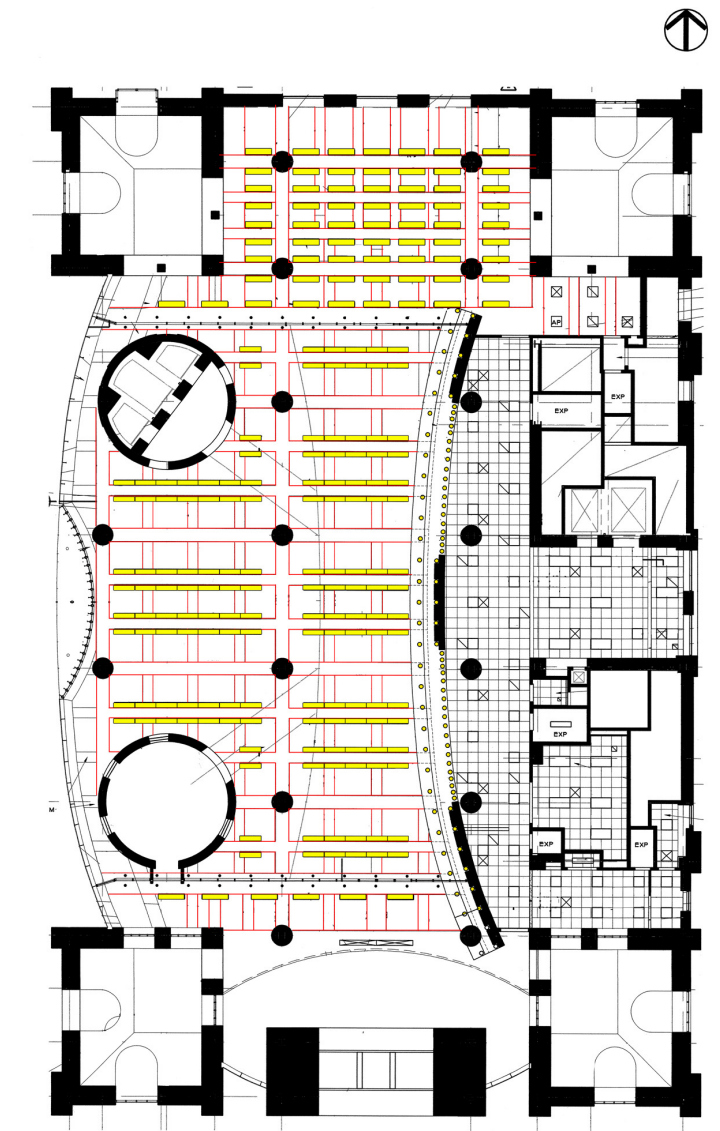


Diagram of Ceiling Plan

The streetscape is an opportunity to further enhance the exterior presence, and should be designed in close conjunction with the future Mall Plan designs. Eastman Reading garden is a successful urban garden, but access to it and its gated entrance can be improved, especially from the north.

The large stone walls flanking the historic entrance at the Main Building may be an opportunity to create an iconic art presence, not unlike the lions at New York Public Library. A space at the Louis Stokes Wing exists in the form of recesses adjacent to the doorway as well. It has also been noted that the four corner towers of Louis Stokes were designed originally to receive iconic sculptural elements that were never realized.

A goal of the project was to find ways to ‘break down’ the visual impenetrability of the architecture. Several options can help accomplish this. First, and perhaps simplest, would be to add banners announcing what is inside, either generally or specifically for an exhibition or event. These can be located at corners and/or sensitively within the geometry of the architecture of both buildings’ elevations. There are dozens of precedents, including locally at the Cleveland Museum of Art. Lighting possibilities would be designed in conjunction with these, see also below for additional lighting opportunities. More technologically oriented would be to infill the currently passive exterior display enclosures on the Superior Avenue with interactive, touch-screen technology, which can announce events, inform and/or allow passersby to search the catalogue and reserve materials, among other possibilities. Another idea was inspired by a recent installation at Lincoln Center in New York City, where electronic ‘blades’ of video were installed outside, literally showing off what is possible or actually happening at that moment inside.

Each elevation of the Main Building and the Louis Stokes Wing presents many windows and an equal number of opportunities to have something on the interior be seen on the exterior, showcasing library services, collections or events.

A more practical and straightforward enhancement would be to add a small canopy at the exterior drive-up window, to provide cover for the driver-side window during transactions.

A last, and certainly not least, topic related to the exterior experience is the challenge of parking. It is beyond the scope of this study to propose or resolve how intuitive, convenient and affordable parking may be provided for the Main Library, however the adjacent mall and development and required parking needs for that project provide a new opportunity to open an active dialogue. Regardless, this factor remains a challenge to be tackled.

Lighting Recommendations

Louis Stokes Building 1st Floor

In the Lobby, the existing custom surface mounted fluorescent luminaires will be removed. New fluorescent or ceramic metal halide luminaires will illuminate the space and match the lighting used in the Lower Level for consistency. Lower wattage versions may be used as light levels may need to be varied. The existing halogen lighting in the red tower and rail will be removed. We will explore options for re-lighting with a longer life source. The small surface mounted orbs mounted to the curved openings on the tile walls will be removed, either new lighting that is more appropriate (and does not buzz) will be installed, or the existing will be modified for energy conservation. We will coordinate display lighting with either locking adjustable luminaires for permanent installation or case mounted lighting for changeable installations. Seating areas will be defined by additional accent lighting in the space.

The new relocated Gift shop lighting will be renovated to confirm to a more “retail” oriented application where merchandise can be highlighted and “pop” out from the general lighting in the area. All luminaires will be 3500K fluorescent or 3000K Ceramic Metal Halide.

The Indoor Garden space will be re-lit with new fluorescent or ceramic metal halide luminaires as appropriate to the space planning. Existing luminaires will be removed.

The lighting in the areas currently used as the gift shop and security office will be removed and new lighting more appropriate to an exhibit space will be installed. The lighting will allow general illumination as well as adjustable accent for the potential changeable displays.

The new Tech Instruction area will be relit to meet the new task requirements of the space and to match the change in design scheme being implemented on this floor.

Louis Stokes Building Main Elevator Lobby

The Elevator Lobby is currently lit by wall mounted fluorescent sconces that do not aid in the wayfinding into that floor space. There is no additional accent light on the signage for occupants in this area.

Recommendations

Phase 3 - First Floor Louis Stokes Wing

Louis Stokes and Main Building Exterior

Proposed exterior illumination may include the following options:
Low wattage Ceramic Metal Halide (3000K) to illuminate proposed banners attached to both buildings would be the first priority.

Refurbishing the Gothic looking Mercury Vapor wall sconces currently located in the lower level of the Stokes building to be installed on the exterior façade to tie into the sconces used on the Main building.

A review of the existing “band” lighting on the Stokes building to see if it could be refurbished (if necessary) and used or review the possibility for new surface mounted light pipe product at varying heights to match the architectural features similar in scale on the Main building. The product could be white or dynamic color changing depending on budget allowances and desired effect. See attached image.

Possible use of color-changing LED luminaires to wash the building façade of the Main Building may also be considered which could be timed or sequenced to ones in the Stokes building. See attached image.

The Stokes building could also incorporate interior LED white or color-changing product mounted to the interior of the building at window locations to create a pattern shining thru the glass to pedestrians on the street.

Additional spotlight luminaires used to highlight the architectural features of both buildings in a similar fashion.

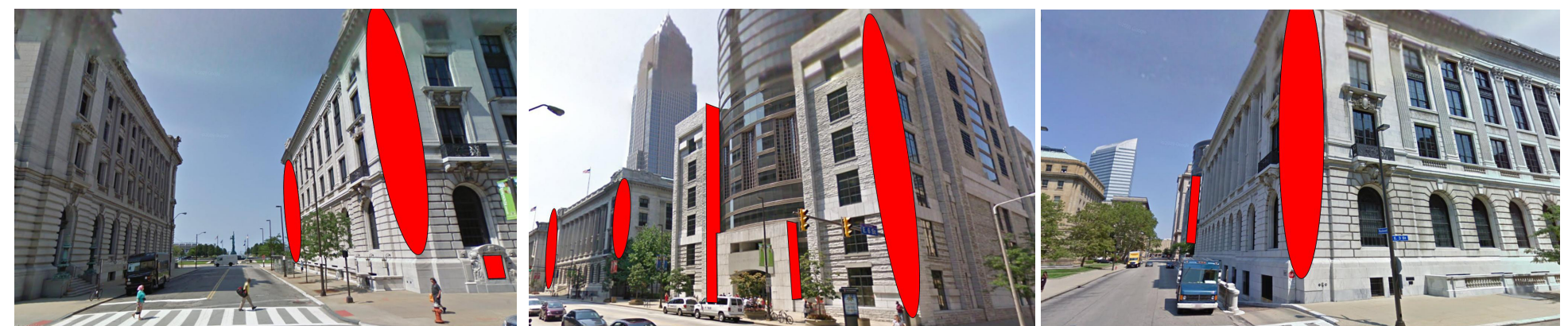
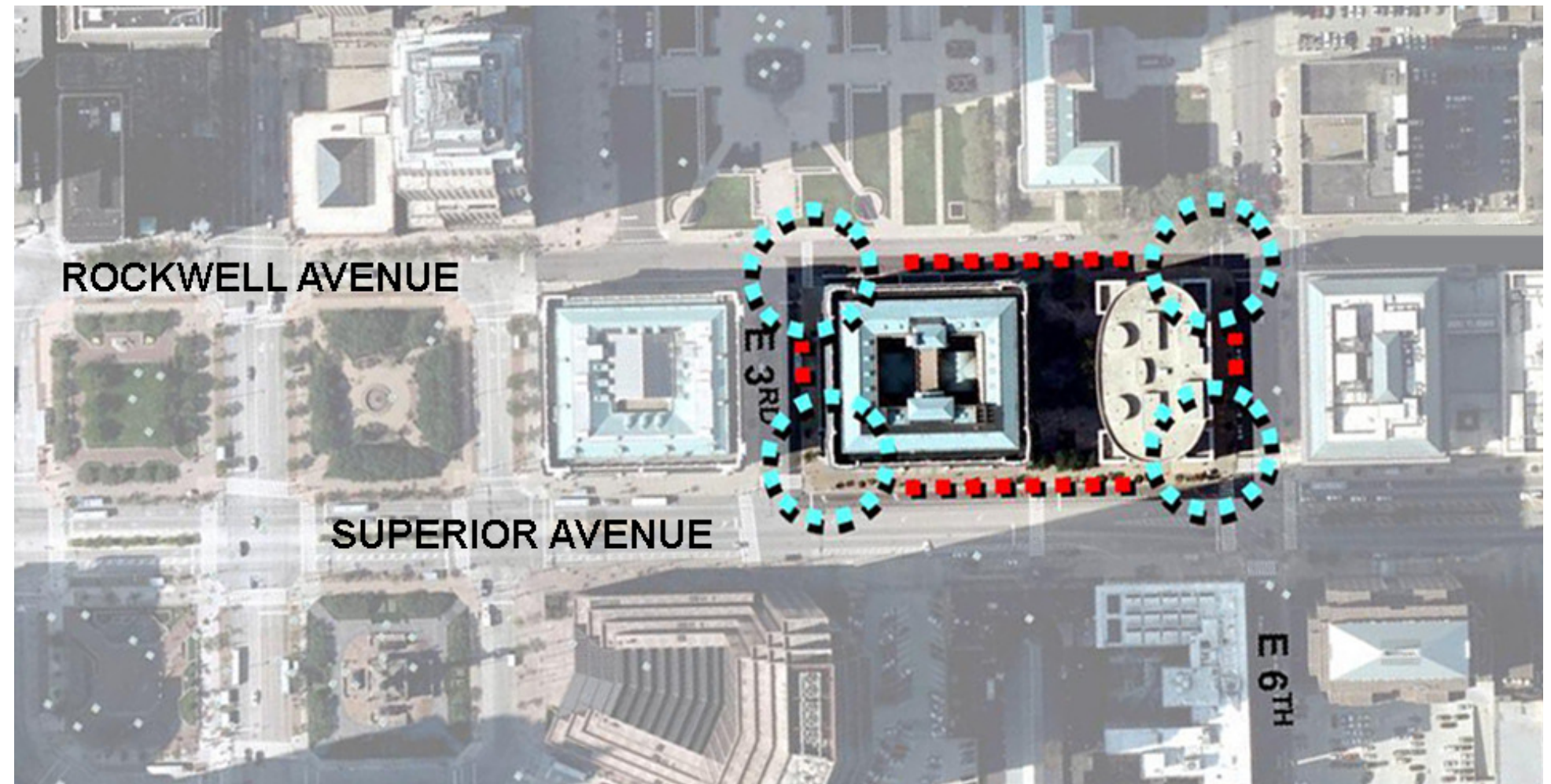
HVAC, Plumbing and Fire Suppression Recommendations

Existing HVAC, fire suppression and plumbing systems shall remain, except where noted below.

Rework existing fire suppression system serving the new Tech Instruction Room, Gift Shop and Indoor Garden.

Rework existing air distribution and controls serving new Gift Shop and Indoor Garden.

Consider either reworking existing HVAC system or installing new dedicated chilled water cooling/steam heating air handling unit to serve new Tech Instruction Room. If a new unit is required, it shall be located in the Lower Level Mechanical Area.



Opportunities for Signage



Digital Display



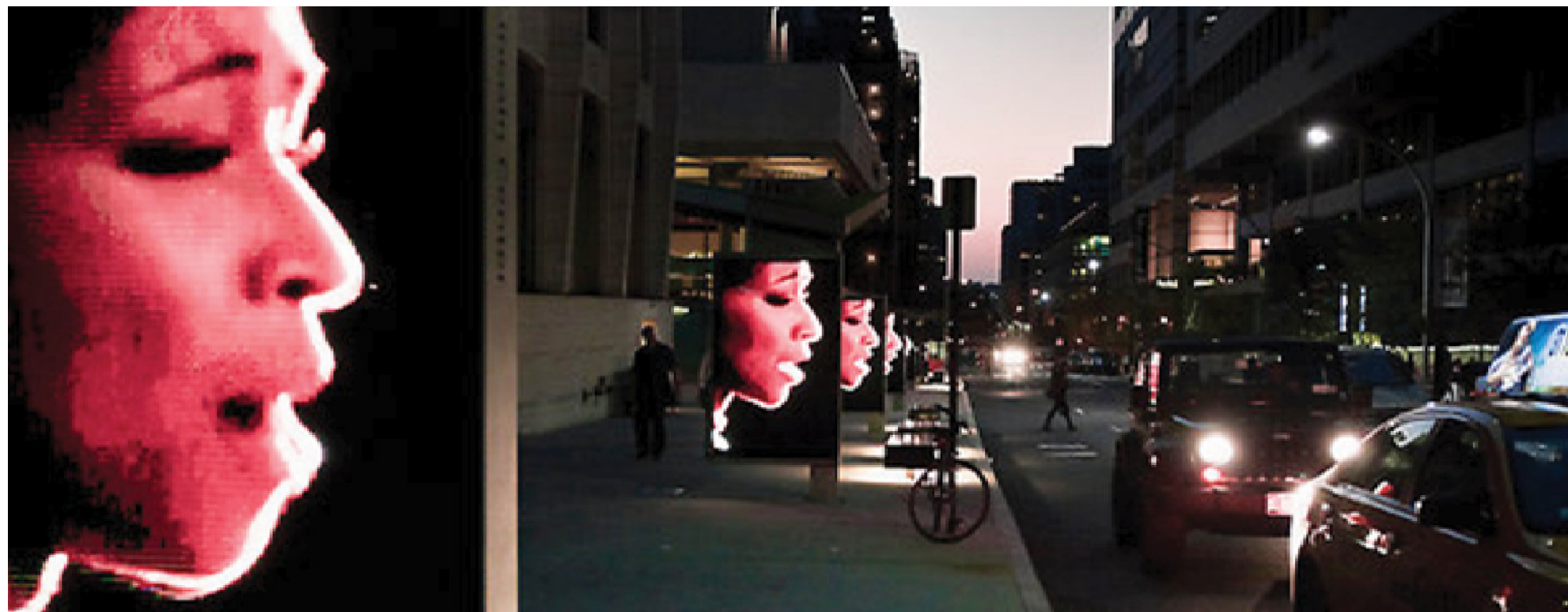
Examples of Appropriate Signage

Electrical and Information Technology Recommendations

The existing power and data systems will remain existing at the locations not changing. Additional power and technology will be provided at the incoming kiosk and at the new security office. Core drilling can be used to install power and tele/data in the Tech Instruction, Indoor Garden, and Gift Shop areas. Demolition of the gift shop and security office in the front of the vestibule will be required and the purpose of the space defined.

If a new HVAC system is installed to serve the Tech Instruction Room, this power can be supplied from the panel boards in the lower level electrical room.

All new circuiting and lighting controls will be provided throughout these areas to accommodate the lighting narrative.



Media Display

Recommendations

Phase 3 - First Floor Louis Stokes Wing

Louis Stokes and Main Building Exterior Lighting

Proposed exterior illumination may include the following options:

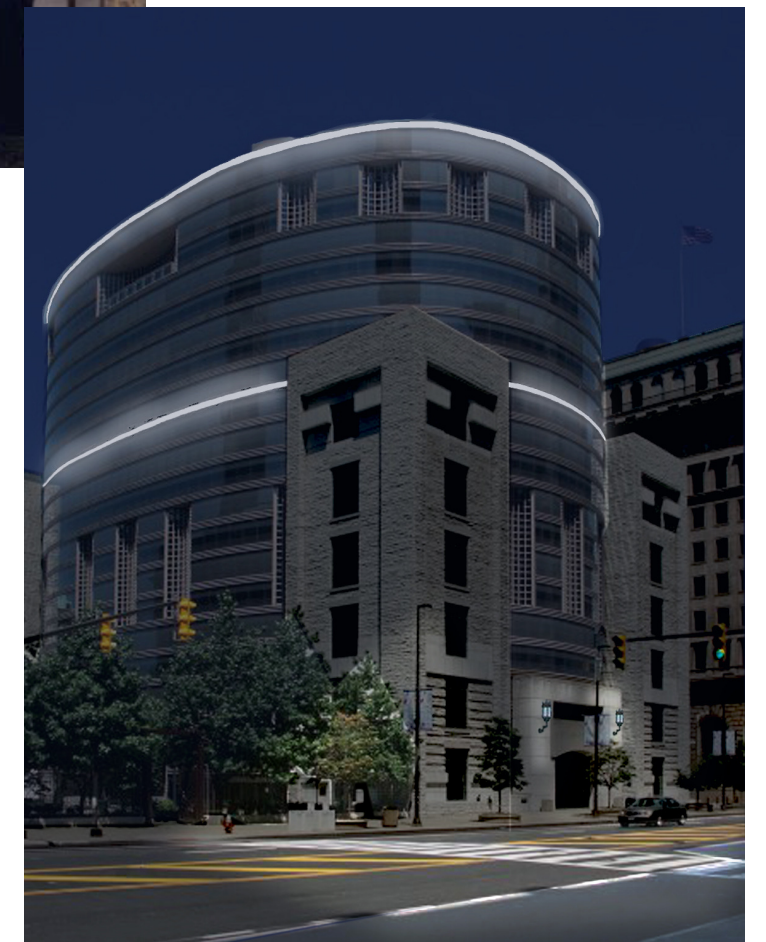
1. Low wattage Ceramic Metal Halide (3000K) to illuminate proposed banners attached to both buildings would be the first priority.
2. Refurbishing the Gothic looking Mercury Vapor wall sconces currently located in the lower level of the Stokes building to be installed on the exterior façade to tie into the sconces used on the Main Building.
3. A review of the existing “band” lighting on the Stokes building to see if it could be refurbished (if necessary) and used or review the possibility for new surface mounted light pipe product at varying heights to match the architectural features similar in scale on the Main building. The product could be white or dynamic color changing depending on budget allowances and desired effect. See attached image.
4. Possible use of color-changing LED luminaires to wash the building façade of the Main Building may also be considered which could be timed or sequenced to ones in the Stokes building. See attached image.
5. The Stokes building could also incorporate interior LED white or color-changing product mounted to the interior of the building at window locations to create a pattern shining thru the glass to pedestrians on the street.
6. Additional spotlight luminaires used to highlight the architectural features of both buildings in a similar fashion.



Cleveland Court House



Cleveland Court House

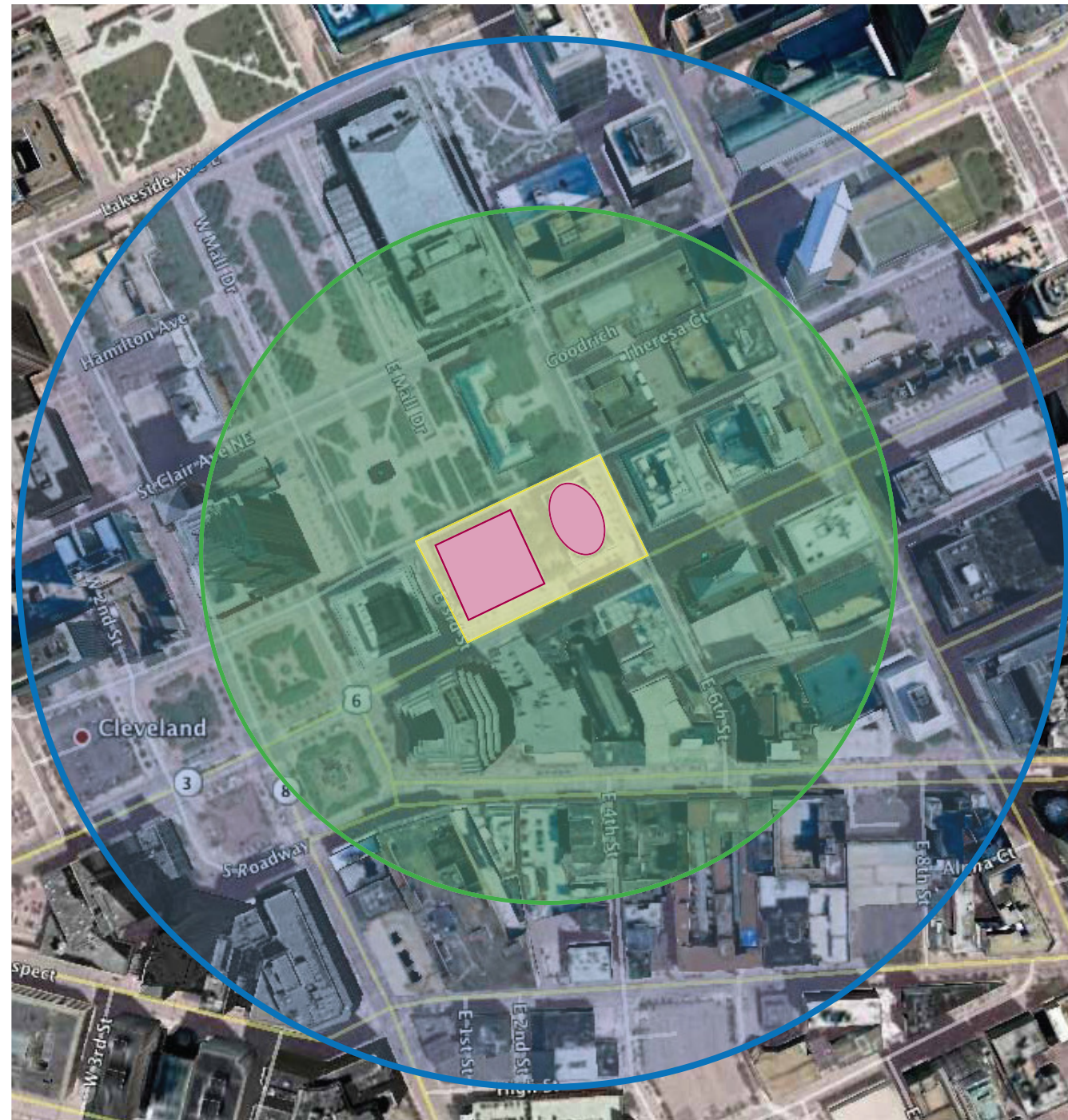


Lighting Potential

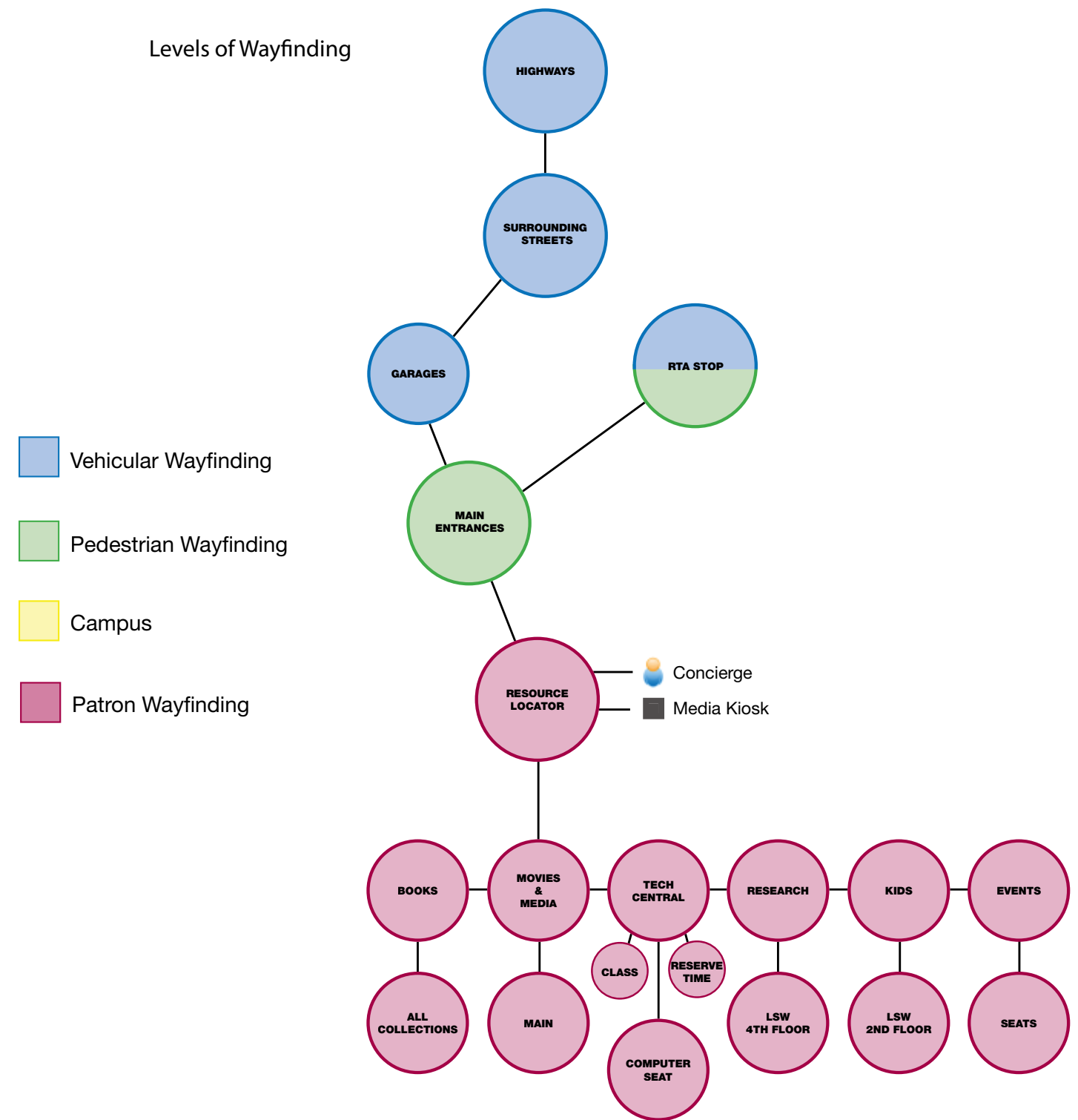
Wayfinding

Orientating visitors has been a challenge at the Main Library, complicated further with the expansion in the 1990s. As noted in the existing conditions observations and elsewhere in recommendations, the campus of buildings inherently requires intuitive, easily seen graphics to assist with currently confusing orientation issues. With relocated programs and new destinations, the ability to promote these services and guide new visitors easily to them is critical. The design team recognizes that this investment needs to be justifiable in the context of the consolidation, however this particular design effort would strengthen an observable, acknowledged weakness in the current campus environment.

Recommendations
Phase 3 - First Floor Louis Stokes Wing



Levels of Wayfinding



Inspirations: Exterior Lighting



Inspirations: Pedestrian Sidewalk Perimeter



Destinations rely on the built environment. Encompassing a city block, but without any unique elements that mark the campus, does not allow the visitor to connect the Main Building with the Louis Stokes Wing, and define a campus of fabulous resources.

If the Cleveland Public Library (CPL) is going to achieve its goal of moving from its current position of delivering services to providing experiences, and thus becoming a destination – one first has to find it!

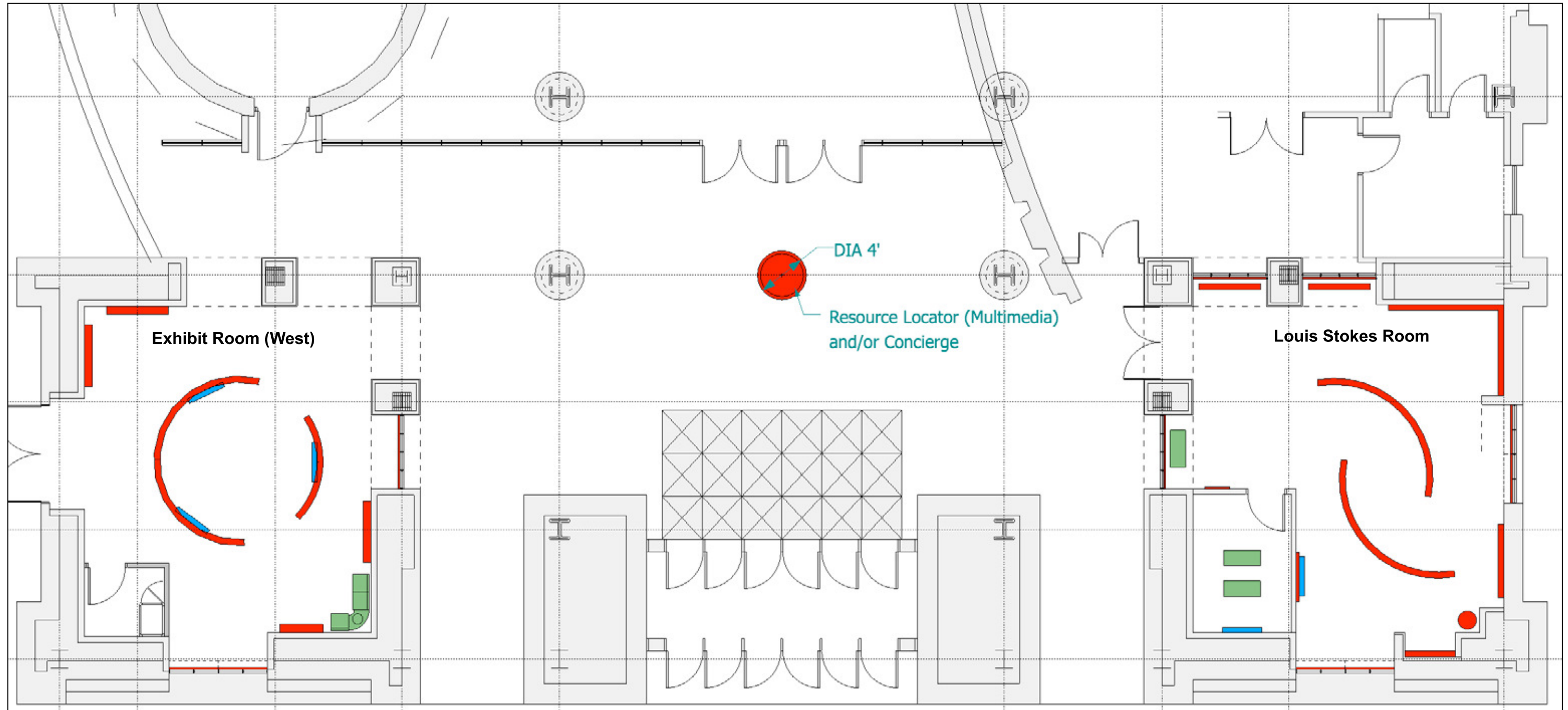
Understanding the various levels of arrival and ultimate destinations is part of a wayfinding investigation.

In order to create a wayfinding strategy, where new signage is a primary solution, we need to perform an assessment of the site, map circulation and define various routes to destinations within the campus. The process will yield an audit of the current signage (signs to be updated, replaced or removed) as well as nomenclature that is used inconsistently throughout the site.

Designing routes for the visitor to easily follow will be supported by signage. Signs are the means to an end. Traditional signs conveying messages and other visual devices force the visitor along the route. In addition, electronic messaging, multimedia touchscreen kiosks and other integrated devices will also support wayfinding solutions for CPL.

Recommendations
Phase 3 - First Floor Louis Stokes Wing

- Exhibits
- Multimedia
- Furniture



Main Entrance



Inspirations



Visitors to the Cleveland Public Library enter through the main entrance, move through two sets of glass doors, past a security desk and the gift shop into the LSW lobby. There isn't an experience that engages them – as there is a passive monitor and an inconsistently populated concierge station.

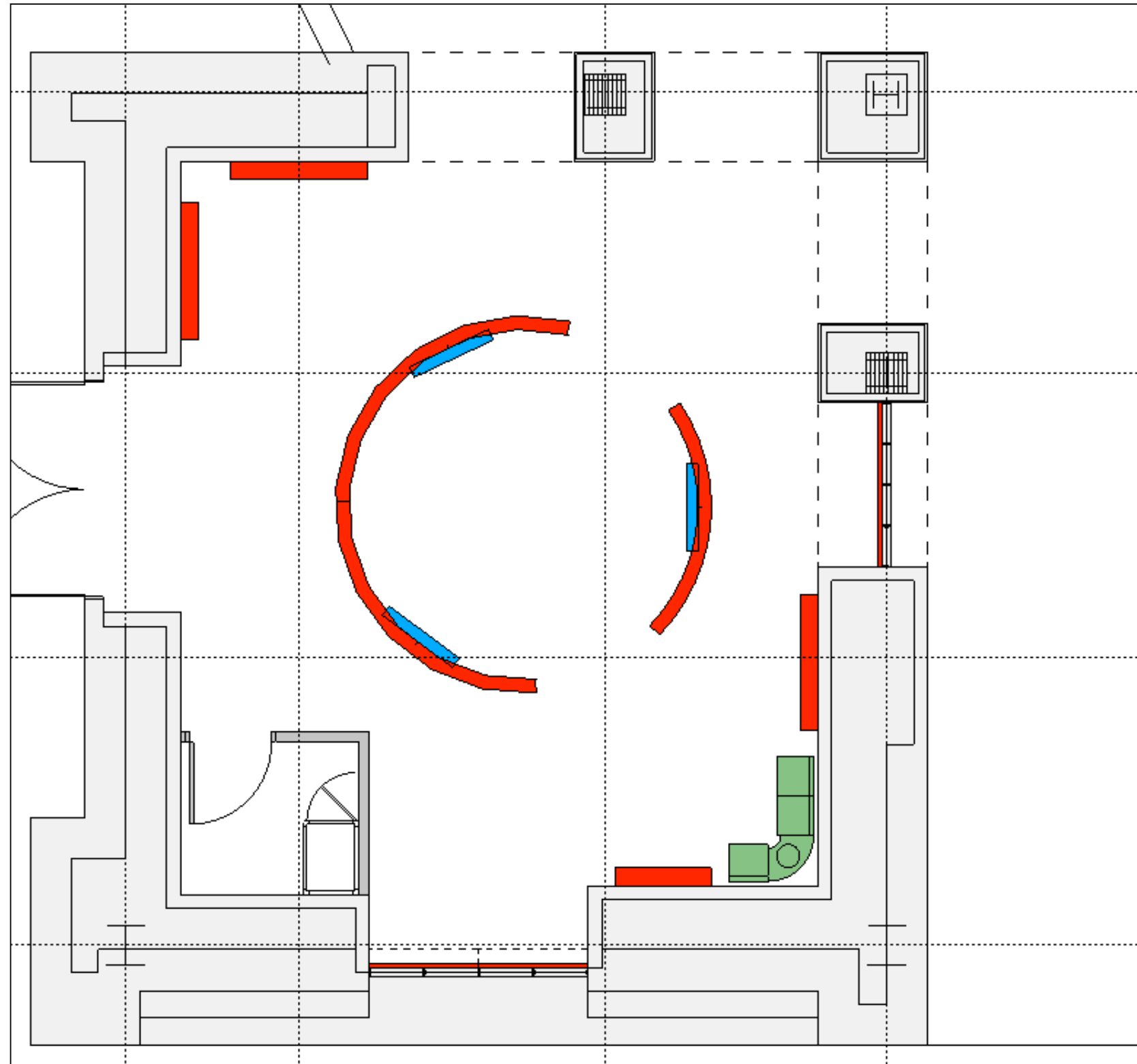
Through a combination of our recommended interior changes that take advantage of the two-story area and the curved soffit above (i.e. new lighting, an art installation and potential media projections), the visitor begins to be immersed in LSW upon entering the space.

To increase the level of visitor participation, we are proposing the following changes:

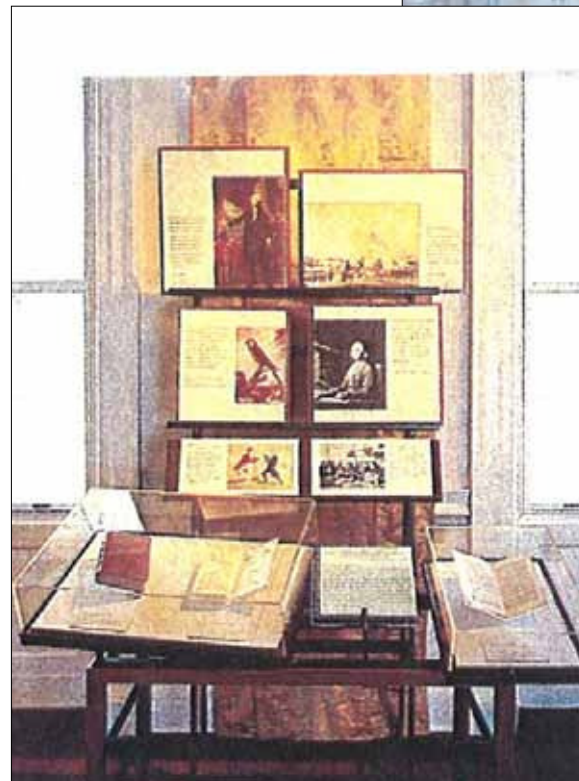
- Locating an animated, interactive “Resource” kiosk in the primary space aligned with the columns. It would provide a wealth of information, including the ability to reserve time on a computer in the new Tech Central.
- Considering a part-time CPL concierge, whose station could be integrated with the kiosk. This individual might populate the area only at “peak times” and during scheduled events.
- Transforming the current security office and gift shop into educational, active exhibit spaces where the visitor can become immersed in the CPL environment:
 - “The Louis Stokes Room” could contain exhibits tracing the history of the Stokes family, memorabilia, the wonderful portrait of Louis Stokes; an overview of CPL and LSW and feature rotating pieces from the CPL collections; and multimedia opportunities.
 - “The Exhibit Room (west)” could contain:
 - A summary of the history of the City of Cleveland, its leaders, how CPL fits into the history.
 - An area explaining the Eastman Reading Garden and featuring natural seasonal changes info.
 - A rotating display of themed photos from the CPL Photography Collection.

The goal is to present CPL as a more active place where visitors experience CPL in a more interactive way. This will shift the emphasis of CPL being a service-provider to being an experience provider. In turn, this will enhance the relevancy of CPL and help to expand its audiences.

Recommendations
Phase 3 - First Floor Louis Stokes Wing



Inspirations



Located in the heart of downtown Cleveland since 1925, it is fitting to present CPL's history within the context of our city. This new exhibit room could pay homage to CPL and the City of Cleveland. The circular exhibit form invites the viewer to walk the perimeter where a graphic timeline positions both histories in highlights.

In the middle of the circular form there could be three multimedia opportunities:

- One of the interactive screens would allow for downloading of digital media
- New Arrivals and What Cleveland's Reading could be accessed on one of the monitors
- Calendar of Events, Upcoming Classes and Collection Highlights could also be available on one of the monitors

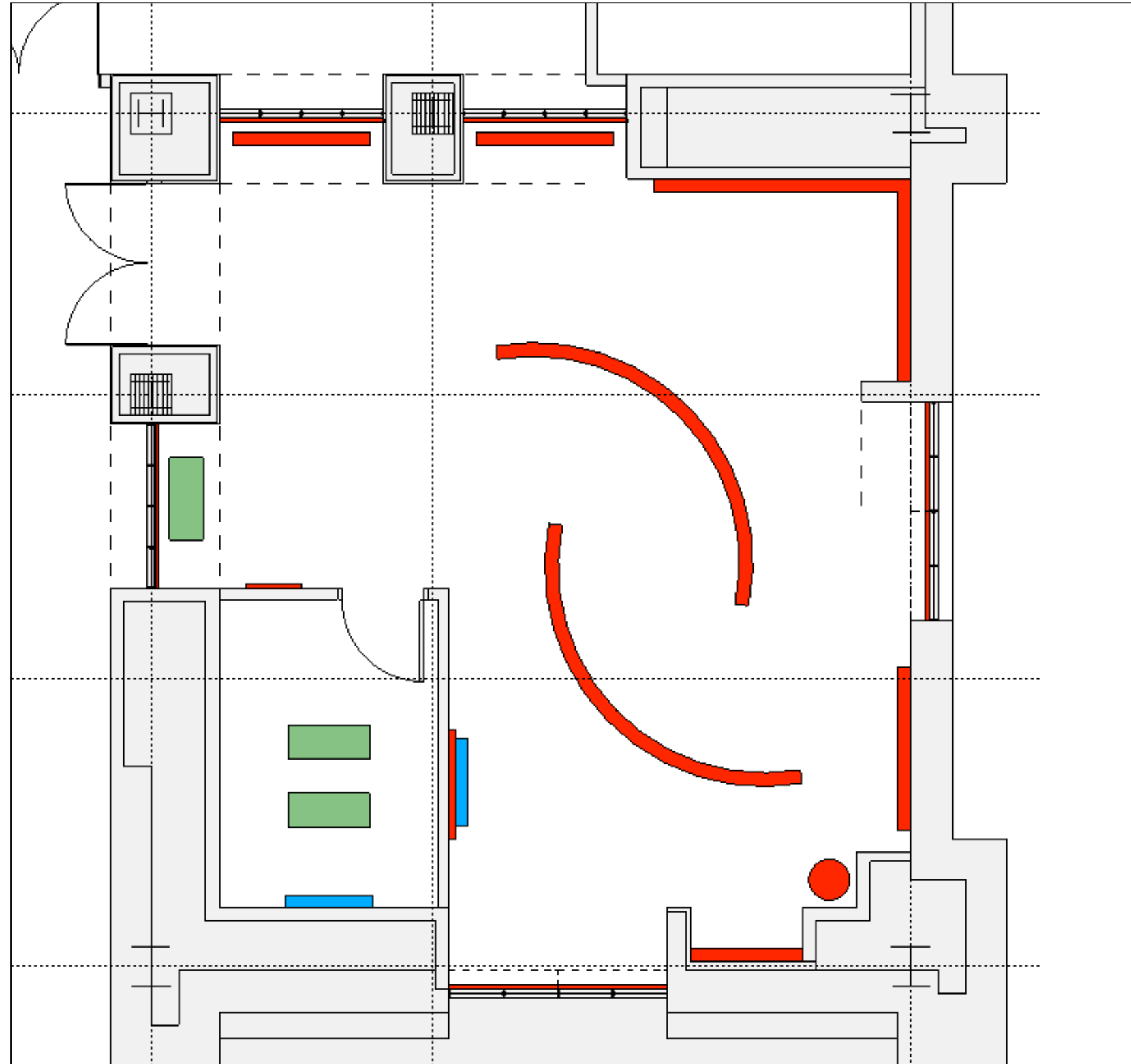
As an entranceway to the Eastman Reading Garden, a brief history could be positioned to the right of the doors leading to the garden. As seasonal changes affect that environment, changeable panels featuring flora and fauna to observe and notice puts the visitor in a more active role.

The far corner allows for seating and is flanked with a secure display case system, properly lit to protect and feature photographs from the CPL collection.

All the windows in the space could contain transparent graphics or backlit graphics.

The Superior Ave. window could be transformed into a large format through-window touch interactive experience. This would provide a level of participation by the pedestrian that is nowhere else in downtown Cleveland.

Recommendations
Phase 3 - First Floor Louis Stokes Wing



- Exhibits
- Multimedia
- Furniture

Inspirations



This building is named after a Cleveland native, who is part of an iconic family, and was an impactful leader in the U.S. Congress for 30 years. He and his brother, Carl, were responsible for a number of “firsts” as African Americans. It is important to provide an area where visitors, especially children, can learn about Louis Stokes.

This exhibit room could be named after Louis Stokes. In LSW there are cases of memorabilia and a wonderful portrait – all could be relocated in a more prominent way.

An intimate media room could present the WVIZ/PBS Ideastream interview with Dee Perry and/or the mini-documentary, “Carl and Louis Stokes From the Projects to Politics”.

Two, curved exhibit walls provide an introduction to CPL, highlighting it being ranked as one of the top five libraries in the country. An introduction to resources and collections located in LSW and the Main Library also reside on the curved walls.

Two areas of display cases would allow for rotating exhibits from the LSW and the Main Library.

An additional piece of interactive multimedia designed for younger audiences is located on the adjacent wall of the multimedia room.

All the windows in the space could contain transparent graphics. If possible, the two windows facing Superior Ave and E. 6th St. would have backlit graphics.

The Superior Ave. window could be transformed into a large format through-window touch interactive experience. This would provide a level of participation by the pedestrian that is nowhere else in downtown Cleveland.

Recommendations
Phase 3 - First Floor Louis Stokes Wing

Description	Quantity	Unit	Unit Price	Total
CPL Main Library Reconfiguration Phase 3: Indoor Garden - Interior Improvements				
Step 1				
LSW 1st Floor - Main Lower Level				
Relocate Programming Staff from Room 38 to LSW 1st Floor	2200			
Update former Popular Reading area / Temporary AV area, LSW 1st Floor	1800	sf	8	\$ 14,400
Replace all existing bare fixture lighting	3653	sf	12.5	\$ 45,663
Design a re-use for the custom glass light fixture shields				\$ -
New carpet in N end LSW 1st Floor	406	sy	35	\$ 14,206
Step 2				
LSW 1st Floor - Main Lower Level				
Relocate Popular Reading for Gift Shop, 'Indoor Garden' and Computer Instruction	3653			
Replace existing signage with comprehensive wayfinding graphics				
relocate security to Room 38	1408			
Update public areas other than front tower rooms (terrazzo & paint):	6000	sf	37	\$ 222,000
Remove all clutter from entrance				
Relocate access to Eastman Reading Garden (new door)	1	ls	10000	\$ 10,000
Relocate pay phone and change machine	1	ls	2500	\$ 2,500
Provide simple, clear message at entrance soffit	1	ls	2500	\$ 2,500
Redesign greeter station (bid drawings & spec's)	1	ls	15000	\$ 15,000
Redesign and minimize security desk (bid drawings & spec's)	1	ls	15000	\$ 15,000
Add lighting and/or artwork installation to draw attention up to 2 nd floor glass	1	ls	35000	\$ 35,000
Replace all existing bare fixture lighting	6000	sf	12.5	\$ 75,000
Design a re-use for the custom glass light fixture shields	1	ls	12000	\$ 12,000
Remove inadequate exhibit cases, add carpet, furniture at walkway	800	sf	10	\$ 8,000
Provide a new circular stair to lower level of Louis Stokes Wing (monumental)	250	LF-tread	500	\$ 125,000
Add light and/or art and/or sound installation in existing stair	10	ea flr	4000	\$ 40,000
Use 'airspace' above two story space as exhibit, lighting or art opportunity	4145	sf	10	\$ 41,450
Re-purpose circulation desks for lighter circ duty (500 sf)	100	lf	200	\$ 20,000
Fix lighting over circulation, stop the buzzing	500	sf	12.5	\$ 6,250
Replace lighting above two story space, add additional lighting to highlight revisions	4145	sf	12.5	\$ 51,813
Subtotal				\$ 755,781
General Conditions				
Supervision	7	mo	5000	\$ 35,000
Office Trailer	7	mo	2000	\$ 14,000
Temp Utilities	7	mo	500	\$ 3,500
Porta Pit	7	mo	300	\$ 2,100
Final Clean	11453	sf	0.1	\$ 1,145
Trash removal	7	mo	450	\$ 3,150
Contractor Staging Area	1	all	5000	\$ 5,000
Daily Cleaning	1	ls	7000	\$ 7,000
Subtotal				\$ 70,895

Soft Costs & Mark-ups				
Permit	1	ls	5000	\$ 5,000
Bond	1.5%		831676	\$ 12,475
Contractor Overhead & Profit	8%		844152	\$ 67,532
Construction Escalation	3%		911684	\$ 27,351
Design Contingency	20%		939034	\$ 187,807
Construction Contingency	5%		1126841	\$ 56,342
Subtotal				\$ 356,507
Total Interior Improvements				\$ 1,183,183

Description	Quantity	Unit	Unit Price	Total
CPL Main Library Reconfiguration Phase 3: Indoor Garden - Exterior Improvements				
Step 3				
LSW 1st Floor - Exterior				
Add exhibit in corner towers – on Louis Stokes and the library, and regional information	2	ea	95000	\$ 190,000
Exterior upgrades:				\$ -
Wayfinding: mark the corners of the Library Campus	4	ea	25000	\$ 100,000
Wayfinding: engaging graphics at each door, indicating function	2	ea	2000	\$ 4,000
Enhance streetscape opposite the building walls	1	ls	35000	\$ 35,000
Allow Eastman to visually engage the street sidewalk	1	all	25000	\$ 25,000
Create inviting crosswalk at N side of Eastman reading garden	100	lf	300	\$ 30,000
Artwork / statuary: on walls at Main, in recesses at LSW	1	ls	25000	\$ 25,000
Banners at corners of all towers, and sides of LSW entrance element for: Building identification, Exhibit identification, Event identification, Seasonal	12	ea	1200	\$ 14,400
Electronic 'Blades' featuring collections, programs, activities on the inside	4	ea	60000	\$ 240,000
Control Room for exterior media	2	ea	15000	\$ 30,000
Relocate historic fixtures at Louis Stokes Auditorium to exterior	2	ea	5000	\$ 10,000
Replace exterior display boxes with touch screen technology	2	ea	20000	\$ 40,000
New lighting at Main, highlight architectural features	5	poles	15000	\$ 75,000
Replace all existing lighting with Color LED lighting at LSW on glass	220	lf	300	\$ 66,000
Create interior signage or art or display that allows interior functions to be visible on exterior	1	ls	75000	\$ 75,000
Add canopy at drive-up services	200	sf	75	\$ 15,000
Subtotal				\$ 974,400
General Conditions				
Supervision	4	mo	5000	\$ 20,000
Office Trailer	4	mo	2000	\$ 8,000
Temp Utilities	4	mo	500	\$ 2,000
Porta Pit	4	mo	300	\$ 1,200
Trash removal	4	mo	450	\$ 1,800
Contractor Staging Area	1	all	5000	\$ 5,000
Daily Cleaning	1	ls	7000	\$ 7,000
Subtotal				\$ 45,000
Soft Costs & Mark-ups				
Permit	1	ls	1000	\$ 1,000
Bond	1.5%		1020400	\$ 15,306
Contractor Overhead & Profit	8%		1035706	\$ 82,856
Construction Escalation	3%		1118562	\$ 33,557
Design Contingency	20%		1152119	\$ 230,424
Construction Contingency	5%		1382543	\$ 69,127
Subtotal				\$ 432,270
Total Exterior Improvements				\$ 1,451,670

Phase 3 Budget and Timeline

At the level of investigation inherent to this study, the budgeting is a conceptual opinion based on the recommendations and inspirations to date, most of which remain conceptual in nature. The intent is to establish a way forward with an understanding of the rough order of magnitude probable cost between phases. It should be noted that these budgets include two broad kinds of costs: those which are necessary to achieve baseline consolidation goals, and those which are discretionary items which the design team has recommended to achieve the goal of making the Main Library a destination. Each phase will necessarily be reviewed prior to commencing, to establish the true scope of work appropriate to the current realities at inception of each phase of work. The spreadsheet documents specific ideas that have an associated construction or installation cost, some of which are easier than others to quantify. These do not include what is referred to as 'soft' costs, which are design fees, moving costs, loose furniture and equipment, administrative and legal fees, etc. The construction costs are totaled, and standard overhead and profit margins are applied, with escalation as can be anticipated at this time. This phase total construction cost is then used to establish the baseline budget, or the low end of the potential budget range as outlined. The soft costs are added to this as a percentage range, based on relevant soft cost ranges for projects of similar scope.

The timeline is established as a product of the probable construction cost for each phase, as a calculated ratio of cost over time. Actual timelines can vary depending on the final approved scope, as the smaller the project the shorter the timeframe.

The conceptual construction budget for Phase 3 (interior work only):

\$1,185,000 - \$1,300,000

The total conceptual project budget for Phase 3 (interior work only), including soft costs:

\$1,660,000 - \$1,820,000

The conceptual construction budget for exterior work recommended in Phase 3:

\$1,452,000 - \$1,600,000

The total conceptual project budget for exterior work recommended in Phase 3, including soft costs:

\$1,743,000 - \$1,920,000

The total conceptual project budget for ALL work recommended in Phase 3, including soft costs:

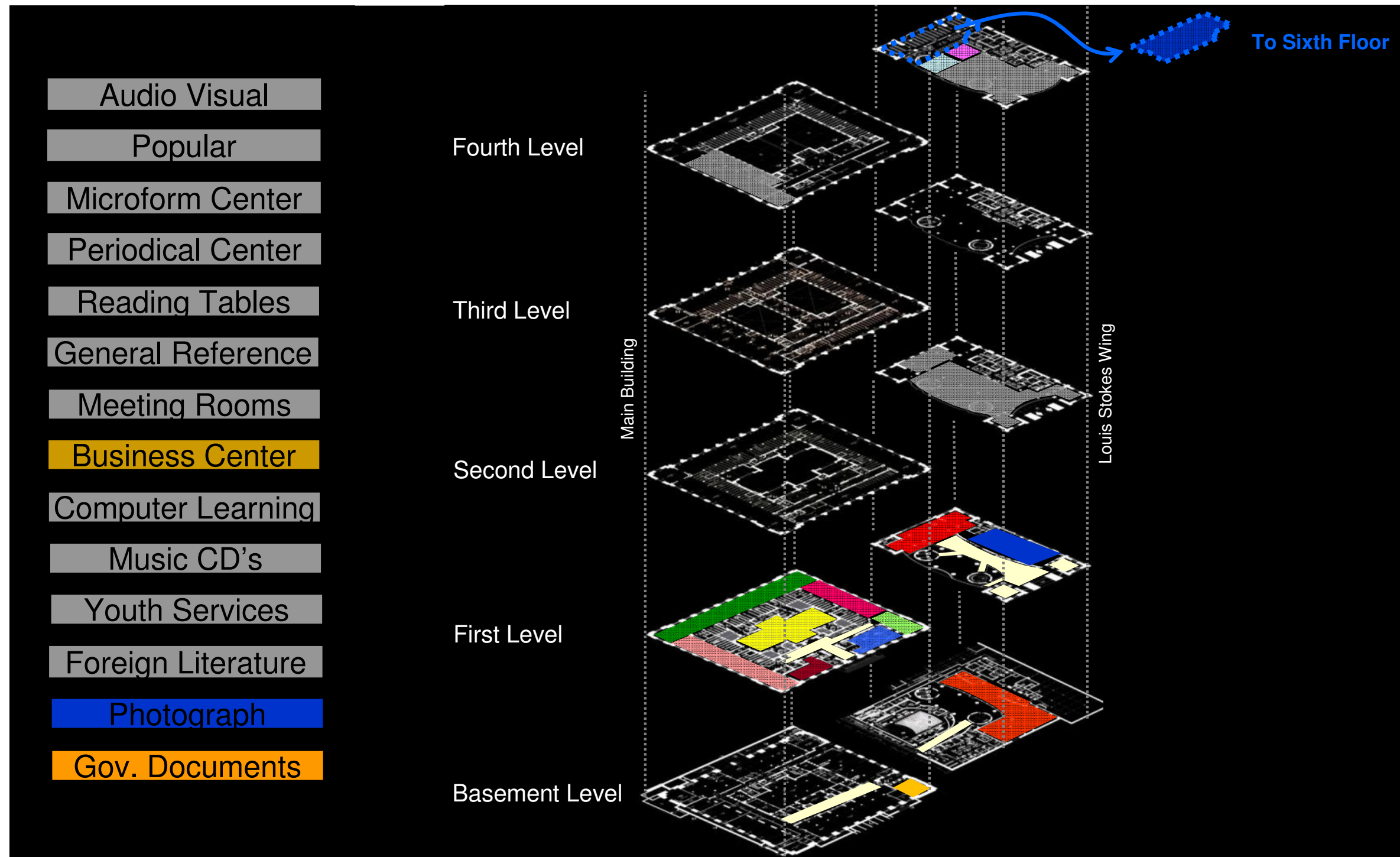
\$3,403,000 - \$3,740,000

The conceptual construction timeline for Phase 3 (assumes all work happens simultaneously):

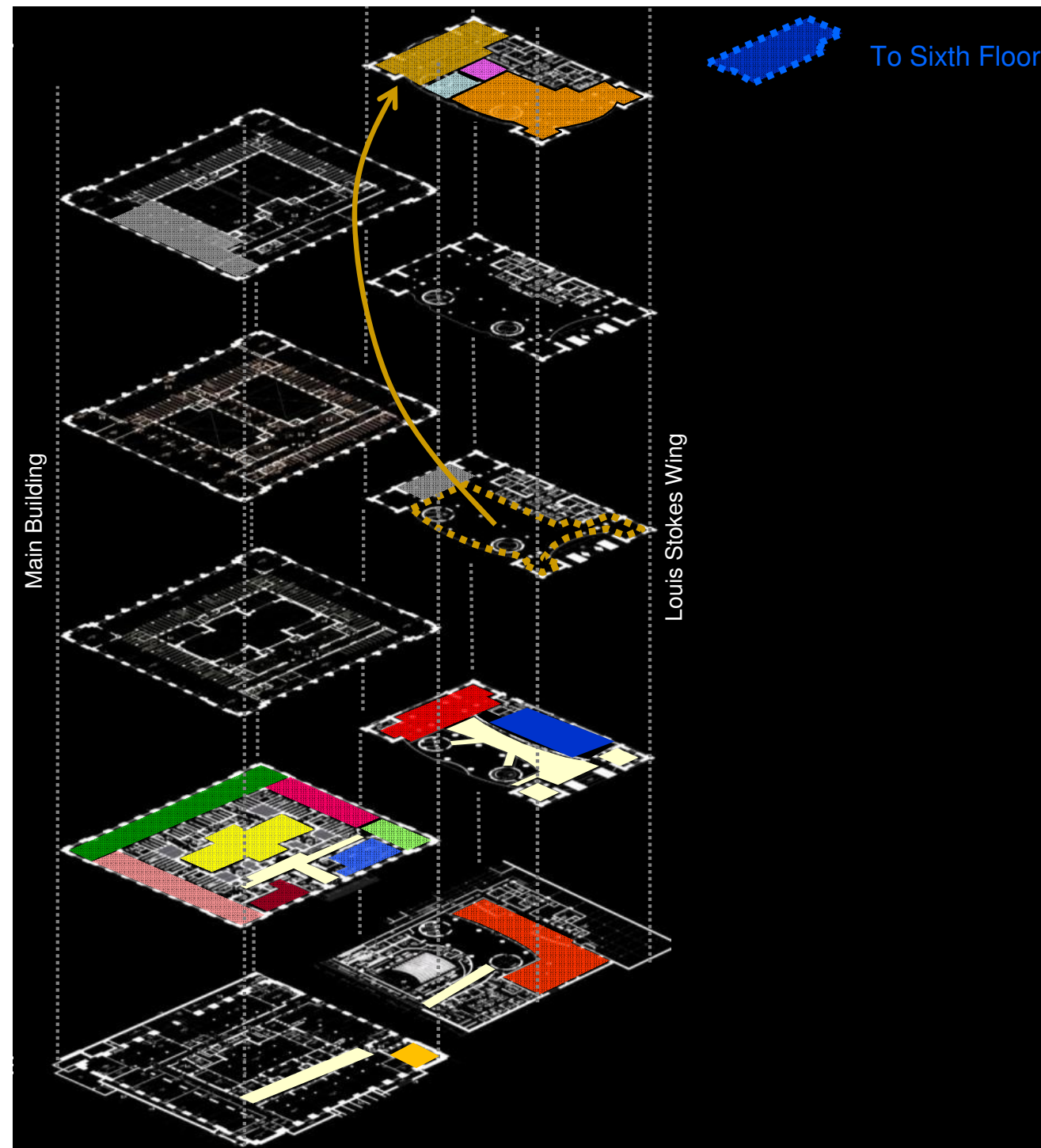
8 to 12 months

The total conceptual timeline for Phase 3, including design and implementation:

14 to 18 months



Step 1



Step 2

Research Center

The Fourth Phase of work will create the research hub for Main Library. This floor will house a new combination of General Reference, Business, Economics and Labor, Microform, and Government Documents, combined to be called the Research Center.

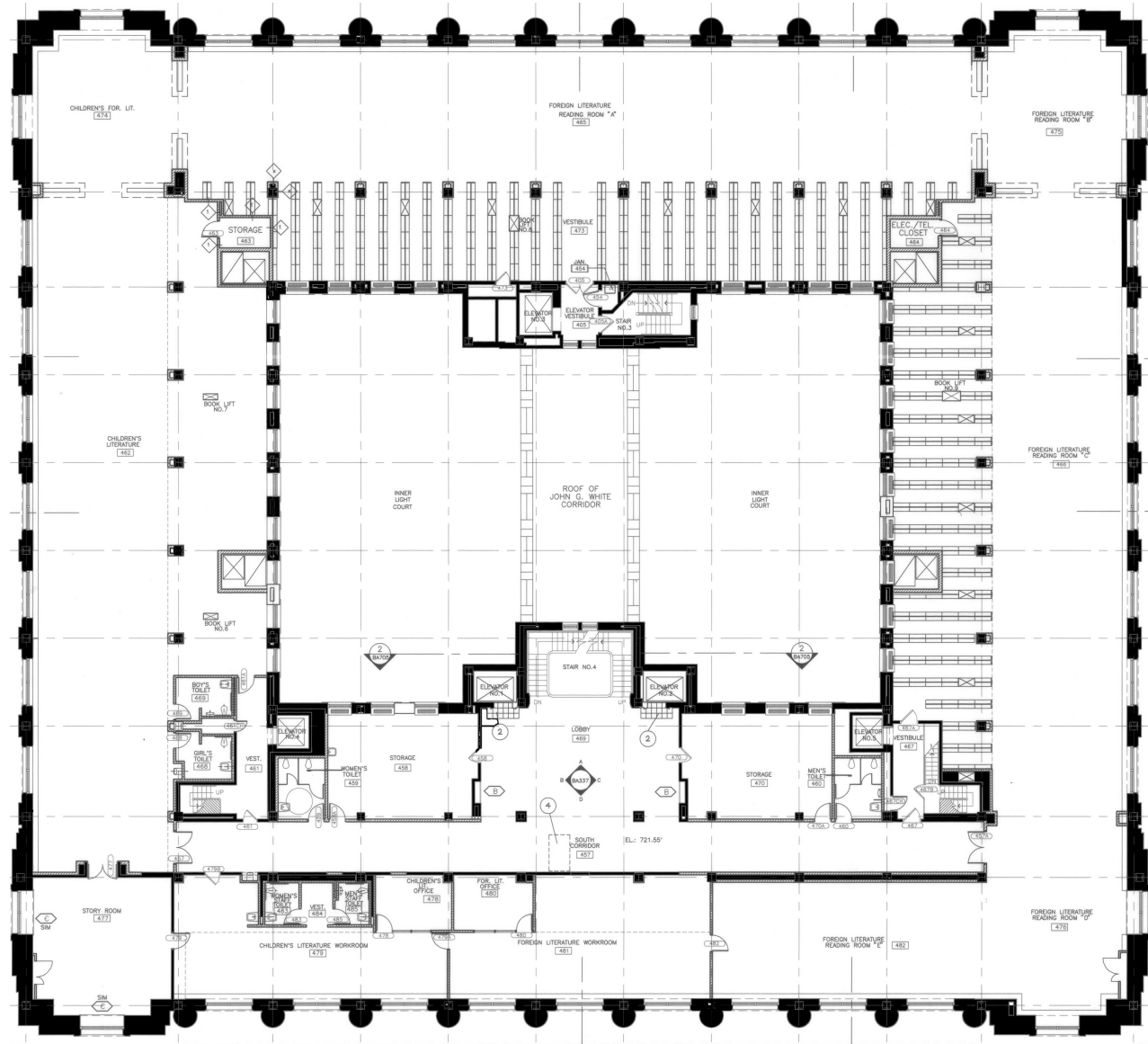
While the fourth floor of the Louis Stokes Wing has less public visibility than previous phases, it remains a candidate for engaging the right funding partners. This phase should be undertaken with the full participation of targeted community partners, possibly corporate partners who are interested, willing and in appropriate support of your mission.

Phasing

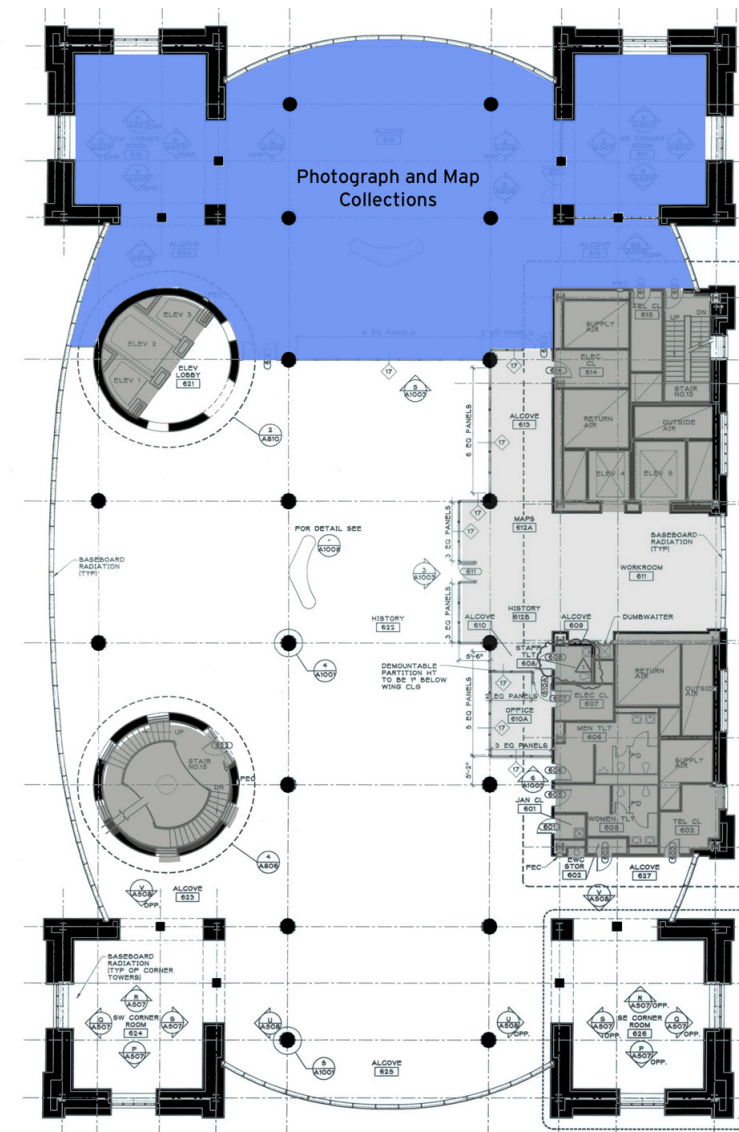
Only two steps are required to allow this phase to be complete, and we've documented the steps required to achieve this phase in close collaboration with the library:

1. The sixth floor will consolidate the Maps Collection in order to make room for the Photograph Collection to co-locate on the sixth floor. After relocating the photographs, the northwest tower room may be enclosed to further secure the most valuable pieces in the collection.
2. Once this is complete, the entire fourth floor can be renovated and reconfigured as the Research Center. This mostly requires the careful reuse of existing or modified shelving, and expanding the work area and service point.

Recommendations
Phase 4 - Research Center

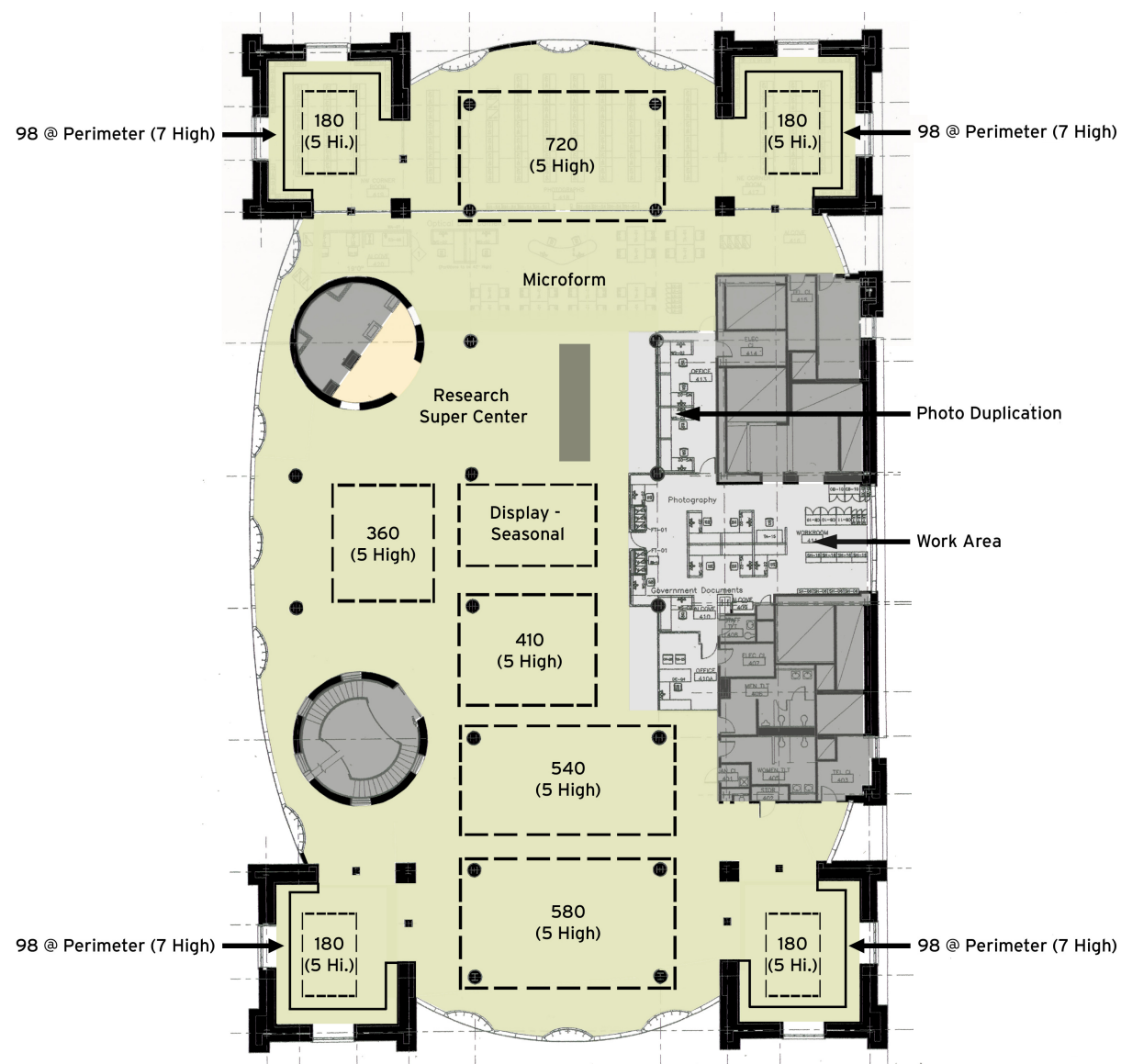


Main Building



Louis Stokes Wing





Louis Stokes Wing



Movable Conference Areas



Shelving Examples



Copy Machine Examples

Architectural Recommendations

As outlined in the summary, the Research Center will be a place where businesspeople, entrepreneurs, and individuals with projects to find the service, the space, or the data required to do their work. The room design will aim for a feeling of dignity and efficiency, honoring the importance of research projects of all kinds while ensuring quick responses and convenience.

Work areas will need to expand here, to accommodate staff co-locating from the combination of General Reference, Business, Economics and Labor, Microform, and Government Documents. Additionally, the center will create the required space for a high-speed hard copy and digital duplication and production center. The service point will move from the center of the floor to the north, providing visible assistance and emphasizing fast and convenient service for all who enter from the elevator.

Shelving will be carefully studied to assure space for the required collections, but also lower the height wherever possible to maximize intuitive wayfinding and minimize the feeling of a crowded workplace.

The sixth floor of the Louis Stokes Wing will require some renovation to accommodate the Photograph Collection's move. The USGS hard copy map collection will be archived, now available digitally. This will allow room to provide new shelving on the north end of the floor for the Photograph Collection. The northwest tower may be enclosed to safely secure the most valuable parts of the Photograph Collection.

Recommendations
Phase 4 - Research Center

Lighting Recommendations

Existing lighting will be reviewed to see if we can maintain the linear fluorescent in much of the space, however wayfinding and additional decorative elements may be added to highlight an information desk or kiosk. We will review the option for dimmed lighting in the Micro-form area as well.

HVAC, Plumbing and Fire Suppression Recommendations

Louis Stokes Wing Fourth Floor

Retain existing HVAC, plumbing and fire suppression systems. If new Photo Duplication area requires a large amount of heat-producing equipment, the existing HVAC system may need to be modified or supplemented with a new unit.

Louis Stokes Wing Sixth Floor

If precise temperature and humidity control is required for the relocated Photograph Collection, a new dedicated HVAC system could be provided. The unit would most likely be roof mounted and be equipped with chilled water cooling coil, steam heating coil and humidifier.

Electrical and Information Technology Recommendations

Louis Stokes Wing Fourth Floor

Retain existing electrical and tele/data floor-fed systems. If the new Photo Duplication area requires a large amount of electrical branch circuits, additional branch circuits will be installed for this purpose from the electrical panels in the fourth floor.

Louis Stokes Wing Sixth Floor

Provide power for the potential new humidification and air conditioning system for the photograph department. No additional data or power branch circuits appear to be required to serve this space and the existing electrical panels serving that floor are sufficient for the new work.

Description	Quantity	Unit	Unit Price	Total
CPL Main Library Reconfiguration Phase 4: Research Super Center				
Step 1				
LSW 4th Floor - LSW 6th Floor				
Prepare 6th floor to receive photograph Collection, Reduce maps collection, remove USGS from floor (partial remodel)	2000	sf	35 \$	70,000
Enclose NW tower for rare photos	555	sf	70 \$	38,850
Step 2				
LSW 2nd Floor - LSW 4th Floor				
Add Research Super Center, provide new finishes	12800	sf	55 \$	704,000
Expand staff areas as required to accommodate new numbers	2000	sf	55 \$	110,000
Create new service point, or retrofit and move old one	1	all	25000 \$	25,000
Provide new copy center	1	all	25000 \$	25,000
Remove photograph collection and walls	6674	sf	5 \$	33,370
Provide comprehensive wayfinding system	1	ls	7500 \$	7,500
Relocate reference collections on LSW 2nd up to LSW 4th				
Subtotal				\$1,013,720
General Conditions				
Supervision	9	mo	5000 \$	45,000
Office Trailer	9	mo	2000 \$	18,000
Temp Utilities	9	mo	500 \$	4,500
Porta Pit	9	mo	300 \$	2,700
Final Clean	16800	sf	0.1 \$	1,680
Trash removal	9	mo	450 \$	4,050
Contractor Staging Area	1	all	5000 \$	5,000
Daily Cleaning	9	mo	1000 \$	9,000
Subtotal				\$ 89,930
Soft Costs & Mark-ups				
Permit	1	ls	6000 \$	6,000
Bond	1.5%		1109650 \$	16,645
Contractor Overhead & Profit	8%		1126295 \$	90,104
Construction Escalation	4%		1216398 \$	48,656
Design Contingency	20%		1265054 \$	253,011
Construction Contingency	5%		1518065 \$	75,903
Subtotal				\$ 490,318
Total				\$ 1,593,968

Phase 4 Budget and Timeline

At the level of investigation inherent to this study, the budgeting is a conceptual opinion based on the recommendations and inspirations to date, most of which remain conceptual in nature. The intent is to establish a way forward with an understanding of the rough order of magnitude probable cost between phases.

It should be noted that these budgets include two broad kinds of costs: those which are necessary to achieve baseline consolidation goals, and those which are discretionary items which the design team has recommended to achieve the goal of making the Main Library a destination. Each phase will necessarily be reviewed prior to commencing, to establish the true scope of work appropriate to the current realities at inception of each phase of work.

The spreadsheet documents specific ideas that have an associated construction or installation cost, some of which are easier than others to quantify. These do not include what is referred to as 'soft' costs, which are design fees, moving costs, loose furniture and equipment, administrative and legal fees, etc. The construction costs are totaled, and standard overhead and profit margins are applied, with escalation as can be anticipated at this time. This phase total construction cost is then used to establish the baseline budget, or the low end of the potential budget range as outlined. The soft costs are added to this as a percentage range, based on relevant soft cost ranges for projects of similar scope.

The timeline is established as a product of the probable construction cost for each phase, as a calculated ratio of cost over time. Actual timelines can vary depending on the final approved scope, as the smaller the project the shorter the timeframe.

The conceptual construction budget for Phase 4:

\$1,600,000 - \$1,750,000

The total conceptual project budget for Phase 4, including soft costs:

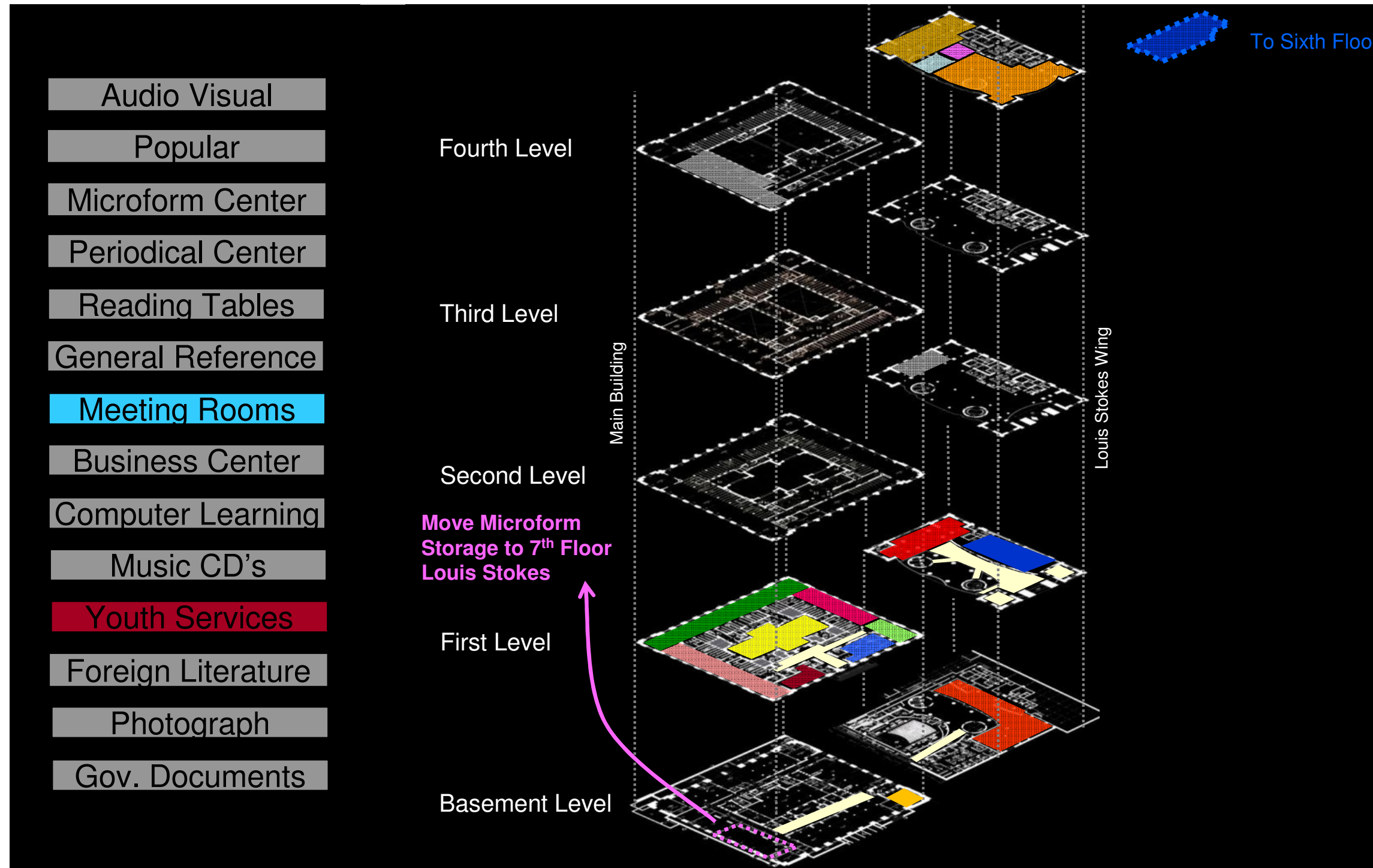
\$2,240,000 - \$2,450,000

The conceptual construction timeline for Phase 4:

10 to 12 months

The total conceptual timeline for Phase 4, including design and implementation:

16 to 20 months



Step 1

Phase 5 - Discovery Center for Families and Children

Discovery Center for Families and Children

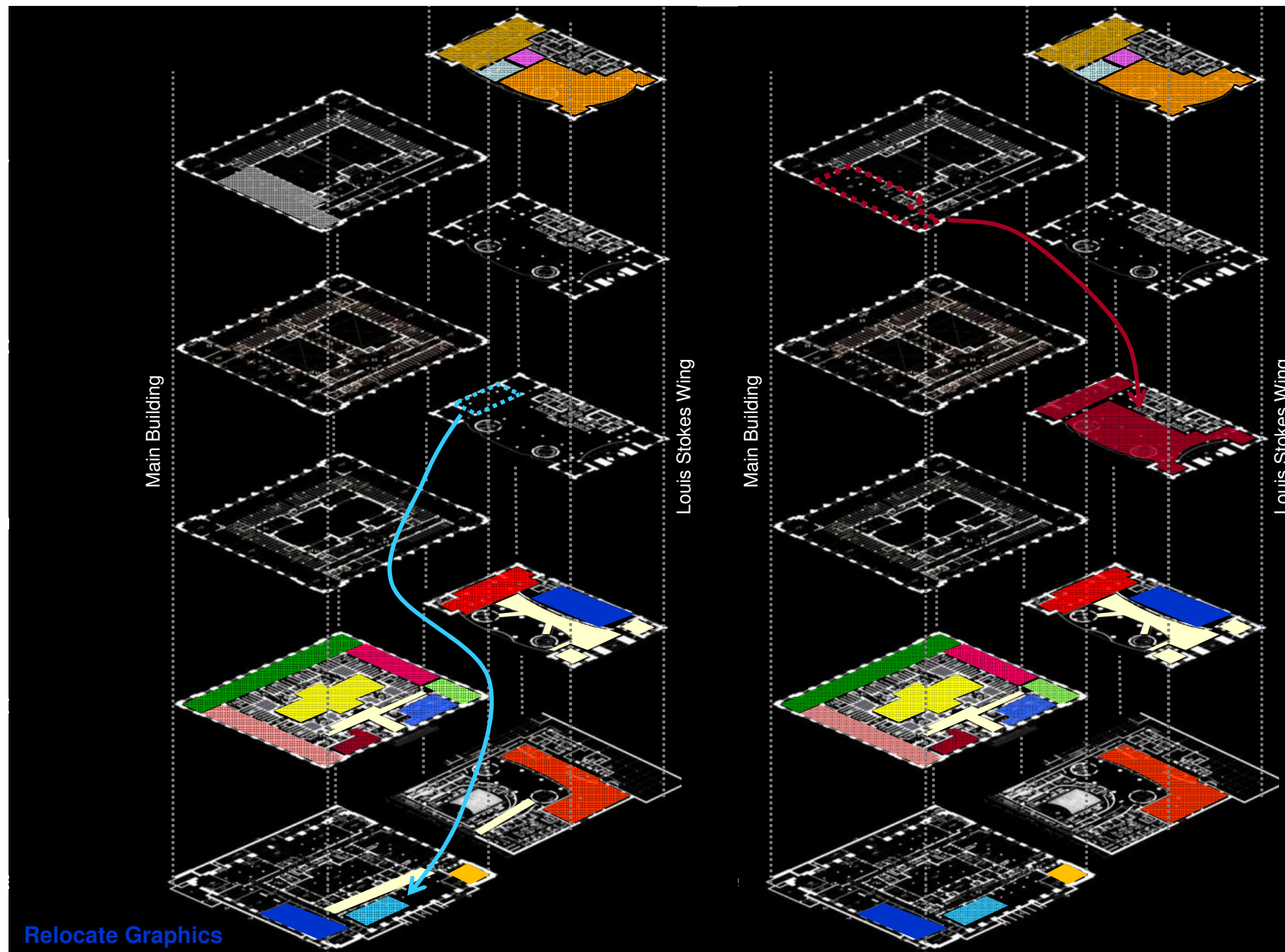
The fifth Phase of work will create one of the key destination experiences at Main Library, the Discovery Center for Families and Children. The second floor of the Louis Stokes Building is a highly visible location, from the entrance, and from the Garden, and potentially from the street, to highlight a new and exciting place for families and kids to learn and have fun.

The Discovery Center for Families and Children is a prime candidate for program and funding partners. This phase should only be undertaken with the full participation of targeted community partners who are interested, willing and in appropriate support of your mission.

Phasing

Only two steps are required to allow this phase to be complete, and we've documented the steps required to achieve this phase in close collaboration with the library:

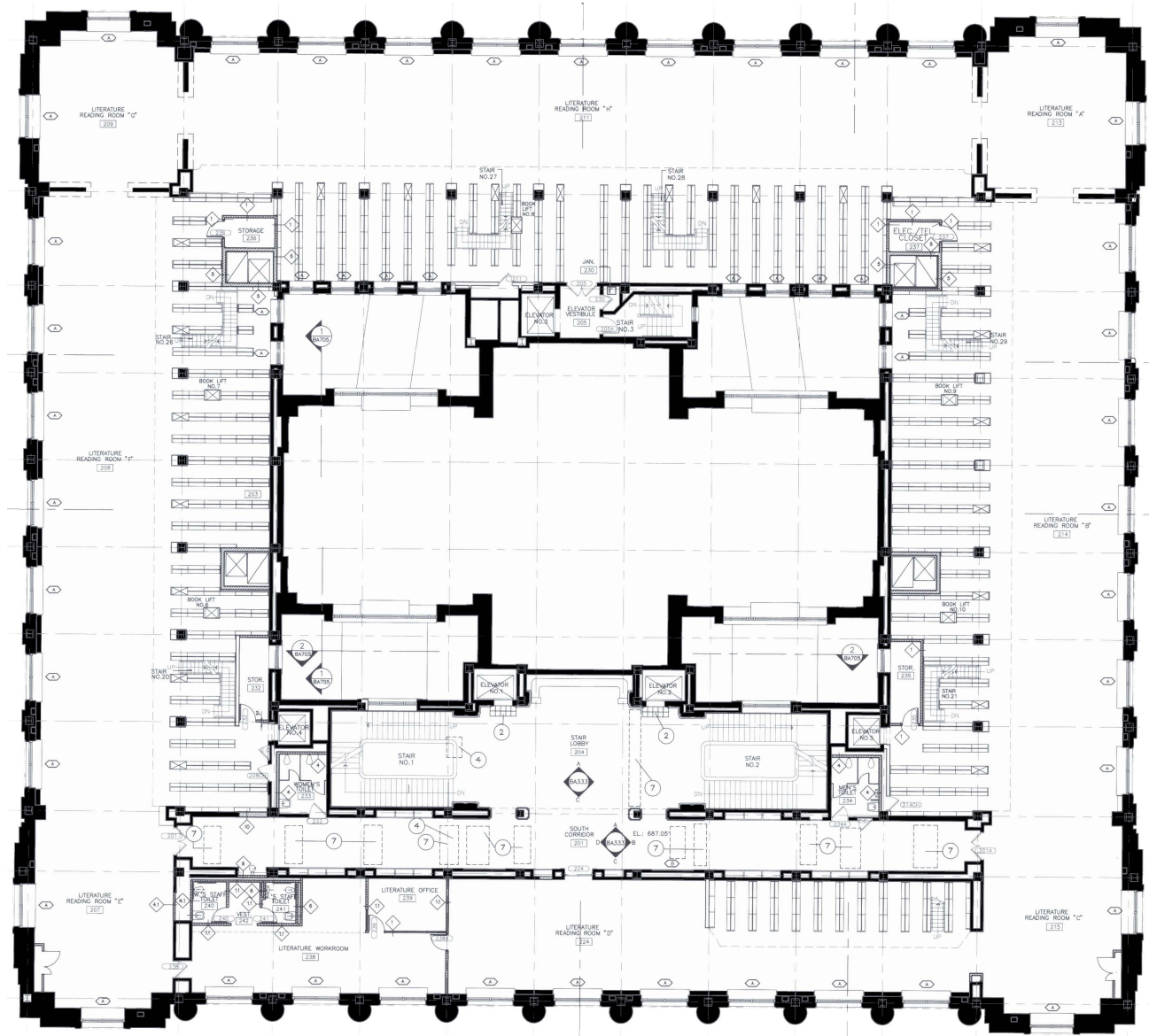
1. With existing collections now moved to the fourth floor of the Louis Stokes Wing, this floor can be completely opened by removing the meeting rooms on the north end. These will be recreated in the lower level of the main Building by relocating the high density microform storage currently located in the east wing of the lower level.
2. The floor now open, it can be renovated to prepare for the Discovery Center for Families and Children, and occupied for its final use.



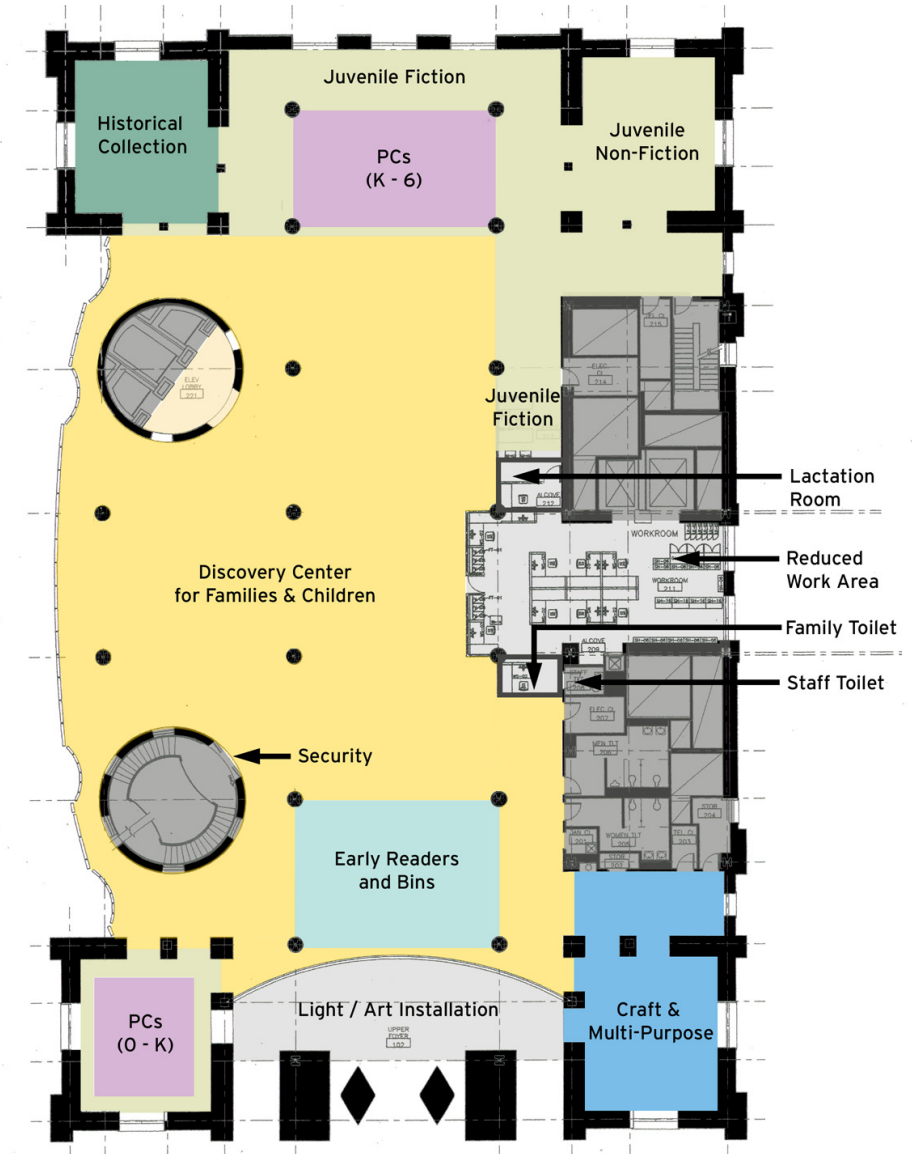
Step 2

Step 3

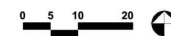
Recommendations
Phase 5 - Discovery Center for Families and Children



Main Building



Louis Stokes Wing



Phase 5 - Discovery Center for Families and Children



Interactive Media



Movable Media / Signage Examples



Teen Center Example



Cleveland Public Library - Rice Branch



Exhibit



Interactive Exhibit

Architectural Recommendations

To allow the second floor of the Louis Stokes Wing to be renovated, two additional areas are involved. The seventh floor of the Louis Stokes Wing will need to be cleared to accommodate relocated compact shelving for the Microform storage in the lower level of the Main Building. Additional compact shelving will be required to consolidate the existing storage on this level.

Once this is complete, space on the lower level of the Main Building is available to accommodate the relocated meeting rooms from the second floor. This will be accomplished by either moving the Graphics Department or miscellaneous storage to the space vacated by Microform. Given the noise level inherent to the book moving system overhead in the lower level, it is likely better to move Graphics to allow the meeting rooms to occupy the western part of the south wing of the lower level of the Main Building.

Once this move is complete, the second floor of Louis Stokes will be renovated as a haven for families and a focus on kids. Functionally, the room will be zoned for youngest kids to the south and older kids to the north. The floor in general will feel like a museum, a fun but educational space, with library collections flanking the areas of interaction.

The center of the floor plan will remain open and flexible, intended for interactive exhibits and educational display that can evolve over time. This will be the place that feels like a children's museum, with exciting exhibits and educational displays, focusing on engaging all the senses and highlighting collection strengths. Service locations will be designed in a way that is engaging to kids and helpful to parents and caregivers, and the floor will have both a 'wow' factor as well as an intuitive sense of how to navigate to the desired location.

On the south end, a Multipurpose room will occupy the southeast corner, extending north past the tower room, with a new sink provided for crafts. The opposite corner will house computers for the youngest children, up to Kindergarten age, with some collection space surrounding them. Additionally, this is the location that has a potential connection to the entrance lobby, so providing some art or light installation may draw attention from below while creating a visual focus on the floor.

Recommendations

Phase 5 - Discovery Center for Families and Children

The ceiling along the windows to the lobby is an important design element, and is also the most clearly visible spatial element from the lobby below. Color, lights or mirrors may be an engaging way to attract attention and help the two spaces interact. The design team and the security staff recognize that in addition to some challenging sight lines, the stairway door at the concrete cylinder is a possible safety concern. An effective but unobtrusive means of securing this door is required. One idea proposed was to make the security cameras fun, adding ten or more at different angles, with screens easily seen in the room for kids to play in front of. Something that may be fun for kids but a clear message for adults.

At the north end, the older children ages 1st through 6th grades, will have computers and is the place where the balance of the juvenile collection will be located. The northwest room will house the historic children's literature special collection, with custom designed lockable cabinets to display but protect.

Functional additions in this area would include a lactation room for nursing mothers, and a family toilet for parents assisting children. These will also be designed with security in mind. The staff areas may possibly be minimized, as fewer staff than the room was designed for may be assigned to this floor. any extra space will be given back to the public.

Lighting Recommendations

Existing lighting layout of linear pendants will be reviewed for re-use in the general lighting scheme. Additional lighting will be added for wayfinding to varied areas within the space as appropriate. Color and decorative luminaires will be considered to add a playful quality to the children's area.

Based on final space-planning, the windowed area that looks down into the entry lobby will include "special" lighting to add visual interest to patrons entering the building from the floor below.

The pendants in the tower rooms will be removed. New indirect wall mounted asymmetric uplights will be added to fill the volume of the space and express the angled ceiling. Additionally decorative elements may also be added to brighten the space.

HVAC, Plumbing and Fire Suppression Recommendations

Louis Stokes Wing Fourth Floor

Retain existing HVAC, plumbing and fire suppression systems. If new Photo Duplication area requires a large amount of heat-producing equipment, the existing HVAC system may need to be modified or supplemented with a new unit.

Louis Stokes Wing Sixth Floor

Retain existing HVAC, plumbing and fire suppression systems, except where noted.

Extend existing air distribution and building exhaust to serve new Lactation Room and new Family Toilet.

Rework existing fire suppression to serve new Lactation Room and new Family Toilet.

Extend existing plumbing piping to serve new Family Toilet. Room shall be provided with new adult and child sized lavatory and water closet. Install new sink near new Craft and Multi-Purpose Room, and install new lavatory in Lactation Room.

Electrical and Information Technology Recommendations

Provide additional power and lighting circuits to serve new Discovery Center for Families and Children, Lactation Room and new Family Toilet. Utilize the floor trench system from the electrical rooms for the new power branch circuits required for these areas as well as the tele/data rooms.

The Discovery Center will require additional decorative features for the children's areas. Pediatric receptacles will be required throughout.

It was noted that the floor trenches do not extend all the way to the walls of the second floors and therefore any branch circuit fed to the exterior wall partitions particularly in the 0-K PC area, Craft and Multipurpose, Historical Collection and Juv. Non-Fiction Areas will need to be installed above the ceiling and fished down the wall.

The two existing electrical rooms have adequate electrical capacity to install the branch circuits required and no more electrical upgrades are expected to be required.

The existing lighting branch circuit quantities also appear adequate for the new lighting proposed. Because many of the existing switched lighting control breakers are not working correctly, we recommend replacing the defective switched breakers all of in the existing lighting panels throughout the Lewis Stokes Wing and new lighting controls added with control boxes as mentioned in the lighting narrative.

Phase 5 - Discovery Center for Families and Children

Description	Quantity	Unit	Unit Price	Total
CPL Main Library Reconfiguration Phase 5: Discovery Center for Families and Children				
Step 1				
Main Lower Level - LSW 7th Floor				
Prepare LSW 7th for new compact Microform storage	12800	sf	10	\$ 128,000
Relocate compact shelving for Microform storage from Main Lower Level to LSW 7th Floor				
Step 2				
LSW 2nd Floor - Main Lower Level				
Relocate Graphics and some automation storage in Lower Level	4255			
Build new meeting rooms in Lower Level Main	4255	sf	55	\$ 234,025
Step 3				
Main 4th Floor - LSW 2nd Floor				
Remove conference room area	2664	sf	10	\$ 26,640
Add Discovery Center for Families and Children	1	ls	90000	\$ 90,000
Provide identity at ceiling near glass wall at building entrance lobby	1	ls	55000	\$ 55,000
Add sink at craft room in SE corner	1	ea	2400	\$ 2,400
Create Multipurpose Room @ SE corner	800	sf	55	\$ 44,000
Add lactation room	80	sf	200	\$ 16,000
Add family toilet	80	sf	500	\$ 40,000
Provide lockable shelving for Historic Children's book collection (555 sf)	100	lf	150	\$ 15,000
Design security system solution for stair tower door	1	ls	15000	\$ 15,000
Create new service point(s)	2	ea	25000	\$ 50,000
Add new low shelving (book case)	50	lf	100	\$ 5,000
Design seating at perimeter wall	1	ls	15000	\$ 15,000
Subtotal				\$ 736,065
General Conditions				
Supervision	6	mo	5000	\$ 30,000
Office Trailer	6	mo	2000	\$ 12,000
Temp Utilities	6	mo	500	\$ 3,000
Porta Pit	6	mo	300	\$ 1,800
Final Clean	8000	sf	0.1	\$ 800
Trash removal	6	mo	450	\$ 2,700
Contractor Staging Area	1	all	5000	\$ 5,000
Daily Cleaning	6	mo	1000	\$ 6,000
Subtotal				\$ 61,300
Soft Costs & Mark-ups				
Permit	1	ls	6000	\$ 6,000
Bond	1.5%		803365	\$ 12,050
Contractor Overhead & Profit	8%		815415	\$ 65,233
Construction Escalation	5%		880649	\$ 44,032
Design Contingency	20%		924681	\$ 184,936
Construction Contingency	5%		1109617	\$ 55,481
Subtotal				\$ 367,733
Total				\$ 1,165,098

Phase 5 Budget and Timeline

At the level of investigation inherent to this study, the budgeting is a conceptual opinion based on the recommendations and inspirations to date, most of which remain conceptual in nature. The intent is to establish a way forward with an understanding of the rough order of magnitude probable cost between phases.

It should be noted that these budgets include two broad kinds of costs: those which are necessary to achieve baseline consolidation goals, and those which are discretionary items which the design team has recommended to achieve the goal of making the Main Library a destination. Each phase will necessarily be reviewed prior to commencing, to establish the true scope of work appropriate to the current realities at inception of each phase of work.

The spreadsheet documents specific ideas that have an associated construction or installation cost, some of which are easier than others to quantify. These do not include what is referred to as 'soft' costs, which are design fees, moving costs, loose furniture and equipment, administrative and legal fees, etc. The construction costs are totaled, and standard overhead and profit margins are applied, with escalation as can be anticipated at this time. This phase total construction cost is then used to establish the baseline budget, or the low end of the potential budget range as outlined. The soft costs are added to this as a percentage range, based on relevant soft cost ranges for projects of similar scope.

The timeline is established as a product of the probable construction cost for each phase, as a calculated ratio of cost over time. Actual timelines can vary depending on the final approved scope, as the smaller the project the shorter the timeframe.

The conceptual construction budget for Phase 5:

\$1,165,000 - \$1,280,000

The total conceptual project budget for Phase 5, including soft costs:

\$1,630,000 - \$1,792,000

The conceptual construction timeline for Phase 5:

7 to 9 months

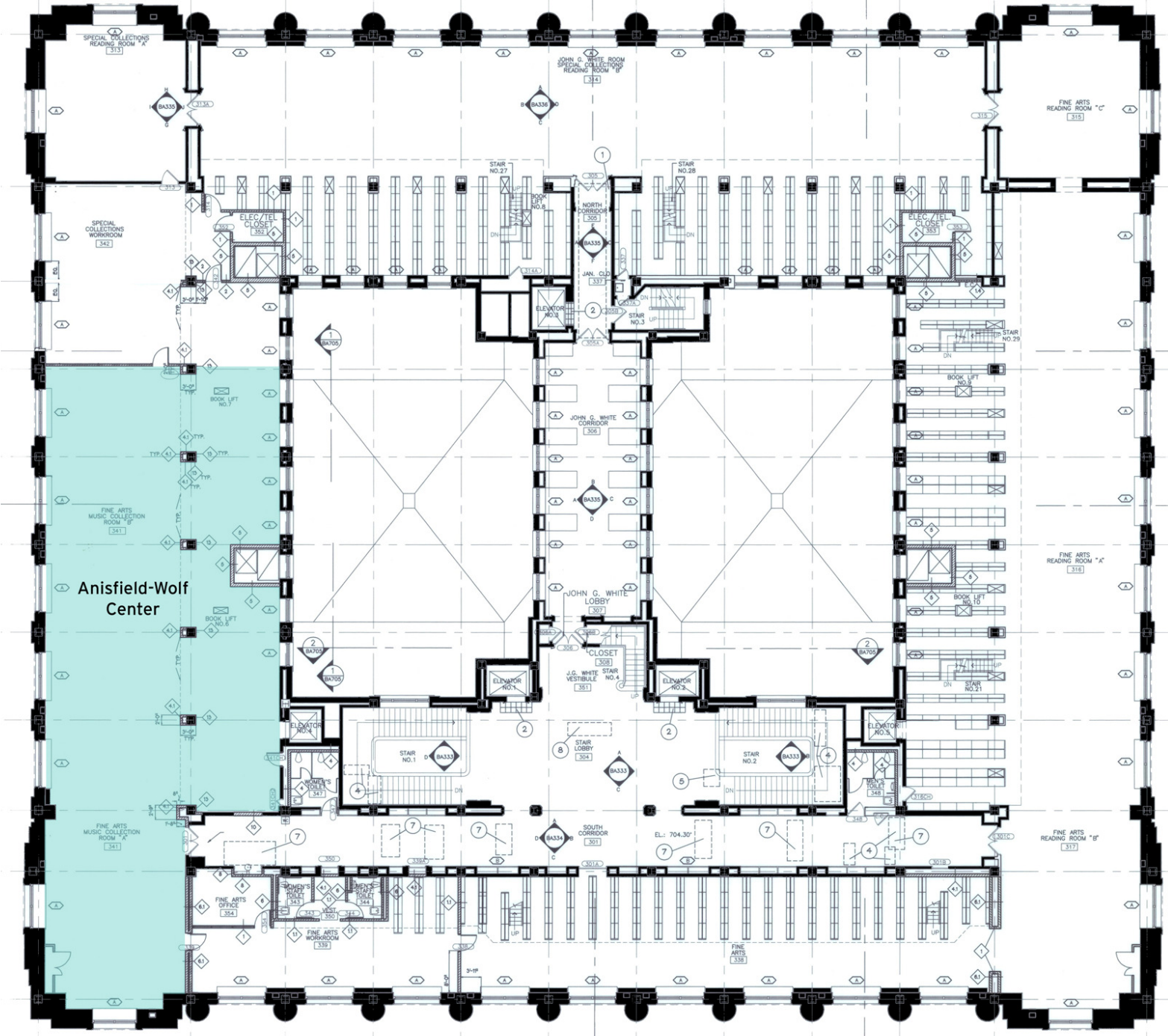
The total conceptual timeline for Phase 5, including design and implementation:

14 to 18 months

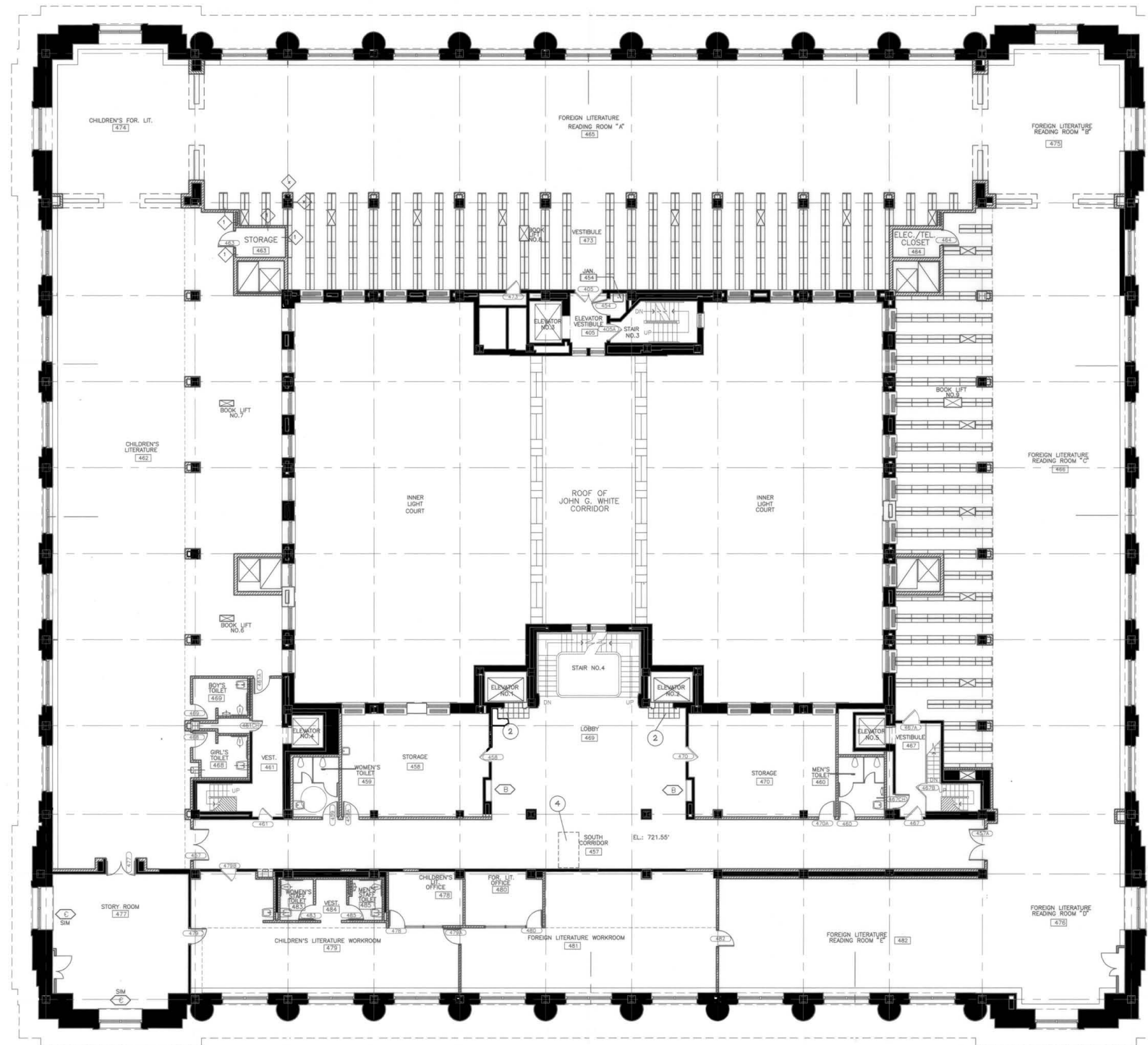
Recommendations
Additional Phases

The west wing of the third floor of the Main Building will be vacated once the CD collection moves to the first floor. This opens up space for some potential function, as yet to be finally determined. The possibilities include a space to celebrate the Anisfield-Wolf Book Award, and a celebration of Cleveland Public Library as the location for the Ohio Center for the Book. This may include interpretive spaces and audio / video of awards, as well as highlights from the collection of winners.

Another function that may relocate to this floor is the Cleveland Public Library Archives, currently housed on the tenth floor of the Louis Stokes Wing. This remarkable collection documents the storied, complex and unique history of one of the world's great libraries, and this location may provide a publicly available spot to access it as well as showcase highlights.



Main Building 3rd Floor



Main Building 4th Floor

The entire fourth floor will be vacated once the Foreign Literature department and the Youth Services department relocate. There is no current plan for how this floor will be used, however this is an important part of the library's plan to minimize their footprint and consolidate functions. It is an ideal location for alternative sources of revenue as a tenant space, or may house a yet to be determined programming partner, whose presence can expand the library's services without significant institutional investment.

Recommendations
Additional Phases

Description	Quantity	Unit	Unit Price	Total
CPL Main Library Reconfiguration Phase 6: Anisfield-Wolf Center				
Step 1 - Main 3rd Floor				
Create new Anisfield-Wolf Center on 3 rd Floor west	5489	sf	55	\$ 301,895
Review John G White exhibit cases, refurbish and create better system for display and lighting	1	ls	80000	\$ 80,000
Add media for special collections	1	ls	55000	\$ 55,000
Relocate art tryptic on 3 rd Floor W				
Subtotal				\$ 436,895
General Conditions				
Supervision	3	mo	5000	\$ 15,000
Office Trailer	3	mo	2000	\$ 6,000
Temp Utilities	3	mo	500	\$ 1,500
Porta Pit	3	mo	300	\$ 900
Final Clean	5489	sf	0.1	\$ 549
Trash removal	3	mo	450	\$ 1,350
Contractor Staging Area	0	sf	1.75	\$ -
Temporary Partitions	0	ls	5000	\$ -
Subtotal				\$ 25,299
Soft Costs & Mark-ups				
Permit	1	ls	3000	\$ 3,000
Bond	1.5%		465194	\$ 6,978
Contractor Overhead & Profit	8%		472172	\$ 37,774
Construction Escalation	6%		509946	\$ 30,597
Design Contingency	20%		540542	\$ 108,108
Construction Contingency	5%		648651	\$ 32,433
Subtotal				\$ 218,889
Total				\$ 681,083

Description	Quantity	Unit	Unit Price	Total
CPL Main Library Reconfiguration Phase 7: Main Library 4th Floor				
Step 1 - Main 4th Floor				
Provide new program for 4th floor	25000	sf	55	\$ 1,375,000
Subtotal				\$ 1,375,000
General Conditions				
Supervision	14	mo	5000	\$ 70,000
Office Trailer	14	mo	2000	\$ 28,000
Temp Utilities	14	mo	500	\$ 7,000
Porta Pit	14	mo	300	\$ 4,200
Final Clean	25000	sf	0.1	\$ 2,500
Trash removal	14	mo	450	\$ 6,300
Contractor Staging Area	1	all	5000	\$ 5,000
Daily Cleaning	14	mo	1000	\$ 14,000
Subtotal				\$ 137,000
Soft Costs & Mark-ups				
Permit	1	ls	12000	\$ 12,000
Bond	1.5%		1524000	\$ 22,860
Contractor Overhead & Profit	8%		1546860	\$ 123,749
Construction Escalation (2018)	8%		1670609	\$ 133,649
Design Contingency	20%		1804258	\$ 360,852
Construction Contingency	6%		2165109	\$ 129,907
Subtotal				\$ 783,016
Total				\$ 2,295,016

Additional Phases Budget and Timeline

At the level of investigation inherent to this study, the budgeting is a conceptual opinion based on the recommendations and inspirations to date, most of which remain conceptual in nature. The intent is to establish a way forward with an understanding of the rough order of magnitude probable cost between phases.

It should be noted that these budgets include two broad kinds of costs: those which are necessary to achieve baseline consolidation goals, and those which are discretionary items which the design team has recommended to achieve the goal of making the Main Library a destination. Each phase will necessarily be reviewed prior to commencing, to establish the true scope of work appropriate to the current realities at inception of each phase of work.

The spreadsheet documents specific ideas that have an associated construction or installation cost, some of which are easier than others to quantify. These do not include what is referred to as 'soft' costs, which are design fees, moving costs, loose furniture and equipment, administrative and legal fees, etc. The construction costs are totaled, and standard overhead and profit margins are applied, with escalation as can be anticipated at this time. This phase total construction cost is then used to establish the baseline budget, or the low end of the potential budget range as outlined. The soft costs are added to this as a percentage range, based on relevant soft cost ranges for projects of similar scope.

The timeline is established as a product of the probable construction cost for each phase, as a calculated ratio of cost over time. Actual timelines can vary depending on the final approved scope, as the smaller the project the shorter the timeframe. Note that in these phases no soft costs are included at this time, as there is little definition of what these may entail. Total projects costs for these will be established at a later date.

The conceptual construction budget for Main Building 3rd Floor:

\$680,000 - \$750,000

The conceptual construction timeline for Main Building 3rd Floor:

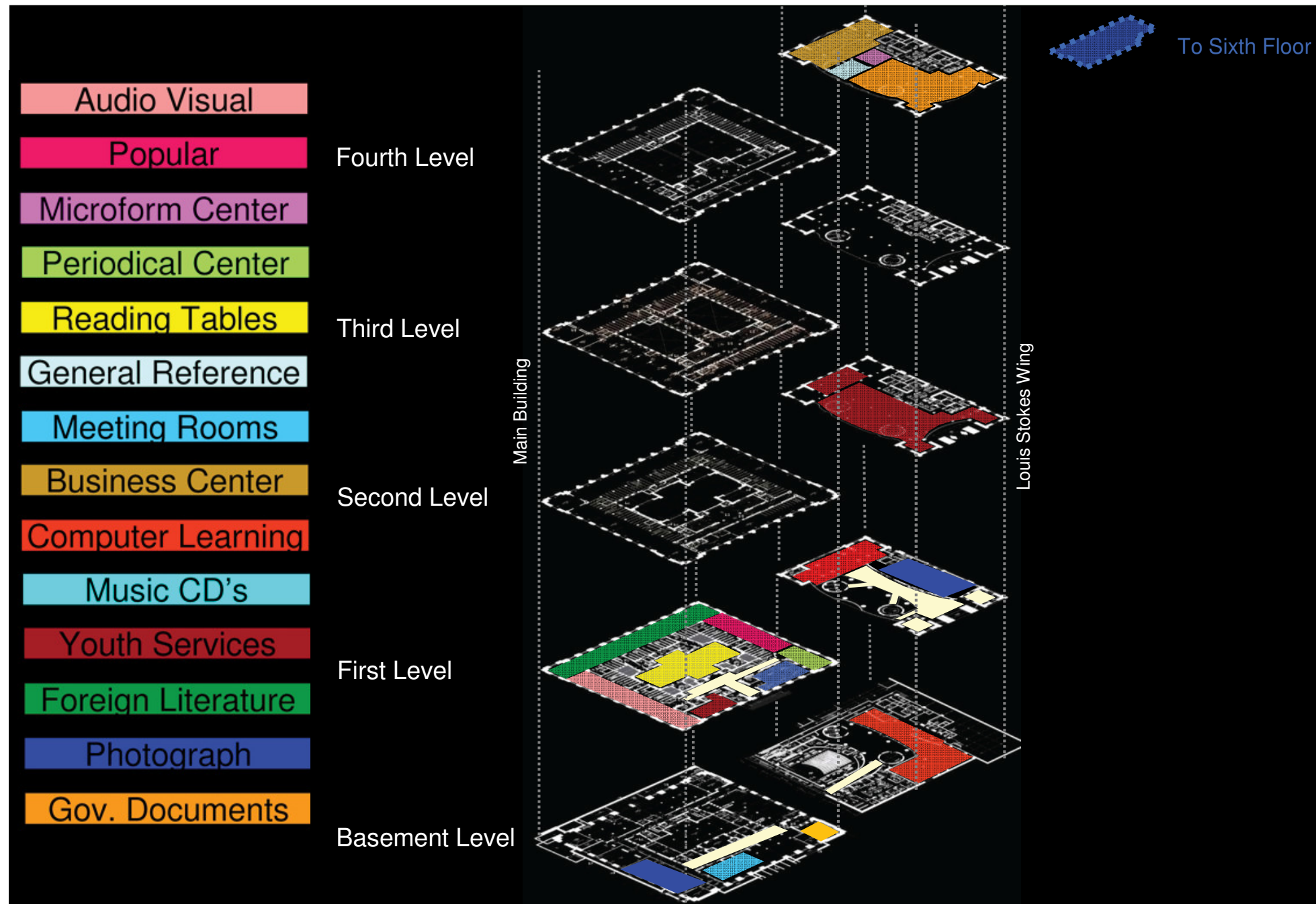
4 to 5 months

The total conceptual project budget for Main Building 4th Floor, assuming refinishing for entire space:

\$2,295,000 - \$2,525,000

The conceptual construction timeline for Main Building 4th Floor

13 to 15 months



Once all of the proposed phases, steps and potential improvements are completed, the program will be re-aligned as in this diagram. Again, as noted in the Existing Program Layout diagram, that these phases and proposed steps are based on the best information available at this time, and while the overarching programmatic goals outlined here remain long term targets, the specific steps and order may evolve as new information becomes available and new partnerships are forged.